

**GARRISON DIVERSION CONSERVANCY DISTRICT  
RECREATION COMMITTEE  
Garrison Diversion Conservancy District  
Carrington, ND**

**March 30, 2023  
A G E N D A**

- 10:00 a.m. I. Call to Order and Pledge of Allegiance – Bruce Klein
- 10:02 a.m. II. Roll Call – Lisa Schafer
- 10:03 a.m. III. Reading and Consideration of Minutes – Bruce Klein
- A. >September 28, 2022**
- 10:05 a.m. IV. >Current Funding Table & Project Review – Merri Mooridian
- 10:06 a.m. V. Expiring Projects – Merri Mooridian
- A. >Cass County – RRV Fair Playground and Pet Area Return Funds
- B. >LaMoure County – Sunset Park Extension Request**
- C. >McLean County – Walking/bike Path Return Funds
- D. >Sargent County – Silver Lake Bathhouse Extension Request**
- E. >Traill County - Hillsboro Trail & Park Reimbursement Request**
- F. >Ward County - ND State Fair Modification Request**
- G. >Ward County – Rice Lake Pavilion Extension Request**
- H. >Williams County – Confluence Beautification Return Funds
- 10:16 a.m. VI. >Completed Projects – Merri Mooridian
- 10:17 a.m. VII. Engels Point/Stump Lake – Duane DeKrey/Kip Kovar
- 10:20 a.m. VIII. >Matching Recreation Grant Application – Bruce Klein
- 10:22 a.m. IX. Presentations and Review of Grant Applications
- A. >Barnes County – Wimbledon Bathroom & Park Upgrade
- B. >Bottineau County – Turtle Mountain Pickleball
- C. >Cass County – Harwood Splash Pad
- D. >Cass County – North Elmwood Park Restoration
- E. >Cass County – Tower City Pickleball and 4 Square Courts
- F. >Grand Forks County – Lincoln Park Drive Family Games Area
- G. >McHenry County – Upham Park Restrooms
- H. >McKenzie County – Tobacco Gardens Shower/Bathroom
- I. >McLean County – Butte City Park
- J. >McLean County – Fair Arena Announcer Office & Concessions
- K. >McLean County – Nelson Park & Community Garden
- L. >McLean County – Sportsmen’s Centennial Park Boat Ramp Reconstruction
- M. >Pierce County – Rugby Jaycees Splash Pad
- N. >Renville County – Mohall Splash Pad Phase II
- O. >Richland County – Fairmount Park Playground 2023
- P. >Sargent County – Forman Main Street Pocket Park
- Q. >Steele County – Finley Park Playground Equipment
- R. >Stutsman County – 4-H Horse Arena Improvement
- S. >Stutsman County – Jamestown Pedestrian Bridge Replacement
- T. >Stutsman County – Lakeside Campground Improvements

- U. >Stutsman County – Lawrence Trapper Softball Lighting
- V. >Ward County – ND State Fair Full-Service Camping Hook-ups
- W. >Ward County – Talbott Court Disc Golf
- X. >Williams County – Williston Water World

12:20 p.m. X. *Catered Lunch*

1:00 p.m. XI. **Committee Discussion & Consideration of Grant Applications**

2:00 p.m. XII. Other

2:02 p.m. XIII. Adjourn

**Bold = Action Item**

**GARRISON DIVERSION CONSERVANCY DISTRICT**

**RECREATION COMMITTEE**

**Garrison Diversion Conservancy District  
Carrington, North Dakota**

**September 28, 2022**

A meeting of the Garrison Diversion Conservancy District's Recreation Committee was held at the Garrison Diversion Conservancy District, Carrington, North Dakota, on September 28, 2022. The meeting was called to order by Chairman Klein at 9:30 a.m.

**MEMBERS PRESENT**

Committee Chairman Bruce Klein  
Director David Johnson  
Director Brandon Krueger  
Director Steve Metzger  
Secretary Merri Mooridian

**MEMBERS ABSENT**

Board Chairman Alan Walter  
Director Richard Cayko

**OTHERS PRESENT**

Garrison Diversion staff and others were in attendance. A copy of the registration sheet is attached to these minutes as Annex I.

The meeting was recorded to assist with compilation of the minutes.

**READING OF THE MINUTES**

**Motion by Director Johnson to dispense with a reading of the March 30, 2022, Recreation Committee minutes and approve them as distributed. Second by Director Krueger. Upon voice vote, motion carried.**

**CURRENT FUNDING AND PROJECT REVIEW**

Merri Mooridian, Secretary, reviewed the list of current projects. A total of \$434,731 was approved at the spring meeting for new projects. The amount expended toward recreation projects in 2022 is \$220,131. The balance remaining to be expended on outstanding projects is \$1,254,723. A copy of the table showing current projects is attached to these minutes as Annex II.

## **EXPIRING PROJECTS**

**Lake Metigoshe VFW Park** - - Ms. Mooridian commented in September 2019, Lake Metigoshe VFW Park was awarded \$10,000 to construct a bathroom at the park. There is \$556 remaining in unexpended grant funds. The county auditor was contacted concerning the balance, and no reply was received; therefore, these funds will go back into the recreation grant account.

**McLean County Fair Association** - - Ms. Mooridian stated the McLean County Fair Association was awarded \$8,770 in September 2019 for the purchase of bleachers at the fairgrounds. There is a balance remaining from that project of \$446. The sponsor was also contacted with no reply; therefore, that amount will go back into the recreation grant account.

**Nelson County** - - Ms. Mooridian reported the City of Tolna was also awarded funding in September 2019 in the amount of \$21,933 for a bathroom/shower project at the city park. The project sponsor has been contacted, and the project is moving forward with fall preparations for completion next spring; therefore, an extension has been requested on the project deadline.

**Motion by Director Metzger to approve extending the deadline on Tolna's city park bathroom project until September 1, 2023. Second by Director Johnson. Upon voice vote, motion carried.**

## **COMPLETED PROJECTS**

Ms. Mooridian referred to the completed projects table. As of December 2021, funding in the amount of \$6.8 million has been awarded for recreation projects since the program's inception. Current expenditures for the program are \$6.55 million.

## **ENGELS POINT/STUMP LAKE**

Ms. Mooridian reported Garrison Diversion is still waiting on the required permit from the Corps of Engineers.

## **MATCHING RECREATION GRANT APPLICATION**

**Demolition of building/structures** - - Chairman Klein suggested the committee discuss whether there should be a policy developed and included on the grant application in regard to the demolition of building/structures.

Stacey Gussiaas, Administrative Assistant, Garrison Diversion, stated a lot of the recent grant applications, especially when it comes to the baseball fields and grandstands, are including the demolition and removal of existing facilities in the project costs. She is questioning whether these costs are considered reimbursable. If the costs are not reimbursable, this needs to be indicated in the grant application guidelines.

The committee discussed this issue at length and came to the consensus that demolition and removal costs of existing facilities are considered reimbursable.

## **REVIEW OF GRANT APPLICATIONS**

**Kramer City Park** - - The City of Kramer is seeking \$21,250 to construct a splash park and ½ court basketball area. The total estimated project cost is \$85,000. A copy of the grant application is attached to these minutes as Annex III.

**Bottineau County Commission** - - The Bottineau County Commission is requesting \$75,000 to install a new T-Bar lift at Bottineau Winter Park. The total estimated project cost is \$625,000. A copy of the grant application is attached to these minutes as Annex IV.

**City of Binford** - - Jerry Iverson, representing the City of Binford and the Binford Rodeo Association, presented a request for \$75,000 in grant funds to construct a multipurpose community centre at the Binford Rodeo Grounds. The total estimated project cost is \$358,970. A copy of the grant application is attached to these minutes as Annex V.

**Ellendale City Park Board** - - Cary Wertz with the Ellendale Baseball Club addressed the committee regarding the Ellendale City Park Board's request for funds in the amount of \$58,020 for Phase I of the Ellendale Baseball Grandstand Renovation project, which includes constructing a new grandstand, new bleachers and handicap accessible areas/ramp. The total estimated project cost is \$232,080. A copy of the grant application is attached to these minutes as Annex VI.

There were questions from the committee since it appears a majority of this project has been started and/or completed. Program guidelines do not allow for funding of any portions of the project that have already occurred. Other portions of the project remaining to be completed, such as the backstop and cement work may be eligible for grant funds; however, the amount of the grant funds would be based upon the actual expenses submitted up to \$20,000.

**Grand Forks Park District** - - Leif Larsen and Wes Colborn, Grand Forks Park District, presented the park board's request for \$75,000 in grant funds to construct a new grandstand at Kraft Field. The project consists of approximately a 300-seat structure with back seating, overhead protection for safety and shade, as well as an upper tier press box. The total estimated project cost is \$1,210,825. A copy of the grant application is attached to these minutes as Annex VII.

**Garrison Park & Recreation** - - Danielle Rensch and Amber Klingbeil, Garrison Park & Recreation Board, presented the park board's request for \$75,000 in grant funds to update the softball fields in Garrison, including bleachers, a scoreboard, fencing and lighting. The total estimated project cost is \$502,190. A copy of the grant application is attached to these minutes as Annex VIII.

**Devils Lake Park Board** - - Terry Wallace, Superintendent, Devils Lake Park District, is requesting \$75,000 to construct the Roosevelt Park Activity Building, which will be handicap accessible and includes bathroom and kitchen facilities, to be used year-round for various events and activities in the park. The total estimated project cost is \$325,000. A copy of the grant application is attached to these minutes as Annex IX.

**Jamestown Parks and Recreation** - - Amy Walters, Executive Director, Jamestown Parks and Recreation, addressed the committee regarding their funding request of \$75,000 for Phase I renovation at the Al Boelke Little League Fields. The project consists of a new complex with six new fields, bullpens, batting cages, a parking area, paths, seating and concessions. The total

estimated project cost is \$4,950,000. A copy of the grant application is attached to these minutes as Annex X.

**Wilton Park Board** - - The Wilton Park Board is requesting grant funds in the amount of \$2,874 for fencing at the pickle ball court in the city's north park. The total estimated project cost is \$9,581. According to the program guidelines, no more than 25 percent of the project cost qualifies for grant funding, which is \$2,395. A copy of the grant application is attached to these minutes as Annex XI.

**Wilton Park Board** - - The Wilton Park Board is also requesting funding assistance of \$30,000 to construct the American Legion Splash Pad on the south side of Wilton. The total estimated project cost is \$120,000. A copy of the grant application is attached to these minutes as Annex XII.

**West Fargo Park District** - - The West Fargo Park District requests \$16,145 in grant funds for improvements at four playground areas located in West Fargo, including North Elmwood, Meadowridge, Westside and Arbor Woods Parks. Improvements consist of new borders, wood mulch, a single post swing with add on and footings and a large spinner at each site. The total estimated project cost is \$64,581. A copy of the grant application is attached to these minutes as Annex XIII.

**Dickey County Park Board** - - The Dickey County Park Board's request of \$1,778 is for improvements to the picnic shelter and new picnic tables at Wilson Dam. The total estimated project cost is \$7,103. A copy of the grant application is attached to these minutes as Annex XIV.

Chairman Klein pointed out a majority of the cost appears to be for maintenance of the shelter, and maintenance of a facility is not eligible under the grant guidelines. He suggested the committee recommend the shelter's poles, which also appear to be deteriorating, be replaced, thus essentially making it a new structure. The purchase of the picnic tables is eligible for grant funding.

**Manvel Park Board** - - Manvel Park Board is requesting funding for Phase I of the Manvel Community Park Improvement Project in the amount of \$12,699. This funding will be used to install new playground equipment at Manvel Roy Ronan Park. The total estimated project cost is \$50,796. A copy of the grant application is attached to these minutes as Annex XV.

**Lakota Park District** - - The Lakota Park District requests \$51,030 to construct a zero-entry wading pool, including water play and spray features, in the city park adjacent to the swimming pool. The total estimated project cost is \$408,240. A copy of the grant application is attached to these minutes as Annex XVI.

**Mohall Park Board** - - The Mohall Park Board is seeking grant funds in the amount of \$20,000 to replace the baby pool at Mohall City Park with a splash pad. The total estimated project cost is \$315,006. A copy of the grant application is attached to these minutes as Annex XVII.

**City of Gwinner** - - The City of Gwinner has requested funds in the amount of \$75,000 to construct an aquatic center, including two waterslides, a lazy river, diving board, 10-foot pool area and zero entry area, as well as a bath house. The total estimated project cost is \$3,273,175. A copy of the grant application is attached to these minutes as Annex XVIII.

**Stutsman County Park Board** - - The Stutsman County Park Board's request is for \$6,204 in grant funds for a new vault toilet at the Jamestown Reservoir main playground area. The total estimated project cost is \$24,816. A copy of the grant application is attached to these minutes as Annex XIX.

**Ward County Park** - - Minot Parks is requesting \$21,875 for development of the 11<sup>th</sup> and 11<sup>th</sup> Park Playground in Minot. The park will include a t-ball field, picnic shelter and new playground equipment. The total estimated project cost is \$87,500. A copy of the grant application is attached to these minutes as Annex XX.

**Kenmare Park District** - - The Kenmare Park District is requesting funding of \$75,000 to assist with the construction of a new swimming pool and bath house in the city park. The total estimated project cost is \$2,890,000. A copy of the grant application is attached to these minutes as Annex XXI.

**Williams County Parks** - - Williams County Parks is asking for recreation grant funds in the amount of \$22,500 to construct the Blacktail Beach Trail near Williston. The trail will consist of a 0.8-mile non-motorized crushed rock spur off of the Lake Loop Trail that leads to the public beach at Blacktail Dam. It will be used for walking, running, bicycling and cross-country skiing. Total estimated project cost is \$90,000. A copy of the grant application is attached to these minutes as Annex XXII.

**City of Tioga** - - The City of Tioga is seeking \$24,000 to create a walking path and recreational area along the Tioga Dam, including a gazebo and pedestrian bridge. The total estimated project cost is \$2,403,000. A copy of the grant application is attached to these minutes as Annex XXIII.

#### **CONSIDERATION OF GRANT APPLICATIONS**

**Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$21,250 to the City of Kramer for construction of a splash park and ½ court basketball area in the city park. Second by Director Johnson. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.**

**Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$30,000 to the Wilton Park Board to construct the American Legion Splash Pad on the south side of Wilton. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.**

**Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$2,395 to the Wilton Park Board for purchase and installation of fencing at the pickle ball court in the city's north park. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.**

**Motion by Director Krueger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$16,145 to the West Fargo Park District for improvements at four West Fargo playground areas, including North Elmwood, Meadowridge, Westside**

and Arbor Woods Parks. Improvements consist of new borders, wood mulch, a single post swing with add on and footings and a large spinner at each site. Second by Director Johnson. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$20,000 to the Ellendale Park Board for Phase I of the Ellendale Baseball Grandstand Renovation project to assist with the cost of the backstop and cement work. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$1,778 for improvements to the Wilson Dam picnic shelter, including a new open rafter/gable style metal roof, new support posts and picnic tables. This award is based on the Committee's recommendation that the deteriorating poles of the shelter be replaced to essentially make it a new structure. If the poles are not replaced, the grant award only pertains to the purchase of picnic tables. Second by Director Metzger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to the Grand Forks Park District for its grandstand replacement project at Kraft Field, consisting of a 300-seat structure with overhead protection and a press box. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Krueger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$12,699 to the Manvel Park Board for the purchase and installation of playground equipment at Manvel Roy Ronan Park. Second by Director Metzger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to the City of Binford for construction of a community centre at the Binford rodeo grounds. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Krueger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to Garrison Park & Recreation to update the city's softball fields, including new fencing, bleachers, lighting and a scoreboard. Funding will be available upon receipt of a new lease agreement between the Garrison Airport Authority and the Garrison Park Board. The Recreation Committee also suggests the terms of that agreement be extended from 10 years to possibly 20 or longer. Second by Director Johnson. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger



and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$51,030 to the Lakota Park Board for construction of a zero-entry wading pool, including water play and spray features, in the city park adjacent to the swimming. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to the Devils Lake Park Board to construct the Roosevelt Park Activity Building, which will be handicap accessible and includes bathroom and kitchen facilities, to be used year-round for various events and activities in the park. Second by Director Metzger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$20,000 to replace the baby pool at Mohall City Park with a splash pad. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Krueger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to the City of Gwinner for construction of an aquatic center, including two waterslides, a lazy river, diving board, 10-foot pool area and zero entry area, as well as a bath house. Second by Director Johnson. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to Jamestown Parks and Recreation for Phase I renovation at the Al Boelke Little League Fields. The project consists of a new complex with six new fields, bullpens, batting cages, a parking area, paths, seating and concessions. Second by Director Metzger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$6,204 to Stutsman County Park Board for construction of a vault toilet at the Jamestown Reservoir main playground area. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$21,875 to Minot Parks for development of the 11<sup>th</sup> and 11<sup>th</sup> Park Playground in Minot. The park will include a t-ball field, picnic shelter and new playground equipment. Second by Director Krueger. Upon roll call vote, the following

directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to the Kenmare Park District for construction of a swimming pool and bathhouse. Second by Director Johnson. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$22,500 to Williams County Parks for construction of the Blacktail Beach Trail near Williston. The trail will consist of a 0.8-mile non-motorized crushed rock spur off of the Lake Loop Trail leading to the public beach at Blacktail Dam. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Metzger to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$24,000 to the City of Tioga to develop a walking path and recreational area along the Tioga Dam, including a gazebo and pedestrian bridge. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Motion by Director Johnson to approve up to 25 percent of the local, non-federal share of the eligible costs not to exceed \$75,000 to the Bottineau County Commission to install a new T-Bar lift at Bottineau Winter Park. Second by Director Krueger. Upon roll call vote, the following directors voted aye: Johnson, Klein, Krueger and Metzger. Those voting nay: none. Absent and not voting: Cayko and Walter. Motion carried.

Ms. Mooridian stated the total amount of recreation grant funds approved today is \$849,876 with allocations awarded to 21 projects.

### **OTHER**

There being no further business to come before the committee, the meeting was adjourned at 12:30 p.m.

(SEAL)

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Bruce Klein, Chairman

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Merri Mooridian, Secretary

**GARRISON DIVERSION CONSERVANCY DISTRICT**  
**GDCD RECREATION GRANT PROGRAM**  
**OUTSTANDING PROJECTS**  
**July 1, 1990 to February 28, 2023**

COUNTY	PROJECT	GRANT APPROVAL DATE	OUTSTANDING PROJECTS	PROJECTS APPROVED 2023	EXPENDITURES 04-23-15 to 12-31-2022	EXPENDITURES 1-1-23 to 02-28-23	AMOUNTS RETURNED TO PROGRAM	BALANCE REMAINING 02-28-23
Barnes	Sheyenne River Water Trail	04-29-21	\$ 51,005.00					\$ 51,005.00
Bottineau	Kramer City Park	09-28-22	\$ 21,250.00					\$ 21,250.00
Bottineau	T-Bar Lift at Winter Park	09-28-22	\$ 75,000.00			\$ 75,000.00		\$ -
Burleigh	Steckel Boat Landing Picnic Shelter	04-29-21	\$ 6,000.00					\$ 6,000.00
Burleigh	4H Arena Play Area	09-23-21	\$ 31,291.00					\$ 31,291.00
Burleigh	Sibley Campground Electrical Updates	09-23-21	\$ 36,746.00			\$ 35,042.35		\$ 1,703.65
Burleigh	American Legion Splash Pad	09-28-22	\$ 30,000.00			\$ 17,232.25		\$ 12,767.75
Burleigh	Wilton North Park Pickle Ball Court	09-28-22	\$ 2,395.00			\$ 958.10		\$ 1,436.90
Cass	RRV Fair Campground Phase I	05-06-20	\$ 4,721.00					\$ 4,721.00
Cass	Casselton Parks Revitalization	10-01-20	\$ 1,995.00		\$ 605.00			\$ 1,390.00
Cass	Casselton Shared Use Path	09-23-21	\$ 50,000.00					\$ 50,000.00
Cass	Mapleton Shared Use Path	09-23-21	\$ 50,000.00					\$ 50,000.00
Cass	Brewer Lake Water Hook-ups	03-30-22	\$ 638.00					\$ 638.00
Cass	Tinta Tawa Park Restroom	03-30-22	\$ 9,575.00					\$ 9,575.00
Cass	West Fargo Park District Playground Imp	09-28-22	\$ 16,145.00					\$ 16,145.00
Dickey	West Side Park Playground	04-29-21	\$ 7,520.00					\$ 7,520.00
Dickey	Ellendale Baseball Grandstand Reno	09-28-22	\$ 20,000.00					\$ 20,000.00
Dickey	Wilson Dam Picnic Shelter Renovation	09-28-22	\$ 1,778.00					\$ 1,778.00
Eddy	Warming House/Boat Rental Building	04-29-21	\$ 5,750.00					\$ 5,750.00
Foster	Foster County Fairgrounds Picnic Shelter	09-23-21	\$ 5,191.00					\$ 5,191.00
Foster	Baseball/Softball Diamond Renovations	03-30-22	\$ 75,000.00		\$ 12,507.93			\$ 62,492.07
Foster	Carrington West Park Renovation	03-30-22	\$ 61,202.00		\$ 22,500.00			\$ 38,702.00
Grand Forks	Bringewatt Park Water Station	09-23-21	\$ 10,000.00					\$ 10,000.00
Grand Forks	Kraft Field Grandstand Replacement	09-28-22	\$ 75,000.00					\$ 75,000.00
Grand Forks	Manvel Community Park Improvement	09-28-22	\$ 12,699.00					\$ 12,699.00
Griggs	Binford Park Playground Update	03-30-22	\$ 2,950.00					\$ 2,950.00
Griggs	Binford Rodeo Asso Community Centre	09-28-22	\$ 75,000.00					\$ 75,000.00
LaMoure	Sunset Park Revitalization Phase II	05-06-20	\$ 45,000.00		\$ 27,025.23			\$ 17,974.77
McHenry	Upham Park Improvement	04-29-21	\$ 9,125.00		\$ 8,627.75			\$ 497.25
McHenry	Splash Pad	09-23-21	\$ 19,838.00		\$ 1,725.00			\$ 18,113.00
McLean	Walking/Bike Path Underwood	05-06-20	\$ 15,668.00					\$ 15,668.00
McLean	Lakeside Park Gazebo/Riverdale	04-29-21	\$ 1,500.00					\$ 1,500.00
McLean	Playground Equipment-Coleharbor	09-23-21	\$ 23,460.00			\$ 5,865.00		\$ 17,595.00
McLean	Garrison Softball Field Renovation	09-28-22	\$ 75,000.00					\$ 75,000.00
Nelson	Tolna City Park Restrooms	10-03-18	\$ 21,933.00					\$ 21,933.00
Nelson	Stump Lake Playground	03-30-22	\$ 13,869.00			\$ 11,833.89	\$ (2,035.11)	\$ -
Nelson	Lakota Wading Pool	09-28-22	\$ 51,030.00					\$ 51,030.00
Pierce	Buffalo Lake Camp Site	04-29-21	\$ 3,250.00		\$ 1,930.06			\$ 1,319.94
Pierce	Barton Park Picnic Tables/Play Gym	09-23-21	\$ 1,250.00					\$ 1,250.00
Ramsey	Roosevelt Park Activity Building	09-28-22	\$ 75,000.00					\$ 75,000.00
Ransom	Dead Colt Walkway	04-29-21	\$ 23,750.00					\$ 23,750.00
Ransom	Sheldon Pickle Ball/BB Courts	03-30-22	\$ 5,262.00					\$ 5,262.00
Renville	Mouse River Park Campground Electrical	09-23-21	\$ 3,750.00			\$ 3,750.00		\$ -
Renville	Mohall Splash Pad	09-28-22	\$ 20,000.00			\$ 14,197.50		\$ 5,802.50
Richland	City Park Improvement-Abercrombie	04-29-21	\$ 34,682.00					\$ 34,682.00
Richland	Campground-Hankinson Park Board	04-29-21	\$ 29,984.00					\$ 29,984.00
Richland	Chaninkapa Park Multipurpose Shelter	03-30-22	\$ 42,000.00					\$ 42,000.00
Richland	Manatador Park Softball Dugouts	03-30-22	\$ 2,000.00					\$ 2,000.00
Richland	Wynndmere Park Board	03-30-22	\$ 10,728.00					\$ 10,728.00
Sargent	Silver Lake Bath House	05-06-20	\$ 6,377.00					\$ 6,377.00
Sargent	North View Playground Milnor	03-30-22	\$ 14,210.00					\$ 14,210.00
Sargent	Gwinner Aquatic Center	09-28-22	\$ 75,000.00			\$ 19,962.50		\$ 55,037.50
Sheridan	Hoffer Lake Beach & Swimming Develop.	09-23-21	\$ 4,093.00					\$ 4,093.00
Steele	City Park Development-Colgate	04-29-21	\$ 6,250.00					\$ 6,250.00
Stutsman	Park Bench Project-Stutsman County	04-29-21	\$ 3,113.00					\$ 3,113.00
Stutsman	Electrical Upgrades for Campers	09-23-21	\$ 1,750.00					\$ 1,750.00
Stutsman	Field Renovation Phase I	09-28-22	\$ 75,000.00					\$ 75,000.00
Stutsman	Jamestown Reservoir Vault Toilet	09-28-22	\$ 6,204.00					\$ 6,204.00
Traill	Riverwalk Park & Trail System	05-06-20	\$ 89,973.00					\$ 89,973.00
Traill	Galesburg Playground	03-30-22	\$ 22,595.00		\$ 21,880.00			\$ 715.00
Traill	Hillsboro Park District	03-30-22	\$ 31,500.00			\$ 31,500.00		\$ -
Ward	West Park-State Fair	05-06-20	\$ 26,450.00		\$ 21,861.60			\$ 4,588.40
Ward	Rice Lake Pavilion	05-06-20	\$ 26,950.00					\$ 26,950.00
Ward	Ward County Parks 2022	03-30-22	\$ 10,632.00					\$ 10,632.00
Ward	11th & 11th Park Playground	09-28-22	\$ 21,875.00					\$ 21,875.00
Ward	Swimming Pool & Bathhouse	09-28-22	\$ 75,000.00					\$ 75,000.00
Williams	Confluence Beautification	05-06-20	\$ 3,675.00					\$ 3,675.00
Williams	McGregor Dam Vault Toilet	04-29-21	\$ 17,500.00					\$ 17,500.00
Williams	Confluence Ramp	04-29-21	\$ 4,750.00					\$ 4,750.00
Williams	Coyote Clay Target League Range	03-30-22	\$ 55,872.00					\$ 55,872.00
Williams	Wildrose Community Garden	03-30-22	\$ 1,000.00					\$ 1,000.00
Williams	BlackTail Beach Trail	09-28-22	\$ 22,500.00					\$ 22,500.00
Williams	Tioga Dam Trail & Park	09-28-22	\$ 24,000.00					\$ 24,000.00
<b>TOTALS</b>			<b>\$1,893,199.00</b>	<b>\$0.00</b>	<b>\$118,662.57</b>	<b>\$215,341.59</b>	<b>(\$2,035.11)</b>	<b>\$ 1,557,159.73</b>



January 25, 2023

GARRISON DIVERSION  
 CONSERVANCY DISTRICT  
 P.O. Box 140  
 CARRINGTON, N.D. 58421  
 (701) 652-3194  
 FAX (701) 652-3195  
 gdcd@gdcd.org  
 www.garrisondiversion.org

Brandy Madrigga, Finance Director  
 Cass County  
 PO Box 2806  
 Fargo, ND 58108-2806

Breann Lenzmeier  
 RRV Fair Association  
 1805 Main Ave West  
 West Fargo, ND 58078

Dear Brandy & Breann:

In May 2020, the Garrison Diversion Recreation Committee approved a matching recreation grant not to exceed \$4,721.00 to Cass County for the development of a playground and dog exercise area at the Red River Valley campground. Per our matching recreation grant program, grant recipients have three years to expend their awarded funds. Our records indicate that all funds remain to be expended on this project.

The Recreation Committee will meet in March to review outstanding grants and consider new requests. Therefore, in order to retain funding for this project, a status update needs to be received at the Garrison Diversion office by March 1, 2023.

If you have any questions, please contact me at 701.652.3194 or at merrim@gdcd.org.

Sincerely,

Merri Mooridian  
 Administrative Officer

cc: Bruce Klein, Recreation Committee Chair  
 Jeff LeDoux, Cass County Director

SLG

**Stacey Gussiaas**

---

**From:** Caroline Homan <caroline.homan@gmail.com>  
**Sent:** Monday, January 23, 2023 1:53 PM  
**To:** Stacey Gussiaas  
**Subject:** Re: LaMoure Lions Sunset Park

Hi Stacy,

Yes, our project came in under the estimate because we found another contractor who offered a lower bid, of course unfortunately that came with some consequences. I will relay this message to the committee. Thank you so much!

Caroline

> On Jan 23, 2023, at 10:43 AM, Stacey Gussiaas <staceyg@gdcd.org> wrote:

>

> Caroline:

>

> Thank you for reaching out and updating us on this project. Yes, your funds were expected to expire the first part of May. However, we do send out a notice when that expiration is approaching requesting a project status and whether or not you would like an extension. So, I will use your below email to present at our next Recreation Committee meeting for an extension. If you happen to incur any expenses before May 6, 2023, please forward them to our office.

>

> I show that our records indicate you have just shy of \$18,000 to expend; what amount do you anticipate needing? Did your project come in way under estimate or did you not do a portion of it?

>

>

> Stacey Gussiaas

> Administrative Assistant

> Garrison Diversion Conservancy District PO Box 140

> 401 Hwy 281 NE

> Carrington, ND 58421-0140

>

> 701.652.3194

> staceyg@gdcd.org

>

> www.garrisondiversion.org

>

>

>

> -----Original Message-----

> From: Caroline Homan <caroline.homan@gmail.com>

> Sent: Saturday, January 14, 2023 8:33 PM

> To: Stacey Gussiaas <staceyg@gdcd.org>

> Subject: LaMoure Lions Sunset Park

>

> Hi Stacey,

> I know we had funds left on our project, but I think our time line has expired. Lions have asked me to reach out to see if those funds are still available for project work this summer in 2023. For example, our grass seeding around the walking paths did not take due to heavy rains right after planting and needs to be redone. The group is wondering if we can still access the funds remaining.



GARRISON DIVERSION  
 CONSERVANCY DISTRICT  
 P.O. Box 140  
 CARRINGTON, N.D. 58421  
 (701) 652-3194  
 FAX (701) 652-3195  
 gdcd@gdcd.org  
 www.garrisondiversion.org

January 25, 2023

Courtney Blotske, Auditor  
 City of Underwood  
 PO Box 168  
 Underwood, ND 58576-0168

Dear Courtney:

In May 2020, the Garrison Diversion Recreation Committee approved a matching recreation grant not to exceed \$15,668.00 to the City of Underwood for the development of a walking/biking path throughout the city. Per our matching recreation grant program, grant recipients have three years to expend their awarded funds. Our records indicate that all funds remain to be expended on this project.

The Recreation Committee will meet in March to review outstanding grants and consider new requests. Therefore, in order to retain funding for this project, a status update needs to be received at the Garrison Diversion office by March 1, 2023.

If you have any questions, please contact me at 701.652.3194 or at merrim@gdcd.org.

Sincerely,

Merri Mooridian  
 Administrative Officer

cc: Bruce Klein, Recreation Committee Chair  
 Alan Walter, Chairman of the Board  
 Margo Knorr, McLean County Director

SLG

**Stacey Gussiaas**

---

**From:** Maloney, Pam L. <pmaloney@nd.gov>  
**Sent:** Monday, February 13, 2023 9:32 AM  
**To:** Stacey Gussiaas  
**Subject:** RE: GDCD Grant

Stacey,

Wonderful! I appreciate GDCD granting the extension.

Have a great week!

*Pam Maloney  
 Sargent County Auditor  
 355 Main St S, Suite 1  
 Forman ND 58032-4149  
 701 724-6241 Ext 108  
 701 724-6244 Fax  
 pmaloney@nd.gov  
 sargentnd.com*

*Life isn't about waiting for the storm to pass... it's about learning to dance in  
 the rain.  
 Vivian Greene*

**From:** Stacey Gussiaas <staceyg@gdcd.org>  
**Sent:** Monday, February 13, 2023 9:09 AM  
**To:** Maloney, Pam L. <pmaloney@nd.gov>  
**Cc:** Merri Mooridian <merrim@gdcd.org>  
**Subject:** Re: GDCD Grant

You don't often get email from [staceyg@gdcd.org](mailto:staceyg@gdcd.org). [Learn why this is important](#)

**\*\*\*\*\* CAUTION:** This email originated from an outside source. Do not click links or open attachments unless you know they are safe. **\*\*\*\*\***

Pam, that timeframe I believe is acceptable. We may ask the Committee for an extension until September 1 to be sure it can be completed without further extensions requested.

Thank you for the reply.

Stacey Gussiaas

---

**From:** Maloney, Pam L. <pmaloney@nd.gov>  
**Sent:** Friday, February 10, 2023 3:05 PM  
**To:** Stacey Gussiaas <staceyg@gdcd.org>

**Cc:** Merri Mooridian <[merrim@gdcd.org](mailto:merrim@gdcd.org)>

**Subject:** FW: GDCD Grant

Stacey,

I visited with Sue this last weekend and she's not sure what to say. We're waiting on electrical, as well. I thought it was just plumbing, but I guess we're waiting on getting the plumbing fixtures in after electrical has been there. Is through July too long to ask for? I don't want to say May & we have a late spring and can't get things finished up by the extension date.

*Pam Maloney  
Sargent County Auditor  
355 Main St S, Suite 1  
Forman ND 58032-4149  
701 724-6241 Ext 108  
701 724-6244 Fax  
[pmaloney@nd.gov](mailto:pmaloney@nd.gov)  
[sargentnd.com](http://sargentnd.com)*

*Life isn't about waiting for the storm to pass... it's about learning to dance in  
the rain.  
Vivian Greene*

**From:** Maloney, Pam L.

**Sent:** Friday, February 3, 2023 10:06 AM

**To:** Recreation Grant Program <[recreation@gdcd.org](mailto:recreation@gdcd.org)>

**Subject:** RE: GDCD Grant

I will visit with Sue, the park manager, to see what she thinks. I'll get back to you once I've spoken with her.

*Pam Maloney  
Sargent County Auditor  
355 Main St S, Suite 1  
Forman ND 58032-4149  
701 724-6241 Ext 108  
701 724-6244 Fax  
[pmaloney@nd.gov](mailto:pmaloney@nd.gov)  
[sargentnd.com](http://sargentnd.com)*

**From:** Recreation Grant Program <[recreation@gdcd.org](mailto:recreation@gdcd.org)>

**Sent:** Friday, February 3, 2023 10:04 AM

**To:** Maloney, Pam L. <[pmaloney@nd.gov](mailto:pmaloney@nd.gov)>

**Cc:** Merri Mooridian <[merrim@gdcd.org](mailto:merrim@gdcd.org)>

**Subject:** RE: GDCD Grant

You don't often get email from [recreation@gdcd.org](mailto:recreation@gdcd.org). [Learn why this is important](#)



\*\*\*\*\* CAUTION: This email originated from an outside source. Do not click links or open attachments unless you know they are safe. \*\*\*\*\*

Thank you for the update, Pam. The below information is sufficient to request an extension. Please provide an anticipated finish date so we can use that as the extension deadline.

## Stacey Gussiaas

Administrative Assistant  
Garrison Diversion Conservancy District  
PO Box 140  
401 Hwy 281 NE  
Carrington, ND 58421-0140

701.652.3194  
[staceyg@gdcd.org](mailto:staceyg@gdcd.org)

[www.garrisondiversion.org](http://www.garrisondiversion.org)

**From:** Merri Mooridian <[merrim@gdcd.org](mailto:merrim@gdcd.org)>  
**Sent:** Thursday, February 2, 2023 4:07 PM  
**To:** Stacey Gussiaas <[staceyg@gdcd.org](mailto:staceyg@gdcd.org)>  
**Cc:** [pmaloney@nd.gov](mailto:pmaloney@nd.gov)  
**Subject:** FW: GDCD Grant

Stacey,

Will you please reply to Pam? I don't have access to the letter we sent, right now, and will be out of the office tomorrow and much of next week.

Thanks,  
Merri

**From:** Maloney, Pam L. <[pmaloney@nd.gov](mailto:pmaloney@nd.gov)>  
**Sent:** Thursday, February 2, 2023 3:46 PM  
**To:** Merri Mooridian <[merrim@gdcd.org](mailto:merrim@gdcd.org)>  
**Subject:** GDCD Grant

Merri,

We received your letter regarding the grant for the bathhouse. What kind of a status letter do you need? The project is not yet finished – Covid really shut down some things & finding the contractors to get the project finished has been challenging. I think the bathhouse is pretty much finished, but I don't believe the plumber has been there to finish up. We are sure hoping we are first on the list this spring!

Please let me know if this email is sufficient or if you need something further, or if you would like me to send the bills that we have received thus far.

Have a great evening!

*Pam Maloney*  
*Sargent County Auditor*  
*355 Main St S, Suite 1*

## Recreation Grant Program

---

**From:** Recreation Grant Program  
**Sent:** Tuesday, February 21, 2023 2:30 PM  
**To:** Ashley Frederick  
**Subject:** RE: (EXTERNAL) RE: Garrison Diversion Rec Grant -Bike Trail  
**Attachments:** Sign Information Request.pdf; Equipment Donation.pdf; Labor Donation.pdf; Materials Donation.pdf; Reimbursement Request.pdf

Ashley,

In order to receive reimbursement for the expenses for the above project, you will need to submit the invoices and cancelled checks (or a copy of the bank statement showing that the checks have cleared the bank). If my addition is correct, it appears with those expenses listed below, Garrison Diversion would provide \$42,155.80 in reimbursement to the City of Hillsboro. That would leave \$47,817.20 remaining to be expended on your approved grant award.

It appears from the engineer's comments below that this project has been completed? It must have come in greatly under the anticipated estimate since there is more remaining than what was expended?

Keep in mind the grant award was for the concrete and gravel trail components of the project and that no funding was awarded for any expenses related to the excavation/creation of the pond, rip rap or storm sewer.

I have attached the reimbursement claims to be used as well. Not sure if you had any donated/in-kind labor/materials/equipment associated with this project so have included those just in case.

We will also need the attached sponsor recognition form completed and returned to our office before any reimbursement can be made.

Please let me know if you have any further questions. The reimbursement documents and sign information form can be returned electronically to this email or placed in the mail to the below address, whichever way works best for you.

### Stacey Gussiaas

Administrative Assistant  
 Garrison Diversion Conservancy District  
 PO Box 140  
 401 Hwy 281 NE  
 Carrington, ND 58421-0140

701.652.3194  
[staceyg@gdcd.org](mailto:staceyg@gdcd.org)

[www.garrisondiversion.org](http://www.garrisondiversion.org)

**From:** Merri Mooridian <merrim@gdcd.org>  
**Sent:** Tuesday, February 21, 2023 12:28 PM  
**To:** Ashley Frederick <ashley.frederick@hillsboro-nd.us>; Stacey Gussiaas <staceyg@gdcd.org>  
**Subject:** RE: (EXTERNAL) RE: Garrison Diversion Rec Grant -Bike Trail

Stacey,

Please follow up with Ashley regarding the recreation grant Hillsboro received.

Thanks,

Merri Mooridian

**From:** Ashley Frederick <[ashley.frederick@hillsboro-nd.us](mailto:ashley.frederick@hillsboro-nd.us)>  
**Sent:** Friday, February 17, 2023 12:32 PM  
**To:** Merri Mooridian <[merrim@gdcd.org](mailto:merrim@gdcd.org)>  
**Subject:** FW: (EXTERNAL) RE: Garrison Diversion Rec Grant -Bike Trail

Hi Merri,  
Jason Siegert had stopped by last week and asked me about the grant we were approved for in our Riverwalk development. I reached out to The developer and below is there response. Please see email chain be low and let me know what the next step is.

**Thank you,**

*Ashley Frederick*  
City Auditor  
City of Hillsboro  
19 S Main St, PO Box 400  
Hillsboro, ND 58045  
Phone:(701) 636-4620  
Fax: (701) 636-4621  
email: [ashley.frederick@hillsboro-nd.us](mailto:ashley.frederick@hillsboro-nd.us)

**From:** Ashley Frederick  
**Sent:** Thursday, February 9, 2023 7:45 AM  
**To:** [jsiegert@rrv.net](mailto:jsiegert@rrv.net)  
**Subject:** FW: (EXTERNAL) RE: Garrison Diversion Rec Grant -Bike Trail

Good morning Jason,  
Please see the email below. According to Lowry and his firm the work has been completed. What are the next steps to receive the grant funds?

**Thank you,**

*Ashley Frederick*  
City Auditor  
City of Hillsboro  
19 S Main St, PO Box 400  
Hillsboro, ND 58045  
Phone:(701) 636-4620  
Fax: (701) 636-4621  
email: [ashley.frederick@hillsboro-nd.us](mailto:ashley.frederick@hillsboro-nd.us)

**From:** Danielle Houts <[dhouts@lowryeng.com](mailto:dhouts@lowryeng.com)>  
**Sent:** Wednesday, February 8, 2023 4:06 PM  
**To:** Jonathan Lowry <[jlowry@lowryeng.com](mailto:jlowry@lowryeng.com)>; Ashley Frederick <[ashley.frederick@hillsboro-nd.us](mailto:ashley.frederick@hillsboro-nd.us)>  
**Cc:** Kevin Schwark <[kschwark@lowryeng.com](mailto:kschwark@lowryeng.com)>  
**Subject:** (EXTERNAL) RE: Garrison Diversion Rec Grant -Bike Trail

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Hi,

Yes, it was completed. \$63,158.35 was paid under Sellin Brothers 2021 contract, \$96,512.00 was paid under F&S Concrete’s 2022 contract, \$8,925.84 was paid under Green Earth Landscaping’s 2022 contract.

Let me know if you need anything else.

Thanks,

**Danielle Houts, P.E.** (MN, ND, SD)  
*Civil Engineer*



801 Burns Street  
Hawley, MN 56549  
Office: 701.235.0199  
Cell: 701.866.5379  
[dhouts@lowryeng.com](mailto:dhouts@lowryeng.com)  
[www.lowryeng.com](http://www.lowryeng.com)

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**From:** Jonathan Lowry <[jlowry@lowryeng.com](mailto:jlowry@lowryeng.com)>  
**Sent:** Wednesday, February 8, 2023 11:24 AM  
**To:** Danielle Houts <[dhouts@lowryeng.com](mailto:dhouts@lowryeng.com)>  
**Cc:** Ashley Frederick <[ashley.frederick@hillsboro-nd.us](mailto:ashley.frederick@hillsboro-nd.us)>  
**Subject:** FW: Garrison Diversion Rec Grant -Bike Trail

Can you please coordinate with Ashley on this? Thank you,  
-Jon

**From:** Ashley Frederick <[ashley.frederick@hillsboro-nd.us](mailto:ashley.frederick@hillsboro-nd.us)>  
**Sent:** Wednesday, February 08, 2023 9:16 AM  
**To:** Jonathan Lowry <[jlowry@lowryeng.com](mailto:jlowry@lowryeng.com)>  
**Cc:** Steve Swanson <[Steve.Swanson@AE2S.com](mailto:Steve.Swanson@AE2S.com)>; Levi Reese <[levi.reese@hillsboro-nd.us](mailto:levi.reese@hillsboro-nd.us)>  
**Subject:** Garrison Diversion Rec Grant -Bike Trail

Good Morning Jon,  
Jason Siegert dropped this letter of yesterday. Has the Bike Trail been completed or at least started yet? They are wondering if we need an extension. Please let me know ASAP.

Thank you,

*Ashley Frederick*  
City Auditor  
City of Hillsboro  
19 S Main St, PO Box 400  
Hillsboro, ND 58045  
Phone:(701) 636-4620  
Fax: (701) 636-4621  
email: [ashley.frederick@hillsboro-nd.us](mailto:ashley.frederick@hillsboro-nd.us)



January 25, 2023

GARRISON DIVERSION  
 CONSERVANCY DISTRICT  
 P.O. Box 140  
 CARRINGTON, N.D. 58421  
 (701) 652-3194  
 FAX (701) 652-3195  
 gdcd@gdcd.org  
 www.garrisondiversion.org

Renae Korslien, Manager  
 ND State Fair  
 PO Box 1796  
 Minot, ND 58702-1796

Dear Renae:

In May 2020, the Garrison Diversion Recreation Committee approved a matching recreation grant not to exceed \$26,450.00 to the ND State Fair for the development of the West Park to include grass seed, electrical panels, walking path and tree plantings. Per our matching recreation grant program, grant recipients have three years to expend their awarded funds. Our records indicate that funds of \$4,588.40 remain to be expended on this project.

The Recreation Committee will meet in March to review outstanding grants and consider new requests. Therefore, in order to retain funding for this project, a status update needs to be received at the Garrison Diversion office by March 1, 2023.

If you have any questions, please contact me at 701.652.3194 or at merrim@gdcd.org.

Sincerely,

Merri Mooridian  
 Administrative Officer

cc: Bruce Klein, Recreation Committee Chair  
 Alan Walter, Chairman of the Board/Ward County Director

SLG



FEB 03 2023

January 30, 2023

Garrison Diversion Conservancy District  
Bruce Klein, Recreation Committee Chair  
Alan Walter, Chairman of the Board/Ward County Director  
PO Box 140  
Carrington, ND 58421

Dear Mr. Klein and Mr. Walter,

In May 2020, the North Dakota State Fair received a matching recreation grant of \$26,450.00 from the Garrison Diversion Recreation Committee for the development of the West Park to include grass seed, electrical panels, a walking path, and tree plantings. We received notification that we have funds left remaining from this specific request. This letter is our formal request to ask permission to use the remaining funds of \$4,588.40 to put towards lighting the walking path that was created in the West Park.

This request was not in our initial application, but with this letter we would like to amend the initial application and include this lighting as we feel it is important to provide our visitors the safety and security of a lit-up walking path for the hours after dark. This path will lead directly to our new bathrooms in the West Park. We ask the committee to please allow us to allocate the funds to this specific project.

If you have any questions regarding this request, please contact me at 701-857-7620 or at [craig@ndstatefair.com](mailto:craig@ndstatefair.com).

Thank you for your consideration.

Sincerely,

Craig Rudland  
Assistant General Manager

PO Box 1796  
Minot, North Dakota 58702  
Phone 701.857.7620  
Fax 701.857.7622  
Email: [ndsf@minot.com](mailto:ndsf@minot.com)  
[www.ndstatefair.com](http://www.ndstatefair.com)



January 25, 2023

GARRISON DIVERSION  
CONSERVANCY DISTRICT  
P.O. Box 140  
CARRINGTON, N.D. 58421  
(701) 652-3194  
FAX (701) 652-3195  
gdcd@gdcd.org  
www.garrisondiversion.org

Travis Schmit, Assistant County Engineer  
Ward County Parks  
900 13<sup>th</sup> St SE  
Minot, ND 58701

Dear Travis:

In May 2020, the Garrison Diversion Recreation Committee approved a matching recreation grant not to exceed \$26,950.00 to the Ward County Parks for the construction of a pavilion at Rice Lake. Per our matching recreation grant program, grant recipients have three years to expend their awarded funds. Our records indicate that all funds remain to be expended on this project.

The Recreation Committee will meet in March to review outstanding grants and consider new requests. Therefore, in order to retain funding for this project, a status update needs to be received at the Garrison Diversion office by March 1, 2023.

If you have any questions, please contact me at 701.652.3194 or at merrim@gdcd.org.

Sincerely,

Merri Mooridian  
Administrative Officer

cc: Bruce Klein, Recreation Committee Chair  
Alan Walter, Chairman of the Board/Ward County Director

SLG

**Stacey Gussiaas**

---

**From:** Travis Schmit <Travis.Schmit@co.ward.nd.us>  
**Sent:** Tuesday, February 21, 2023 1:47 PM  
**To:** Merri Mooridian  
**Cc:** Stacey Gussiaas  
**Subject:** RE: Status Update - Ward County Parks Pavilion

Thanks!  
Travis



**Travis Schmit, PE, CFM**  
Asst. Co. Engineer  
Ward County Highway Department  
Email: [Travis.Schmit@co.ward.nd.us](mailto:Travis.Schmit@co.ward.nd.us)  
D: 701.418.3615 | O: 701.838.2810  
200 72<sup>nd</sup> Street SE, PO Box 5005, Minot, ND 58701  
<http://www.co.ward.nd.us>

---

**From:** Merri Mooridian [mailto:merrim@gdcd.org]  
**Sent:** Tuesday, February 21, 2023 12:45 PM  
**To:** Travis Schmit <Travis.Schmit@co.ward.nd.us>  
**Cc:** Stacey Gussiaas <staceyg@gdcd.org>  
**Subject:** RE: Status Update - Ward County Parks Pavilion

**\*EXTERNAL email received. DO NOT open suspicious emails.\***

Travis,

Thanks for the update. We will bring the time extension request – December 1, 2024 - to the Recreation Committee at their spring meeting.

We will send a formal letter stating their decision.

Thanks,

*Merri Mooridian*

Administrative Officer - Garrison Diversion Conservancy District  
Deputy Program Manager – Red River Valley Water Supply Project

Office – 701.652.3194



**From:** Travis Schmit <[Travis.Schmit@co.ward.nd.us](mailto:Travis.Schmit@co.ward.nd.us)>  
**Sent:** Wednesday, February 8, 2023 10:29 AM  
**To:** Merri Mooridian <[merrim@gdcd.org](mailto:merrim@gdcd.org)>  
**Subject:** Status Update - Ward County Parks Pavilion

Good Morning Merri,

Just wanted to send a status update on our pavilion project for out at Rice Lake. Ward County Parks was able to solicit bids initially for the construction of the pavilion, but due to the ramp up of contractors and scarcity of building supplies, we've been unable to complete this project as of current.

We are hoping to re-bid the project this spring and lock in a contractor to complete it either this summer and/or summer of 2024. Since costs of materials have increased significantly, our new design will include an area for future bathrooms but the base bid will only be the pavilion. Our estimated costs for just the pavilion structure will exceed \$120,000 more than likely.

If we are able to receive a time extension till end of year 2024 to compete our Rice Lake Pavilion project that would be greatly appreciated. Please let me know if you need any additional information for the committee.

Sincerely,  
Travis



**Travis Schmit, PE, CFM**

Asst. Co. Engineer  
Ward County Highway Department

Email: [Travis.Schmit@co.ward.nd.us](mailto:Travis.Schmit@co.ward.nd.us)  
D: 701.418.3615 | O: 701.838.2810

200 72<sup>nd</sup> Street SE, PO Box 5005, Minot, ND 58701  
<http://www.co.ward.nd.us>



GARRISON DIVERSION  
 CONSERVANCY DISTRICT  
 P.O. Box 140  
 CARRINGTON, N.D. 58421  
 (701) 652-3194  
 FAX (701) 652-3195  
 gdcd@gdcd.org  
 www.garrisondiversion.org

January 25, 2023

Beth Innis, Secretary  
 Williams County Water Resources District  
 PO Box 2047  
 Williston, ND 58802-2047

Dear Beth:

In May 2020, the Garrison Diversion Recreation Committee approved a matching recreation grant not to exceed \$3,675.00 to the Williams County Water Resources District for the purchase of picnic tables for the confluence of the Yellowstone and Missouri Rivers. Per our matching recreation grant program, grant recipients have three years to expend their awarded funds. Our records indicate that all funds remain to be expended on this project.

The Recreation Committee will meet in March to review outstanding grants and consider new requests. Therefore, in order to retain funding for this project, a status update needs to be received at the Garrison Diversion office by March 1, 2023.

If you have any questions, please contact me at 701.652.3194 or at [merrim@gdcd.org](mailto:merrim@gdcd.org).

Sincerely,

Merri Mooridian  
 Administrative Officer

cc: Bruce Klein, Recreation Committee Chair  
 Alan Walter, Chairman of the Board  
 Ward Koeser, Williams County Director

SLG

**GARRISON DIVERSION CONSERVANCY DISTRICT  
RECREATION MATCHING FUNDING  
COMPLETED PROJECTS  
JULY 1, 1990, to DECEMBER 31, 2022**

<b>COUNTY</b>	<b>PROJECT</b>	<b>GRANT APPROVAL DATE</b>	<b>PROJECTS APPROVED 1990-2022</b>	<b>EXPEN- DITURE</b>	<b>Adjust Reserve</b>
Barnes	Clauson Springs	09-24-03	542.86		(542.86)
Barnes, Ransom	Clausen Springs	04-16-05	4,090.00	4,090.00	
Barnes	Clausen Springs Shower Facility	04-29-08	10,500.00	10,500.00	
Barnes	County Parks Improvements	10-01-12	6,975.00	6,975.00	
Barnes	Dazey Community Park	04-29-08	9,100.00	8,954.22	(145.78)
Barnes	Hi-Line Prairie Gardens & Orchard Phase II	05-05-17	6,457.00	6,457.00	
Barnes	Ladies Line Trail	04-20-06	4,638.00	4,638.00	
Barnes	Little Yellowstone Park	12-07-99	2,657.14	2,657.14	
Barnes	Little Yellowstone Park Playground Equip.	04-26-07	7,500.00	7,500.00	
Barnes	North Country Trail Construction	09-29-09	8,055.00	7,473.84	(581.16)
Barnes	North Country Trail Improvements	04-30-14	18,714.00	18,714.00	
Barnes/Ransom	Parks Enhancement Project	04-29-16	21,855.00	21,855.00	
Barnes	Pioneer Park Trail	09-28-11	6,750.00	6,750.00	
Barnes	Rogers City Park	04-23-12	3,013.00		(3,013.00)
Barnes (fiscal agent)	Sheyenne River Scenic Byway	09-24-03	25,000.00	25,000.00	
Ransom	Sheyenne River Scenic Byway				
Barnes	Wimbledon City Park Playgrnd Equip	10-09-13	8,625.00	8,625.00	
Barnes	Hi-Line Prairie Gardens/Orchard Phase III	05-02-18	16,055.00	16,055.00	
Benson	4-H Multi-Purpose Building	09-29-09	37,500.00	36,100.78	(1,399.22)
Benson	Beacon Light, Minnewaukan	09-20-05	3,750.00	801.25	(2,948.75)
Benson	City of Maddock	09-28-04	100,000.00	100,000.00	
Benson	Esmond Memorial Park Comfort Station	04-30-14	4,000.00	4,000.00	
Benson	Fireman's Memorial Park	04-23-12	1,250.00	1,125.69	(124.31)
Benson	Leeds City Park Playground Equipment	04-21-10	3,000.00	1,864.27	(1,135.73)
Benson	Leeds Parks	10-04-06	2,462.00		(2,462.00)
Benson	Minnewaukan Trap Shooting Range	10-01-12	9,750.00		(9,750.00)
Benson	Spirit Lake Park	04-20-06	12,500.00	12,500.00	
Benson	Spirit Lake Park Restrooms	04-30-09	10,000.00	2,625.00	(7,375.00)
Benson	City of Maddock	10-07-16	50,000.00	37,217.28	(12,782.72)
Benson	Maddock City Playground	03-30-22	22,099.00	16,968.00	(5,131.00)
Bottineau	Annie's House, Bottineau Winter Park	09-28-11	50,000.00	50,000.00	
Bottineau	Carbury Dam	04-23-12	6,590.00	6,477.07	(112.93)
Bottineau	Carbury Dam Campsite Improvements	04-20-06	12,706.00	11,083.76	(1,622.24)
Bottineau	Lake Metigoshe	1998	30,000.00	30,000.00	
Bottineau	Lansford	04-30-03	2,000.00	2,000.00	
Bottineau	Lansford Comm Bldg Renovation	10-09-13	5,000.00	5,000.00	
Bottineau	Newburg City Park	09-29-09	4,000.00	4,000.00	
Bottineau	Fairground Horse Arena	10-07-16	31,350.00	31,350.00	
Bottineau	Fairground Horse Arena	05-02-18	17,361.00	17,361.00	
Bottineau	Forestry Park Playground	05-02-19	11,250.00	9,658.95	(1,591.05)
Bottineau	Bottineau Fair Ground Arena	05-02-19	7,146.00	7,146.00	
Bottineau	VFW Park Bathroom	09-26-19	10,000.00	9,443.31	(556.69)
Bottineau	Antler Memorial Playground	05-06-20	5,643.00	4,764.75	(878.25)
Bottineau	Lake Metigoshe Boat Ramp	09-23-21	6,625.00	6,625.00	
Bottineau	Carbury Dam Playground Edging	03-30-22	859.00	859.00	
Burleigh	Bismarck Parks and Recreation	1993	12,000.00	12,000.00	
Burleigh	Hoge Island	1995	125,000.00	88,235.94	(36,764.06)
Burleigh	Kimball Bottoms	04-26-05	1,625.00	1,625.00	
Burleigh	Kiwanis Park Playground Equipment	10-08-15	23,250.00	19,246.25	(4,003.75)
Burleigh	Kneifel Landing	10-04-06	7,500.00	4,863.00	(2,637.00)

COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
Burleigh	Kneifel Landing Fish Cleaning Station	05-05-11	5,000.00	5,000.00	
Burleigh	Sibley Park Accessibility Improvements	10-09-13	16,112.00	16,112.00	
Burleigh	Tommy Turtle Park Improv/Welcome Center	10-08-15	50,000.00	50,000.00	
Burleigh	General Sibley Interpretive Trail	04-29-16	24,668.00	15,072.58	(9,595.42)
Burleigh	Senosory Play Space-Magical Moment	05-02-18	27,125.00	27,125.00	
Burleigh	New Generations Park-Splash Pad Only	05-02-18	40,000.00	40,000.00	
Burleigh	Bismarck Parks & Recreation	05-06-20	24,529.00	24,529.00	
Burleigh	Elk Ridge Neighbor Park Amenities	05-02-19	100,000.00	100,000.00	
Burleigh	Burleigh County Commission	05-06-20	6,000.00	5,196.75	(803.25)
Burleigh	McDowell Dam Vault Toilet	09-26-19	3,478.00	3,478.00	
Burleigh	Zonta Park Prairie Play Nodes	09-26-19	15,053.00	11,069.25	(3,983.75)
Burleigh	North Central Park Improvements	10-01-20	82,136.00	82,136.00	
Burleigh	Sertoma Park Fitness Improvements	04-29-21	75,167.00	75,167.00	
Burleigh	Tom O'Leary RestroomTom O'Leary Restroom	04-29-21	80,513.00	80,513.00	
Cass	Amenia Park Improvement	05-06-13	7,500.00	6,588.90	(911.10)
Cass	Brewer Lake Campground	04-23-12	8,625.00	8,205.24	(419.76)
Cass	Brewer Lake Campground Improvements	05-05-17	3,263.00	2,864.26	(398.74)
Cass	Brewer Lake Improvements	04-20-06	6,250.00		(6,250.00)
Cass	Brewer Lake Improvements	04-21-10	13,125.00	3,294.70	(9,830.30)
Cass	Brewer Lake Vault ToiletBrewer Lake Vault Toilet	04-23-15	808.00	714.37	(93.63)
Cass	Buffalo Ballpark Playground	04-20-06	4,803.00	4,783.03	(19.97)
Cass	Cass County Park Board	04-30-03	15,000.00	15,000.00	
Cass	City of Reiles Acres, City Parks	10-15-07	15,846.00	15,846.00	
Cass	Grandin Park	09-20-05	5,000.00	3,261.04	(1,738.96)
Cass	Kindred Concessions/Restrooms	10-09-13	21,750.00	21,750.00	
Cass	Kindred Park Board	04-14-04	6,250.00	6,250.00	
Cass	Progressive Ag Fields Picninc Area	09-30-14	2,500.00		(2,500.00)
Cass	Red River Valley Fairgrounds	10-08-08	4,125.00	4,125.00	
Cass	RRV Fair Campground Renovation	04-23-15	26,184.00	26,184.00	
Cass	RRV Fair Campground Phase 2	04-29-16	21,831.00	21,831.00	
Cass	RRV Fair Campground Phase 3	05-05-17	15,686.00	15,686.00	
Cass	RRV Fair Campground Phase 4	05-02-18	7,277.00	7,277.00	
Cass	Reile's Acres Park Development	10-07-16	55,000.00	37,286.74	(17,713.26)
Cass	Brewer Lake Electric Sites	05-02-19	3,857.00	3,857.00	
Cass	Hunter City Park Playground	10-03-18	16,071.00	16,071.00	
Cass	RRV Fair Campground Phase V	05-02-19	5,623.00	5,623.00	
Cass	Meadowlark Park	05-06-20	219,799.00	219,799.00	
Cass	Maplewood Park/Playground Shelter	04-29-21	202,300.00	202,300.00	
Dickey	Pheasant Lake Beach Improvements	10-09-13	1,000.00	1,000.00	
Dickey	Pheasant Lake Frisbee Golf	04-23-15	742.00	742.00	
Dickey	Pheasant Lake Playgym	04-30-09	1,250.00	818.75	(431.25)
Dickey	Pheasant Lake/Wilson Dam Signs	04-30-14	1,500.00	1,500.00	
Dickey	West Side Park	04-26-05	4,800.00	4,800.00	
Dickey	Pheasant Lake Boat Ramp Sign	05-02-19	973.00	208.96	(764.04)
Eddy	ADA Accessible Bathhouse	04-30-14	28,125.00	28,125.00	
Eddy	All Season's Rec & Event Center	09-28-11	50,000.00	50,000.00	
Eddy	Brown Memorial	10-08-08	375.00	375.00	
Eddy	New Rockford/Eddy County Brochure	04-20-06	500.00	500.00	
Eddy	New Rockford Park District, North Park	04-30-03	20,000.00	20,000.00	
Eddy	New Rockford Park District, North Park	04-26-05	1,100.00	1,100.00	
Eddy	New Rockford South Ballpark	07-09-02	4,500.00	3,000.00	(1,500.00)
Eddy	Campbell Memorial Playground Equip	04-23-15	12,500.00	11,945.92	(554.08)
Eddy	Eddy County Recreational Pavilion	09-26-19	8,933.00	8,933.00	
Foster	Carrington City Park	04-26-05	1,805.00	1,805.00	
Foster	Carrington City Park	04-21-10	2,000.00	2,000.00	
Foster	Carrington Park Concession Stand	04-29-16	5,000.00	2,985.86	(2,014.14)
Foster	Carrington Park Play Equipment	04-30-14	7,375.00	7,375.00	

COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
Foster	Community Activity Center	09-28-11	10,000.00	10,000.00	
Foster	Community Entertainment Pavilion	04-23-15	7,980.00	7,980.00	
Foster	Courthouse Park, Carrington	09-20-05	1,542.00		(1,542.00)
Foster	Cross Roads Water Conservation Project	10-15-07	33,000.00	28,450.18	(4,549.82)
Foster	Foster County Fairgrounds	04-23-12	6,100.00	6,061.41	(38.59)
Foster	Foster County Fairgrounds Enhancements	04-30-14	1,300.00	1,300.00	
Foster	Juanita Lake	07-19-90	1,200.00	1,200.00	
Foster	Lake Juanita Children's Park	04-20-06	1,185.00	1,185.00	
Foster	Lake Juanita Playground	04-23-12	1,061.00	1,061.00	
Foster	Lake Juanita Playground Equipment	05-05-11	942.00		(942.00)
Foster	Lake Juanita Playground Equipment	09-30-14	1,759.00		(1,759.00)
Foster	Tri-county Recreation Project	1999	100,000.00	100,000.00	
Foster	CrossRoads Shelter/Restroom	04-23-15	3,675.00		(3,675.00)
Foster	Courthouse Park	05-02-18	7,383.00	7,383.00	
Grand Forks	City of Grand Forks	04-14-04	30,000.00	30,000.00	
Grand Forks	Fordville Dam RV Park	04-30-09	4,250.00	4,250.00	
Grand Forks	Fordville Dam RV Park & Disc Golf	04-23-15	4,378.00	4,378.00	
Grand Forks	Fordville Dam RV Park Electric Updates	04-29-16	7,400.00	2,500.00	(4,900.00)
Grand Forks	Fordville Dam RV Park Upgrades	05-05-11	5,382.00	5,382.00	
Grand Forks	Grand Forks Parks District	1998	25,500.00	25,500.00	
Grand Forks	Grand Forks Greenway Project	12-04-01	50,000.00	50,000.00	
Grand Forks	Larimore Dam Campground Upgrades	05-05-11	2,794.00	2,772.86	(21.14)
Grand Forks	Larimore Dam Park Project	10-01-12	1,750.00	1,750.00	
Grand Forks	Lincoln Drive Boat Ramp	09-20-05	7,000.00	7,000.00	
Grand Forks	Northwood Ice Arena	04-30-14	25,000.00	25,000.00	
Grand Forks	Northwood Ice Arena	09-30-14	25,000.00	25,000.00	
Grand Forks	Altru Wellness Village Playground	05-05-17	8,750.00	8,750.00	
Grand Forks	Grand Forks Skat Park-Phase 1	10-05-17	31,232.00	31,232.00	
Grand Forks	Fordville Dame RV Park Canopy Shelter	05-02-18	2,713.00	2,713.00	
Grand Forks	Kiwanis Park Special Needs Playground	05-02-19	7,750.00	7,750.00	
Grand Forks	Veteran's Memorial Park Visitor Center	09-26-19	100,000.00	100,000.00	
Grand Forks	Ryan Lake Playground	05-05-17	5,175.00	3,106.39	(2,068.61)
Grand Forks	Larimore Dam Picnic Shelter	05-06-20	6,640.00	6,522.69	(117.31)
Grand Forks	Kannowski Skate Park-Phase II	09-26-19	35,000.00	35,000.00	
Griggs	Baldhill Creek/Clinton Brown Mem. Park	2001	20,000.00	20,000.00	
Griggs	Baldhill Creek/Clinton Brown Mem. Park	09-24-03	10,000.00	10,000.00	
Griggs	Binford City Park Gazebo	04-21-10	1,700.00	1,084.50	(615.50)
Griggs	Binford & Cooperstown Park Boards	04-30-03	4,000.00	3,510.25	(489.75)
Griggs	Binford Event Tent	05-05-11	3,500.00	3,437.50	(62.50)
Griggs	City of Binford	04-14-04	3,500.00	3,500.00	
Griggs	Clinton A. Brown Memorial Park	04-20-06	2,250.00	2,223.65	(26.35)
Griggs	Cooperstown Park Board	04-14-04	4,750.00	4,750.00	
Griggs	Cooperstown Park Improvements	04-21-10	4,400.00	4,400.00	
Griggs	Cooperstown RV Park	10-07-10	25,000.00		(25,000.00)
Griggs	Sheyenne River Scenic Byway	06-13-02	20,000.00	20,000.00	
Griggs	Cooperstown Park Fire Rings	05-02-19	177.00	177.00	
Griggs	Binford Rodeo Ground Bleachers	10-07-16	27,500.00	19,096.30	(8,403.70)
Griggs	ADA Restroom/Concession Stand	10-07-16	6,125.00	5,568.12	(556.88)
Griggs	Hannaford Park Playground	10-03-18	7,309.00	6,709.50	(599.50)
LaMoure	James R. Valley Scenic Back Road	09-24-03	7,000.00	7,000.00	
LaMoure	Kulm Park	2001	7,000.00		(7,000.00)
LaMoure	LaMoure Memorial Park Kitchen	2001	18,925.00	18,925.00	
LaMoure	LaMoure County Memorial Park	04-26-05	1,125.00	987.70	(137.30)
LaMoure	LaMoure County Playground	06-13-02	7,500.00	7,500.00	
LaMoure	Lake LaMoure Comfort Station, trees	1999	5,115.00	5,080.06	(34.94)
LaMoure	Lake LaMoure, Seedlings, Sand	2000	1,250.00	1,250.00	
LaMoure	Lake LaMoure Tree Planting Project	06-13-02	817.00	817.00	
LaMoure	Memorial Park Canteen	04-21-10	5,500.00	1,990.24	(3,509.76)

COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
LaMoure	Verona Main Street Park	09-20-05	3,457.00	3,457.00	
Lamoure	Sunset Park Revitalizations Phase I	05-02-18	37,500.00	37,500.00	
LaMoure	Memorial Park Pedestals	05-06-20	3,725.00	3,725.00	
LaMoure	County Park Playground Equipment	04-29-21	4,573.00	4,573.00	
McHenry	Anamoose Park Playground Equipment	04-29-16	10,000.00	10,000.00	
McHenry	Buffalo Lodge Lake Phase II	10-15-07	600.00	347.75	(252.25)
McHenry	Buffalo Lodge Lake Shelter Lighting	04-21-10	800.00	800.00	
McHenry	City of Velva	09-24-03	10,000.00		(10,000.00)
McHenry	Community Park	10-08-08	9,338.00	9,338.00	
McHenry	Granville Park Playground Equipment	04-21-10	8,500.00	7,098.25	(1,401.75)
McHenry	Lake George Picnic Shelter	10-01-12	1,614.00	1,614.00	
McHenry	McHenry County Park Board	09-28-04	1,712.00	1,061.95	(650.05)
McHenry	McHenry County Parks Shelters	04-29-16	3,000.00	2,356.75	(643.25)
McHenry	Velva City Campground	05-05-11	2,300.00	2,236.70	(63.30)
McHenry	Velva Fitness & Walking Trail	04-26-07	15,500.00	8,256.85	(7,243.15)
McHenry	Buffalo Lodge Shelters	05-05-17	2,500.00	2,310.00	(190.00)
McKenzie	City of Watford City	09-24-03	3,069.00	3,069.00	
McKenzie	Highland Acres Park	04-30-14	25,000.00	24,974.50	(25.50)
McKenzie	Kent Pelton Nature Park Phase I	04-29-16	50,000.00	50,000.00	
McKenzie	Long X Children's Playground	04-26-05	30,000.00	30,000.00	
McKenzie	McKenzie County Park Board	04-22-04	13,390.00	13,390.00	
McKenzie	Sundheim Park Disc Golf Course	05-05-11	4,600.00	1,198.98	(3,401.02)
McKenzie	Tobacco Gardens Boat Slips	04-10-10	7,000.00	6,753.25	(246.75)
McKenzie	Tobacco Gardens Playground Project	10-01-12	25,000.00	25,000.00	
McKenzie	Tourist Park Picnic Shelters/Tables	04-10-10	6,500.00	5,817.89	(682.11)
McKenzie	McKenzie County Veteran's Park	10-05-17	50,000.00	50,000.00	
McKenzie	McKenzie County Veteran's Park Phase II	10-03-18	50,000.00	50,000.00	
McKenzie	McKenzie County Athletic Park	05-06-20	50,000.00	50,000.00	
McLean	4-H Camp (near Washburn)	04-23-12	50,000.00	50,000.00	
McLean	Audubon Refuge Nat. Res. Classroom	04-20-06	10,000.00	10,000.00	
McLean	Garrison City Park Picnic Tables	04-10-10	1,550.00	1,520.87	(29.13)
McLean	Garrison Park Picnic Tables	09-30-14	1,848.00	1,848.00	
McLean	Garrison Park & Recreation Committee	09-28-04	5,000.00	5,000.00	
McLean	Garrison RV Park	10-01-12	6,000.00	6,000.00	
McLean	Garrison Skate Park	04-26-05	8,625.00	8,364.94	(260.06)
McLean	Heritage Heights Trail	04-29-08	5,500.00		(5,500.00)
McLean	McLean County Fairgrounds Upgrades	10-09-13	20,213.00	15,631.80	(4,581.20)
McLean	Memorial Park, Mercer	09-20-05	7,762.00	3,718.97	(4,043.03)
McLean	Northview Trailer Park Playground	04-29-08	3,649.00	3,649.00	
McLean	Sportsmen Centennial	1991	5,000.00	5,000.00	
McLean	Sportsmen Centennial	1993	10,000.00	10,000.00	
McLean	Sportsmen Centennial	1996	20,000.00	20,000.00	
McLean	Underwood City Park Playground Equipment	04-21-10	7,500.00	7,500.00	
McLean	Underwood Parks Playground Equip.	10-09-13	1,617.00	1,617.00	
McLean	Washburn Public Boat Dock	04-20-06	2,500.00	2,500.00	
McLean	Wilderness Park	09-29-09	6,168.00	5,423.98	(744.02)
McLean	Brekken-Holmes Campground Improv.	04-23-15	7,500.00	7,455.18	(44.82)
McLean	Garrison City Park Restrooms	05-05-17	10,000.00	10,000.00	
McLean	Northview Trailer Court RV Park	09-26-19	7,750.00	7,506.00	(244.00)
McLean	Picnic Tables/Turtle Lake	04-29-21	1,980.00	1,980.00	
McLean	Spring Creek Boat Ramp Extension	09-23-21	50,000.00	50,000.00	
McLean	Wilderness Park Improvement	05-02-18	10,000.00	10,000.00	
McLean	Fair Bleachers & Benches	09-26-19	8,770.00	8,323.75	(446.25)
McLean	Mercer Memorial Park Playground	10-01-20	18,248.00	18,248.00	
Nelson	Aneta City Park	04-29-08	5,000.00	5,000.00	
Nelson	Lakota Park Board, McVile Dam	04-14-04	6,750.00	6,750.00	
Nelson	Lakota Walking/Biking Path	04-26-05	5,000.00		(5,000.00)
Nelson	McVile Dam and Recreation Area				

COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
Nelson	Dock, picnic tables, shelter, play equip. McVile Park Recreation Project, Picnic tables, trash receptacles	1998	20,000.00	20,000.00	
Nelson	Stump Lake Café Canopies	2001	3,200.00	3,200.00	
Nelson	Stump Lake Fish Cleaning Station	05-06-13	5,000.00	1,109.53	(3,890.47)
Nelson	Stump Lake Dock Project	10-04-06	14,000.00	9,429.19	(4,570.81)
Nelson	++Stump Lake/Old Settlers Park	04-29-08	5,000.00	4,960.79	(39.21)
Nelson	++Stump Lake/Old Settlers Park, Walking trail, playground equip, toilet	1991 & 1998	45,750.00	45,750.00	
Nelson	Stump Lake Park	2001	20,000.00	20,000.00	
Nelson	Stump Lake Park Fac Bldg & Restrooms	04-23-12	4,000.00	2,156.10	(1,843.90)
Nelson	Stump Lake Park Campground	10-07-10 & 05-05-11	56,000.00	56,000.00	
Nelson	Stump Lake Playground Project	09-29-09	12,500.00	12,500.00	
Nelson	Tolna Bay Rec Area Enhancements	04-30-14	6,000.00	5,158.22	(841.78)
Nelson	Tolna Boat Ramp	05-05-11	3,014.00		(3,014.00)
Nelson	Tolna Dam Recreation Project, Sanitary facilities	04-29-08	2,530.00		(2,530.00)
Nelson	Tolna City Park Restrooms	2000	1,600.00	1,600.00	
Nelson	North Park Bathroom	10-03-18	6,646.00	3,559.37	(3,086.63)
Nelson	McVile Park Frisbee Golf Course	10-07-16	4,000.00		(4,000.00)
Nelson	Playground Equipment-Pekin	05-05-17	1,500.00	-	(1,500.00)
Nelson	Michigan Playground	05-06-20	14,302.00	14,302.00	
Pierce	Balta Dam Park	03-30-22	15,755.00	15,396.90	(358.10)
Pierce	Balta Dam Recreation Project, Restrooms	10-04-06	6,850.00	5,786.07	(1,063.93)
Pierce	City of Rugby, Walking Path/Trail	1997	10,500.00	10,500.00	
Pierce	City of Rugby, Walking Path/Trail	2001	18,000.00	18,000.00	
Pierce	Eastside Park Development	06-13-02	18,180.00	18,180.00	
Pierce	Eastside Park Improvements	04-21-10	20,000.00	20,000.00	
Pierce	Rugby Park Board	05-06-13	9,425.00	8,633.16	(791.84)
Pierce	Rugby Park Board	04-22-04	3,000.00	3,000.00	
Pierce	Rugby Park Board	04-26-05	2,873.00	2,873.00	
Ramsey	City Park Playground Projects	10-01-12	42,500.00	42,500.00	
Ramsey	++Grahams Island, Shelters Grove	FY 1990-200	666,414.38	666,414.38	
Ramsey	Devils Lake Parks Fitness Project	10-09-13	7,825.00	7,825.00	
Ramsey	Henegar Landing	04-23-12	1,875.00	1,875.00	
Ramsey	Henegar North Creel Landing	04-29-08	10,712.00	10,712.00	
Ramsey	Hwy 20 South	04-23-12	6,250.00	6,250.00	
Ramsey	Lakewood Beach Dock & Fishing Pier	10-08-15	3,750.00	3,750.00	
Ramsey	Ramsey County Fairgrounds	04-21-10	6,000.00	1,962.83	(4,037.17)
Ramsey	Roosevelt Park Shelter	09-30-14	4,420.00	4,420.00	
Ramsey	Ruger Park Activities Building	05-05-11	27,500.00	27,500.00	
Ramsey	Lakewood Beach Improvement	10-05-17	4,860.00	4,860.00	
Ramsey	East Ditch Rec Site Playground Equipment	04-29-16	9,974.00	9,974.00	
Ramsey	Lakewood Park Playground	09-26-19	15,000.00	14,576.20	(423.80)
Ramsey	Creel Bay Dock & Slip	10-03-18	18,750.00	18,750.00	
Ransom	Dead Colt Creek, Bath house	2001	20,000.00	20,000.00	
Ransom	Dead Colt Creek Playground	04-23-15	9,396.00	9,396.00	
Ransom	Dead Colt Creek Visitor Center	05-06-13	10,000.00	8,591.73	(1,408.27)
Ransom	McLeod Restroom Project	04-30-14	11,471.00	11,471.00	
Ransom	McLeod RV Park	10-08-08	5,000.00	4,450.63	(549.37)
Ransom	Sandager Park	04-26-05	10,000.00	10,000.00	
Ransom	Sandager Park Canteen/Restroom	04-30-09	30,000.00	29,981.76	(18.24)
Ransom	Sheldon Lions Park	09-20-05	1,163.00	1,163.00	
Ransom	Sheldon Lions Park Restroom	04-20-06	1,000.00	1,000.00	
Ransom	Veterans Memorial Park	06-13-02	30,000.00		(30,000.00)
Ransom	Dead Colt Creek Hook-ups	05-05-17	6,996.00	6,996.00	
Ransom	Dead Colt Creek Bathroom Hook-ups	05-02-18	37,500.00	37,500.00	
Ransom	Lisbon Park District	05-02-18	5,000.00	3,445.99	(1,554.01)

COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
Ransom	Sandager Park Pavilion	04-29-21	11,000.00	10,080.59	(919.41)
Renville	5 Alive Pathway, Mohall	09-20-05	9,250.00		(9,250.00)
Renville	City of Glenburn	04-30-03	5,000.00	5,000.00	
Renville	City of Mohall, Restroom at Fairgrounds	07-09-02	10,000.00	10,000.00	
Renville	City of Mohall, Mohall City Campground	09-24-03	5,000.00	5,000.00	
Renville	City Park Playground Equipment	05-05-11	4,500.00	3,848.07	(651.93)
Renville	Mohall Campground Upgrades	10-01-12	1,250.00	1,250.00	
Renville	Mohall Campground Waterline	04-26-07	1,750.00	1,433.58	(316.42)
Renville	Mohall Fairgrounds Canopy Project	04-29-08	1,621.00	1,621.00	
Renville	Mohall Fairgrounds Sewer System	09-28-11	1,950.00	1,950.00	
Renville	Mohall Gun Club Construction	05-06-13	15,094.00	15,094.00	
Renville	Mouse River Park Gazebo	10-04-06	4,000.00	4,000.00	
Renville	Mouse River Park Playground Project	04-30-09	6,425.00	6,425.00	
Renville	Mouse River Park Campground Improvement	04-30-09	3,756.00	3,756.00	
Renville	Mouse River Park Campsites	05-05-11	4,157.00		(4,157.00)
Renville	Mouse River Park Recreation Project *	1994	66,000.00	66,000.00	
Renville	Glenburn Park Playground Equipment	04-23-15	3,528.00	3,528.00	
Renville	Mohall Gun Club Traphouses	09-30-14	15,750.00	15,750.00	
Renville	Mohall Fairgrounds Playground Equipment	04-23-15	10,000.00	10,000.00	
Renville	Mouse River Park Signage	10-03-18	572.00	572.00	
Renville	Mouse River Planters	10-05-17	250.00	250.00	
Renville/Ward	Renville County Gun Club Phase III	05-02-18	23,811.00	23,811.00	
Renville	Mouse River Park Playground Expansion	10-01-20	2,062.00	2,062.00	
Renville	Mouse River Park Picnic Shelter	04-29-21	2,075.00	1,767.75	(307.25)
Richland	Airport Park	04-23-12	15,000.00	15,000.00	
Richland	Barney Park	04-23-12	1,250.00	481.25	(768.75)
Richland	Barney Park Playground Equipmeny	10-07-16	1,426.00	1,426.00	
Richland	Briarwood Court Playground	04-30-14	2,500.00	2,305.69	(194.31)
Richland	Christine Park Board, Playground equip.	04-30-03	4,000.00	4,000.00	
Richland	Colfax Park Playground Equipment	10-09-13	705.00	705.00	
Richland	Fairmount Park ADA Project	09-28-11	7,500.00	7,500.00	
Richland	Hankinson Am. Leg. Nat. Res. Center	04-30-09	25,000.00	25,000.00	
Richland	Hankinson City Pk Restroom Replacement	10-08-15	10,000.00	10,000.00	
Richland	Kidder Recreation Area Playground	04-20-06	5,000.00		(5,000.00)
Richland	Lidgerwood Recreation Area	04-20-06	2,500.00		(2,500.00)
Richland	Marcus Friskop Learning Site & Vets Mem	04-30-14	12,500.00	12,500.00	
Richland	Mooreton Pond Vault Toilet	04-30-14	6,500.00	6,500.00	
Richland	Rosewood Mini Park Playground Equipment	05-05-11	7,875.00	7,875.00	
Richland	Wahpeton Park Board	09-28-04	2,500.00	2,193.75	(306.25)
Richland	Walcott Park Board, Playground equip.	2001	2,000.00	2,000.00	
Richland	Walcott Park	09-20-05	2,000.00	1,381.25	(618.75)
Richland	Wyndmere Rock Garden Park Equipment	04-23-15	17,554.00	11,660.26	(5,893.74)
Richland	Kidder Recreation Area Tent Campground	10-07-16	3,000.00	1,822.77	(1,177.23)
Richland	Colfax Park Board	10-03-18	2,925.00	719.07	(2,205.93)
Sargent	Milnor Memorial Park	10-04-06	8,500.00	8,500.00	
Sargent	Milnor Memorial Park Phase II	10-15-07	8,500.00	8,500.00	
Sargent	Milnor Park Playground Equipment	10-07-16	1,543.00	1,543.00	
Sargent	Pavilion	10-08-08	21,762.00	21,762.00	
Sargent	Sargent County Park Board	04-14-04	5,030.00	5,030.00	
Sargent	Silver Lake	04-26-05	3,750.00	2,859.18	(890.82)
Sargent	Silver Lake Bathhouse and Campground	04-20-06	5,000.00	5,000.00	
Sargent	Silver Lake Beach & Campground Expan.	04-21-10	5,000.00	5,000.00	
Sargent	Silver Lake Electrical Upgrades	10-09-13	1,654.00	1,654.00	
Sargent	Silver Lake Enhancements	10-01-12	6,912.00	3,955.75	(2,956.25)
Sargent	Silver Lake, Fishing pier	02-28-01	5,000.00	5,000.00	
Sargent	Silver Lake, RV hook-ups, bath house	07-09-02	9,200.00	9,200.00	
Sargent	Silver Lake Shelter & Playground Equip.	09-30-14	13,708.00	13,708.00	
Sargent	Silver Lake Swimming Beach	04-29-08	8,280.00	8,132.48	(147.52)



COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
Sargent	Silver Lake Park Picnic Shelter	10-08-15	1,583.00		(1,583.00)
Sargent	Silver Lake Phase 2	04-29-16	8,250.00	8,236.00	(14.00)
Sargent	Silver Lake Water/Electric Hookups	05-05-17	1,275.00	1,275.00	
Sargent	Silver Lake Improvements	10-05-17	3,559.00	3,218.92	(340.08)
Sargent	Silver Lake Beach Expansion Buoys	05-02-18	644.00	644.00	
Sargent	Silver Lake Frisbee Golf Course	05-02-19	962.00	962.00	
Sargent	Silver Lake Teardrop & Hill Hookups	10-03-18	3,015.00	3,015.00	
Sargent	Wildlife Observation Deck & Trail	10-01-20	4,500.00	4,500.00	
Sheridan	Hoffer Lake 4-H Building Addition	04-29-08	6,250.00	6,250.00	
Sheridan	Hoffer Lake, Picnic Tables	09-20-05	1,143.00	1,143.00	
Sheridan	++Lake Hoffer Park Recreation Proj.	1991--2003	89,903.06	89,903.06	
Sheridan	Hoffer Lake RV Campground Phase II	09-28-11	9,725.00	9,725.00	
Sheridan	Hoffer Lake Vault Toilet	04-29-08	1,230.00	1,230.00	
Sheridan	McClusky Park	09-28-11	1,681.00	1,681.00	
Sheridan	Sheridan County Park Board	04-14-04	6,525.00	5,842.04	(682.96)
Sheridan	Hoffer Lake Beach Area	04-29-16	2,620.00		(2,620.00)
Steele	Finley Campground	10-07-10	16,733.00	11,673.41	(5,059.59)
Steele	Golden Lake Bathhouse	09-29-09	14,968.00		(14,968.00)
Steele	Golden Lake Multi-use Facility	1996	12,826.00	12,826.00	
Steele	Golden Lake Multi-use Facility	1999	6,000.00	5,818.20	(181.80)
Steele	Golden Lake Multi-use Facility	06-13-02	62,500.00	62,500.00	
Steele	Golden Lake Multi-use Facility	04-30-03	20,000.00	20,000.00	
Steele	Golden Lake Multi-purpose Building	04-22-04	20,000.00	20,000.00	
Steele	Golden Lake North Campground	04-29-08	7,500.00	4,986.18	(2,513.82)
Steele	Golden Lake Pavillion Addition	04-30-09	4,000.00	4,000.00	
Steele	Golden Lake Pavillion Deck	10-09-13	1,875.00	1,875.00	
Steele	Golden Lake Picnic Tables	10-09-13	1,800.00	1,556.00	(244.00)
Steele	Golden Lake Playground	10-07-10	3,385.00	3,385.00	
Steele	Golden Lake Playground Phase II	04-29-16	7,500.00	6,589.36	(910.64)
Steele	Golden Lake Campground Renovation	10-05-17	43,356.00	38,704.16	(4,651.84)
Stutsman	Ft. Seward Annual Wagon Train	09-28-04	5,000.00	5,000.00	
Stutsman	Jamestown Res., Bath House Project	04-30-03	10,000.00	5,935.35	(4,064.65)
Stutsman	Jamestown Res., Beach	2000	20,000.00	5,580.61	(14,419.39)
Stutsman	Jamestown Res., Bike Path	1994	29,750.00	29,808.02	58.02
Stutsman	Jamestown Res. Disc Golf Course	04-20-06	7,146.00	7,146.00	
Stutsman	Jamestown Res., Fish Cleaning House	1997	6,000.00	6,000.00	
Stutsman	Jamestown Res High Water Boat Ramp	05-05-11	2,438.00	1,501.00	(937.00)
Stutsman	Jamestown Res., Joint Use Path	09-28-04	12,177.00	12,177.00	
Stutsman	Jamestown Res., Picnic Shelter	1998	24,000.00	31,510.99	7,510.99
Stutsman	Jamestown Res., Picnic Tables	09-20-05	1,000.00	1,000.00	
Stutsman	Jamestown Res., Picnic Tables	04-26-07	2,000.00	1,867.15	(132.85)
Stutsman	Jamestown Res., Smokey's	1991 & 1992	20,637.00	20,637.00	
Stutsman	Lakeside Campground Playground Equip.	10-09-13	4,875.00	4,794.25	(80.75)
Stutsman	Lakeside Marina Campground	10-08-08	12,500.00	12,500.00	
Stutsman	Pelican Point Campground	04-23-12	10,500.00		(10,500.00)
Stutsman	Pelican Point Concession Building	04-21-10	10,000.00	10,000.00	
Stutsman	Pelican Point Landing Phase II	10-15-07	5,000.00	5,000.00	
Stutsman	Pelican Point Landing Vault Toilet	05-06-13	1,625.00	1,274.88	(350.12)
Stutsman	Smokey's Landing Walkway	04-20-06	2,720.00	2,720.00	
Stutsman	South Central Regional Council	09-24-03	5,000.00	4,994.52	(5.48)
Stutsman	Stutsman Co. 4-H Fair Improvements	05-06-13	21,345.00	21,345.00	
Stutsman/Foster	Birding Drives Dak. Kiosks & Brochure	04-30-09	6,580.00	6,580.00	
Stutsman	Medina City Park Playground Equipment	04-23-15	8,750.00	6,947.61	(1,802.39)
Stutsman	Spiritwood Lake Resort Playground Restoration	10-05-17	7,500.00	7,500.00	
Stutsman	Solien-DeNault Park Sensory Garden	05-02-18	10,000.00	10,000.00	
Stutsman	ILAND Park Development & Signage	09-26-19	1,054.00	1,054.00	
Stutsman	JAMES River Water Trail	05-06-20	4,838.00	4,837.50	(0.50)
Stutsman	City Park Development-Kensal	04-29-21	11,250.00	11,250.00	

COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
Stutsman	Memorial Park Phase I	04-29-21	17,475.00	16,201.08	(1,273.92)
Stutsman	Medina Park Frisbee Golf	09-26-19	2,250.00	1,453.55	(796.45)
Stutsman	Medina Park RV Electrical Hookups	09-26-19	2,000.00	1,684.86	(315.14)
Stutsman	Woodworth Main Street	03-30-22	1,500.00	1,242.79	(257.21)
Traill	++Belmont Recreation Project	1992	4,000.00	2,004.10	(1,995.90)
Traill	++Belmont Recreation Project	1994	2,500.00	2,171.50	(328.50)
Traill	++Belmont Recreation Project	1997	2,000.00	1,168.69	(831.31)
Traill	Hatton Park Shelter/Picnic Area	04-23-15	1,670.00		(1,670.00)
Traill	Island Park Shelter	04-30-09	21,000.00	21,000.00	
Traill	Mayville Island Park Recreation, Warming house	1997	4,000.00	4,000.00	
Traill	May-Port Water Park Project, Swimming pool walls	2000	30,000.00	30,000.00	
Traill	South-side Park Enhancements	09-30-14	17,174.00	17,080.59	(93.41)
Traill	Water Tower Park Playground Equipment	05-06-13	4,900.00	4,900.00	
Traill	Willowood Campground	04-26-05	5,000.00	5,000.00	
Traill	Willowood Park Recreation Project	1997	10,000.00	9,501.00	(499.00)
Traill	Mayville Nature Trail	05-05-17	13,500.00	-	(13,500.00)
Traill	Walking Trail	10-07-16	896.00	152.69	(743.31)
Traill	Mayville Island Park Improvement	05-02-18	20,000.00	18,738.25	(1,261.75)
Traill	Rainbow Garden Enhancements	10-03-18	13,585.00	7,382.44	(6,202.56)
Traill	Willowood Campground Bathroom	05-06-20	43,750.00	43,553.00	(197.00)
Traill	Mayville Park Board	03-30-22	7,985.00	7,985.00	
Ward	Berthold Park Playground Equipment	01-07-16	3,620.00	2,432.75	(1,187.25)
Ward	Burlington Park Enhancements	10-09-13	13,750.00	12,621.34	(1,128.66)
Ward	Des Lacs Recreation Project, Kenmare Park Board, Phase I, Proj. SRF 51 (6)	1995	9,000.00	9,000.00	
Ward	Minot to AFB Multi-use Path	09-30-14	25,000.00	25,000.00	
Ward	Minot to AFB Multi-use Path	04-23-15	25,000.00	25,000.00	
Ward	N.D. State Fair Campground Upgrades	05-06-13	13,700.00	12,665.83	(1,034.17)
Ward	N.D. State Fair Campground Sewer Line	04-30-14	13,100.00	5,202.96	(7,897.04)
Ward	ND St Fair Camping Lot Elec Upgrades	04-29-16	6,000.00	4,469.21	(1,530.79)
Ward	ND State Fair Elec Add Indust Camp Lot	04-23-15	12,577.00	12,213.57	(363.43)
Ward	ND State Fairgrounds Comfort Station	04-21-10	30,000.00	30,000.00	
Ward	ND State Fairgrounds Comfort Station	10-07-10	30,000.00	30,000.00	
Ward	Nelson Carlson Lake	04-20-06	2,416.00	1,962.98	(453.02)
Ward	Old Settlers Park	10-15-07	2,500.00	2,500.00	
Ward	Old Settler's Park, Burlington	04-26-05	1,875.00	872.26	(1,002.74)
Ward	Old Settlers Park Restroom Project	09-29-09	7,125.00	7,125.00	
Ward	Old Settlers Park Walking Bridge	05-05-17	3,000.00	3,000.00	
Ward	RV Improvements, ND State Fair	04-26-05	30,000.00	30,000.00	
Ward	Trail Shelters Around Minot Area	10-08-15	9,626.00	9,626.00	
Ward	Minot Fitness Trail Outdoor Exercise Equip.	05-05-17	2,625.00	2,625.00	
Ward	Burlington Riverfront Project	04-29-16	50,000.00	50,000.00	
Ward	Eastside Estates Canoe Launch Facility	05-02-19	3,527.00	3,527.00	
Ward	Downtown Square Playground	05-02-19	11,250.00	8,813.30	(2,436.70)
Ward	Roosevelt Park Playground	10-03-18	11,782.00	11,782.00	
Ward	Ward County Park Improvements	05-02-18	7,934.00	7,934.00	
Ward	Nelson Carlson Tire Swing	05-02-19	1,273.00	1,224.75	(48.25)
Ward	ND State Fair Camping Extension	03-30-22	27,500.00	27,500.00	
Wells	Bowdon City Park	04-20-06	3,900.00	3,661.83	(238.17)
Wells	Bowdon Park & Campgrnd Picnic Tables	04-29-08	2,093.00	2,093.00	
Wells	Centennial Park, Harvey	09-20-05	6,044.00	676.75	(5,367.25)
Wells	City of Fessenden, Gazebo Park	09-28-11	3,400.00	3,400.00	
Wells	Fessenden Country Club Water Project	04-23-15	25,000.00	25,000.00	
Wells	Fessenden Golf Course Water Supply	09-29-09	21,254.00		(21,254.00)
Wells	Fessenden Park	04-26-05	4,426.00	4,426.00	
Wells	Harvey Centennial Park Gazebo	04-20-06	5,000.00	5,000.00	

COUNTY	PROJECT	GRANT APPROVAL DATE	PROJECTS APPROVED 1990-2022	EXPEN- DITURE	Adjust Reserve
Wells	Harvey Kiwanis Centennial Park Playgrnd	04-29-16	25,000.00	25,000.00	
Wells	Hurdsfield Park Board	10-07-10	676.00	79.70	(596.30)
Wells	Hurdsfield Park Playground Equipment	05-05-17	5,500.00	5,500.00	
Wells	Meadow Lark Coulee/Centennial Park	06-13-02	30,000.00	30,000.00	
Wells	Meadow Lark Coulee/Centennial Park	09-24-03	15,000.00	15,000.00	
Wells	Sykeston Community Center	04-29-08	25,000.00	25,000.00	
Wells	Sykeston Park Bath House	05-05-11	15,000.00	14,032.69	(967.31)
Wells	Sykeston Park Board**	1996	5,000.00	5,000.00	
Wells	Sykeston Park Improvements	04-21-10	3,640.00	2,129.99	(1,510.01)
Wells	Wells Co. Fairgrnd Handicap Seating	04-26-07	8,075.00	7,300.00	(775.00)
Wells	Wells Co. Outdoor Learning Center	04-23-12	21,210.00	13,433.80	(7,776.20)
Wells	Family & Community Center	10-04-19	50,000.00	50,000.00	
Wells	Centennial Nature Park West Pathway	05-02-19	5,503.00	5,503.00	
Wells	Little Egypt Phase 2	04-29-21	14,650.00	14,616.84	(33.16)
Williams	Blacktail Dam Comfort Station Drainfield	10-07-10	3,500.00		(3,500.00)
Williams	Blacktail Dam-- Mooring Dock	09-20-05	1,793.00	1,793.00	
Williams	Blacktail Dam Upgrades	04-30-14	25,875.00	25,875.00	
Williams	Cut Bluff Overlook	04-26-05	2,290.00	2,290.00	
Williams	Cut Bluff Overlook, Vault Toilets	04-26-05	2,290.00	2,290.00	
Williams	Epping/Springbrook Playground Equip.	09-30-14	6,180.00	6,180.00	
Williams	Epping/Springbrook Vault Toilet	09-30-14	16,925.00	13,473.85	(3,451.15)
Williams	Kota Ray Dam	04-20-06	5,538.00	800.00	(4,738.00)
Williams	Kota Ray Dam	04-23-12	3,750.00	3,750.00	
Williams	Kota Ray Dam Vault Toilet	09-30-14	8,463.00	6,636.11	(1,826.89)
Williams	Lewis & Clark Cut Bluff Overlook	09-24-03	2,793.00	2,625.00	(168.00)
Williams	Little Beaver Bay	04-23-12	10,000.00	10,000.00	
Williams	Little Beaver Bay Campsites	09-29-09	8,639.00	7,425.35	(1,213.65)
Williams	Little Beaver Bay Comfort Station	04-21-10	12,500.00	7,310.75	(5,189.25)
Williams	Little Beaver Bay Comfort Station	05-05-11	17,480.00		(17,480.00)
Williams	Little Beaver Bay & McGregor Dam	05-05-11	2,650.00		(2,650.00)
Williams	Little Beaver Bay Recreation Area	09-24-03	20,000.00	20,000.00	
Williams	Little Egypt Picnic Tables & Fire Rings	04-21-10	1,250.00	1,250.00	
Williams	McGregor Dam	04-23-12	8,750.00		(8,750.00)
Williams	Play 4 All Playground	10-09-13	50,000.00	50,000.00	
Williams	Tioga Main Park Playground Equipment	10-04-06	3,818.00	3,818.00	
Williams	Tioga Municipal Golf Course, water well	09-20-05	875.00	875.00	
Williams	Trenton Lake Fishing Pier	04-20-06	4,558.00	4,558.00	
Williams	Trenton Lake Recreation Area	04-22-04	5,000.00	5,000.00	
Williams	Williams Co. Parks, Electrical Upgrades	09-20-05	6,500.00	6,500.00	
Williams	Williams Co. Water Resources District	09-28-04	22,062.00	10,792.52	(11,269.48)
Williams	Williston Community Built Playground	04-30-09	25,000.00	25,000.00	
Williams	Williston Railroad Park	10-08-08	24,715.00	24,715.00	
Williams	Williams County Parks--Picnic Shelters	04-29-16	35,000.00	34,293.75	(706.25)
Williams	McGregor Dam Vault Toilets	10-05-17	16,656.00		(16,656.00)
Williams	Little Beaver Bay Shelters/Tables	05-02-19	14,475.00	14,475.00	
Williams	Blacktail Dam Fire Rings	05-02-19	540.00	540.00	
Williams	Little Egypt Development	05-02-19	2,681.00	1,977.06	(703.94)
N.D. State Parks	Fort Ransom, Exhibit Building	04-30-03	16,000.00	16,000.00	
N.D. State Parks	Fort Ransom, Land Appraisal	2001	450.00	450.00	
Other	Recreation Project Signs			3,458.04	3,458.04
Other	Signage		2,961.00	2,961.00	
TOTAL			7,341,409.44	6,751,902.58	(589,506.86)

\*Federal funds were used.

\*\*GDCD O&M Division performed the work in lieu of cash outlay.

++Recreation projects eligible for recreation credit by the U. S. Bureau of Reclamation

\*\*\* Funded with unused grants returned to Recreation Account



## GARRISON DIVERSION CONSERVANCY DISTRICT

### Recreation Grant Program Policy Statement

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#### MATCHING RECREATION GRANT PROGRAM

The Garrison Diversion Conservancy District Board of Directors instituted a matching recreation grant program and established that funds for the grant program will consist of two-tenths of the mill levy Garrison Diversion receives. Grants may be requested for new recreation facilities and enhancement or expansion of existing facilities.

#### ELIGIBILITY

Political subdivisions (park boards, water resource districts and county or city commissioners, etc.) located within the Garrison Diversion Conservancy District may apply for a matching grant. **Community groups, service clubs and non-profit organizations are not eligible to apply for funding.**

Single-county sponsored projects located within Garrison Diversion boundaries may be eligible to receive up to 25% of the non-federal share. Multiple-county sponsored projects located within Garrison Diversion boundaries may be eligible for up to 50% of the non-federal share. To be considered for a 50% non-federal cost share, more than one county must contribute substantial funds to the project.

#### SCOPE OF PROJECTS

Eligible projects may encompass a variety of components which provide actual, or are a complement to, natural resource outdoor recreational opportunities. Projects may include, but are not limited to: boat ramps and docks; picnic facilities; restrooms; campgrounds; bathhouses; playground areas; and bicycle, pedestrian, or horse trails.

#### APPLICATION PROCEDURE

The Recreation Committee meets biannually to consider grant applications. Application and required documentation must be postmarked or received electronically by March 1 or September 1 to be considered at the next meeting.

#### **The application must include, but not be limited to:**

1. Audience intended to be served
2. Breakdown of estimated costs, including future operations and maintenance
3. Predicted source of all funding
4. Plans for new construction

#### GUIDELINES FOR ALL APPLICANTS

- Applications must include a list of all funding sources applied for and amounts received.
- All projects must have long-term managing partners with operation and maintenance funds available for the life of the project.
- Applicants requesting \$25,000 or more are encouraged to attend the Recreation Committee meeting to present the project and answer questions from the committee.



## GARRISON DIVERSION CONSERVANCY DISTRICT

### Recreation Grant Program Policy Statement

#### ELIGIBLE PROJECT COSTS

Site planning costs, including engineering costs, may be included as eligible project costs. Individual projects are eligible to receive up to a maximum of \$75,000 award.

**Only costs incurred after the date of grant approval by Garrison Diversion will be eligible for reimbursement.**

Money to be credited as the local sponsor's share of the project may be raised in a number of ways and may consist of actual dollars or in-kind donations of labor, materials and equipment costs.

#### NON-ELIGIBLE PROJECTS

Types of projects or elements of projects that are not qualified to receive funding:

1. Maintenance of an existing facility/structure, i.e. painting/staining, re-roofing, etc.
2. Any type of facility used for maintenance equipment or the purchase of maintenance equipment
3. Development, enhancement or maintenance of roads to or within facilities
4. Water lines, sewer lines and electrical services to facilities other than immediate hookups.
5. Projects on private property without a public interest to the land
6. Projects on school property
7. Shore stabilization including riprap
8. Any project that does not meet current ADA standards
9. Land acquisition costs will not be considered eligible for reimbursement; the land valuation may not be credited toward the local sponsor's match.
10. Projects that do not allow reasonable access by the public
11. Golf courses, hockey arenas, monument type veteran/public servant memorials, or art/theatre projects

**If your submitted application includes any of the non-qualified components listed above, the application will be returned for resubmission before the corresponding deadline.**

#### REQUIREMENTS FOR ALL APPROVED GRANTS

Following completion of the project and verification of expenditures, reimbursement will be made by Garrison Diversion. Partial payment requests may be made at the discretion of the project sponsor. Projects receiving grants over \$5,000 will be provided a sign, paid for by the Garrison Diversion Conservancy District, naming major sponsors of the project.

Approved recreation projects have three years to be completed. If the project has not been completed within that time frame, the sponsoring agency will need to report to the Recreation Committee in order to retain any unused funds, or the unused funds will be returned to Garrison Diversion's recreation grant pool.

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b>	<b>Project Name</b>
<b>Sponsoring Agency Name</b>	
<b>Authorized Representative/Title</b>	
<b>Sponsoring Agency Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b>	

**Description of Project Features (if more space is required, please provide separate documentation)**

<b>Justification of Project</b>	
<small>(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)</small>	
<b>Estimated Number of People Served</b>	
<b>Total Estimated Project Cost</b> <small>(Include volunteer/in-kind donations/work)</small>	<b>\$</b>
<b>Assistance Requested</b> <small>(No more than 25% of project cost unless multi-county sponsored)</small>	<b>\$</b>
<b>Applicant's Contribution</b>	<b>\$</b>
<b>Additional Sources of Funding</b>	

<b>Federal Funds Utilized</b>
<b>Describe the Project Site As Is and Proposed Changes</b> (Tree Removal, Drainage Filled, Etc.)
<b>Annual Maintenance Budget</b> \$
<b>Maintenance Provided By</b>
<b>I Hereby certify that funds in the amount of \$</b> <span style="float: right;"><b>are available for this project.</b></span>
<b>Authorized Signature of Sponsoring Agency</b> <div style="text-align: center; color: orange; font-weight: bold; border: 1px solid orange; padding: 2px; display: inline-block;">SIGN HERE</div>
<b>Printed Name/Title</b>
<b>Date</b>

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
<b>Item</b>	<b>Units</b>	<b>Estimated Cost</b>

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant’s county.

**READY TO SUBMIT?**

**Mail completed application with required documentation to  
Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)**

FEB 10 2023

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> Feb 10, 2023	<b>Project Name</b> Bathroom and Park upgrade
<b>Sponsoring Agency Name</b> City of Wimbledon	
<b>Authorized Representative/Title</b> Leon Doyle Auditor	
<b>Sponsoring Agency Address</b> Po Box 67	
<b>Phone</b> (701) 435-2317	<b>Email</b> Wimbledon-Auditor@daktel.com
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> Wimbledon City Park	

**Description of Project Features (if more space is required, please provide separate documentation)**

Replace and provide bathrooms in the city park that are handicapped accessible.  
 Pour a pad to fasten down a park bench and pour a cement slab at the softball diamonds to set the bleachers on to permit easier maintenance and cleanup.

Justification of Project (Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	600 to 1000 people depending on the events.
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ Approximately \$52,000
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 13000.00
<b>Applicant's Contribution</b>	\$ 37,500
<b>Additional Sources of Funding</b> City will cover the remaining costs	



<b>Federal Funds Utilized</b>	None
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	We will have to remove the existing bathrooms and cement pad . The site already has Water sewer and electricity dug
<b>Annual Maintenance Budget</b>	\$ 2,500 to 3,000
<b>Maintenance Provided By</b>	City of Wimbledon
<b>I Hereby certify that funds in the amount of \$ 40,000.00 are available for this project.</b>	
<b>Authorized Signature of Sponsoring Agency</b>	<i>Leon Doyle</i> <small>SIGN HERE</small>
<b>Printed Name/Title</b>	Leon Doyle Auditor
<b>Date</b>	Feb 10, 2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Cement and rebar		3500
Labor		9000
Material		20496
Plumbing and Electrical		19000
		51,996

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

Date of Application 1-25-23	Project Name Turtle Mountain Pickleball Club
Sponsoring Agency Name Bottineau County Commission	
Authorized Representative/Title Emily Deschamp Auditor	
Sponsoring Agency Address 314 5 <sup>th</sup> St. W Suite 10	
Phone 701-228-2225	Email emily.deschamp@co.bottineau.nd.us
Contact Name for Project (if different than above) Allen Kluth	
Address 605 West Pine Circle	
Phone 701-228-4268	Email ak431@nd.gov
Project Location 8 East Shore Park	

**Description of Project Features (if more space is required, please provide separate documentation)**  
 Construction of a pickleball court. Included would be fencing, nets permanent posts, (3) Benches, (2) picnic tables, supply storage container, solar lighting, garbage receptacles, and surfacing the court, lines on the court plus installation

Justification of Project (Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
Estimated Number of People Served	260+
Total Estimated Project Cost (include volunteer/in-kind donations/work)	\$ 19,000
Assistance Requested (No more than 25% of project cost unless multi-county sponsored)	\$ 4750
Applicant's Contribution	\$ 14,250
Additional Sources of Funding Advertising banners on court, membership dues, donations, Pickleball tournament possible loan from bank	

**Federal Funds Utilized** \_\_\_\_\_

**Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)**  
 The project has 2 existing pickleball courts and a public bathroom. Court is needed due to the demand of players - Construction includes - Fencing, Surfacing and lines on the court, installing net + post, installing benches

**Annual Maintenance Budget** \$ - All maintenance is volunteered from club members

**Maintenance Provided By** Turtle Mountain Pickleball Club

**I Hereby certify that funds in the amount of \$10,000 from Bottineau County with pay back are available for this project.** *required*

**Authorized Signature of Sponsoring Agency** SIGN HERE *Emily Deschamp*

**Printed Name/Title** *Emily Deschamp*

**Date** *2.8.2023*

PROJECT COST ESTIMATES		
(Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
76 x 64 Fencing	1	\$5,000
Surfacing the court / installation	1	\$8,000
Permanent Net / Posts	1	\$600
Solar Lighting with installation	1	\$2400
Tables, benches, storage, garbage cans	1	\$3000

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

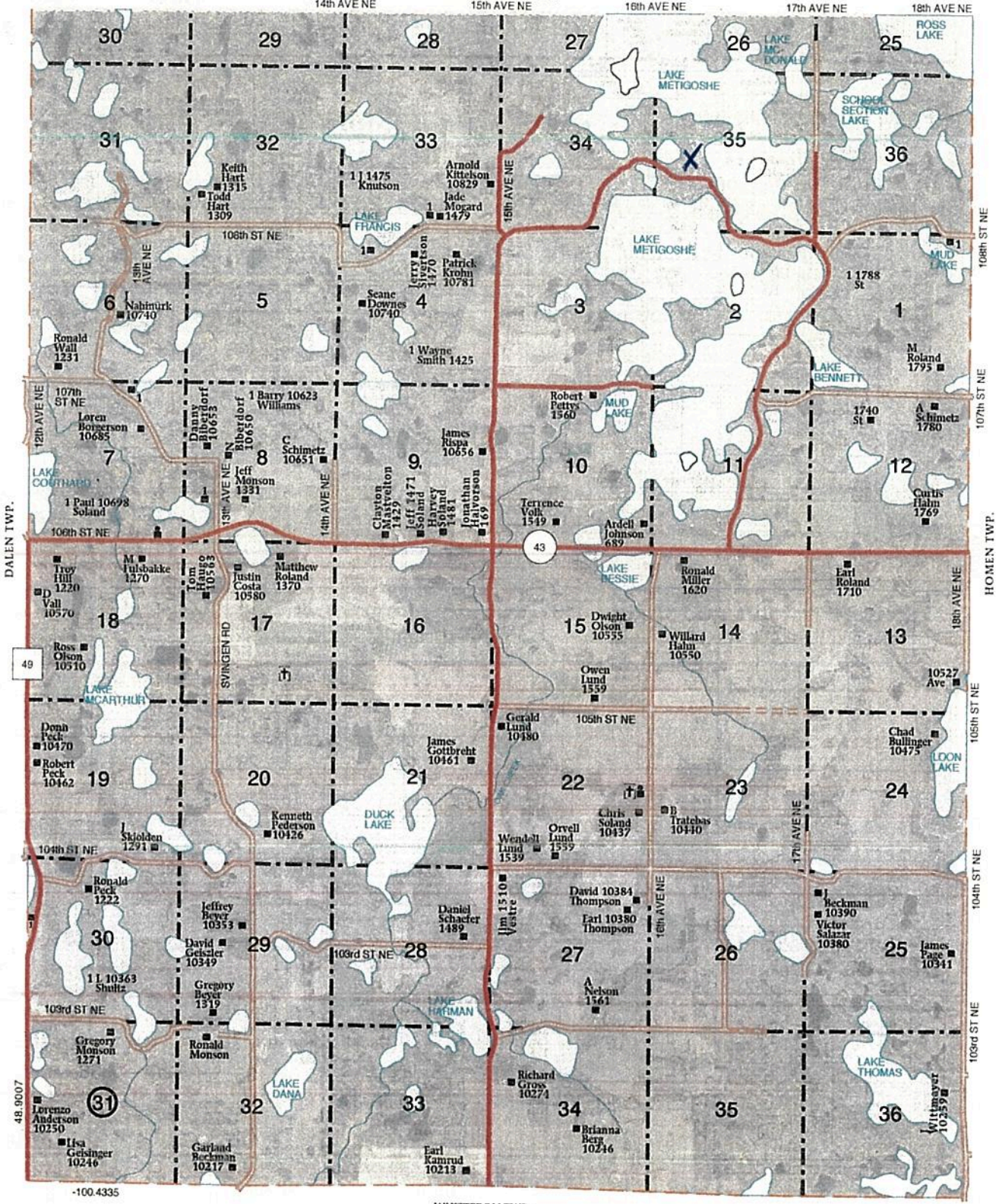
Located Section 35

T-163-164-N

# ROLAND DIRECTORY

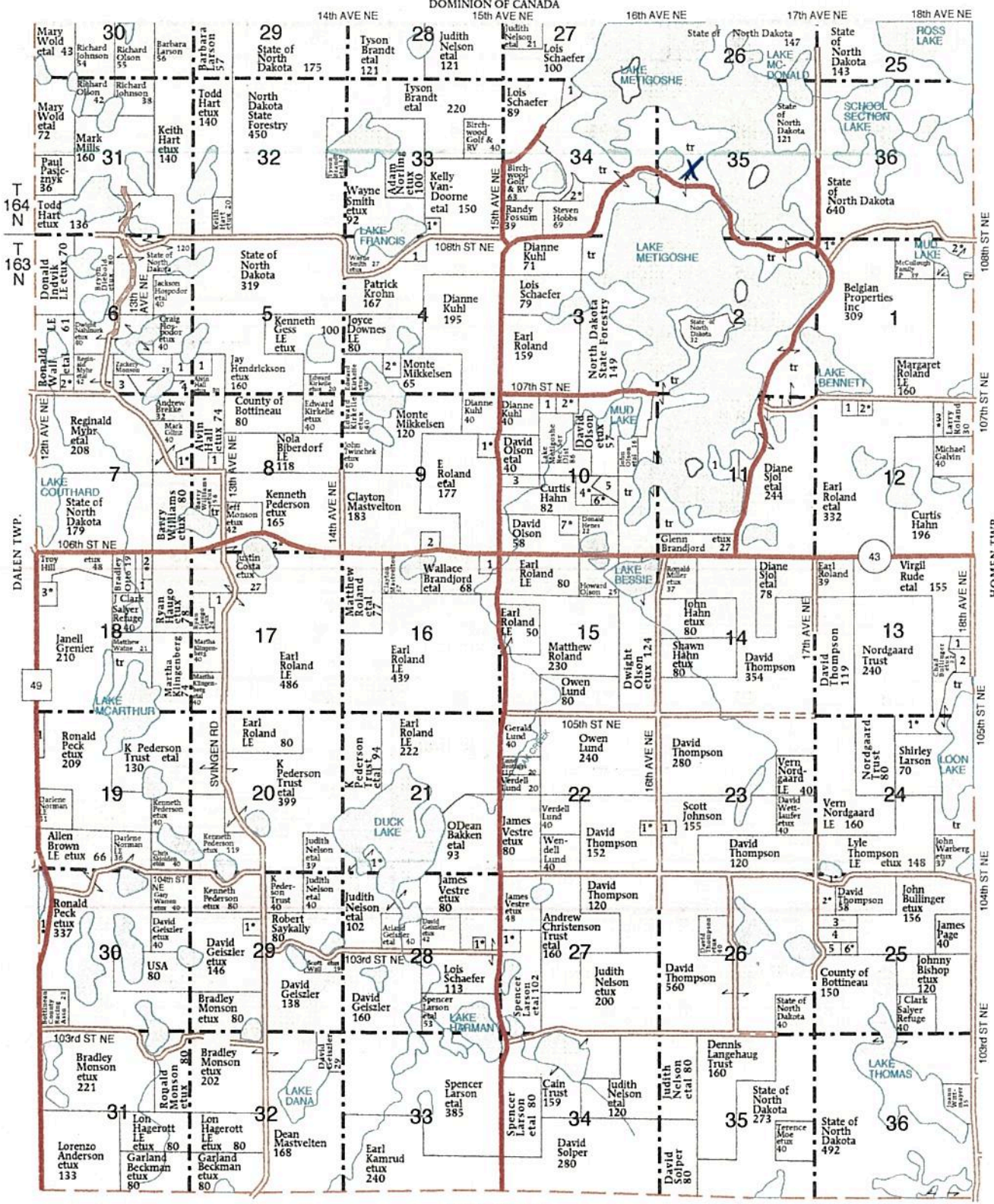
R-75-W

(Residences - Owners or Renters)  
DOMINION OF CANADA



Located Section 35

45



**ROLAND TOWNSHIP**

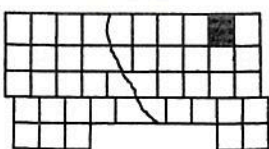
- SECTION 1**
- 1. Olson, Dwight etal 9
- 2. Brunkow Trust, David etal 40
- SECTION 4**
- 1. Silvertown, Jerry 9
- 2. Lauckner, Steven etux 15
- SECTION 5**
- 1. Olson, Audrey 10
- SECTION 6**
- 1. Olson, Audrey 10
- 2. Wall, Ronald etal 6
- 3. Soland, Paul 9

- 4. Brekke, Andrew 30
- SECTION 7**
- 1. Hall, Alvin etux 10
- SECTION 8**
- 1. Biberdorf, Danny 7
- SECTION 9**
- 2. Roland, Earl etal 16
- SECTION 9**
- 1. Rispa, James etal 13
- 2. Soland, Jeff 11
- SECTION 10**
- 1. Mikkelsen, Monte 5
- 2. Schweitzer LLC 6
- 3. Page Petroleum LLC & Way Prop 12
- 4. Knutson, Roger etux 12

- 5. Sierra Bay Properties LLC 14
- 6. Guderjahn, Jason etux 5
- 7. Volk, Terrence etux 10
- SECTION 11**
- 1. State of North Dakota 29
- SECTION 12**
- 1. Wock, Elizabeth 5
- 2. Sterrett LE, A etal 6
- 3. Schimetz, Matthew etux 10
- SECTION 13**
- 1. Stevenson, Matthew 7
- 2. Wold, Nancy 10

- SECTION 16**
- 1. Sawmill Corner Inc 9
- SECTION 17**
- 1. Haugo LE, Tom 16
- SECTION 18**
- 1. Fulsebakke, John 14
- 2. Fulsebakke, Chris etux 5
- 3. Vall, Brett etux 12
- SECTION 19**
- 1. Peck, Donn 11
- SECTION 21**
- 1. Nelson, Judith etal 27
- SECTION 22**
- 1. Hammer, Donald etux 5
- 2. Wold, Nancy 10

- 1. Tratebas, Betty 5
  - SECTION 24**
  - 1. Bullinger, Chad etux 19
- SEE PAGE 134 FOR ADDITIONAL NAMES NOT LISTED ON MAPS.



# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/15/2023	<b>Project Name</b> Harwood Splash Pad
<b>Sponsoring Agency Name</b> Harwood Park Board	
<b>Authorized Representative/Title</b> Ashley Hansen/Park Board President	
<b>Sponsoring Agency Address</b> 108 Main St Harwood ND, 58042	
<b>Phone</b> 218-205-4848	<b>Email</b> kross33.kr@gmail.com
<b>Contact Name for Project</b> Kelly Johnson (if different than above)	
<b>Address</b> 108 Main St Harwood ND 58042	
<b>Phone</b> 218-205-4848	<b>Email</b> kross33.kr@gmail.com
<b>Project Location</b> North Acres Park, Harwood ND	

**Description of Project Features (if more space is required, please provide separate documentation)**

As the population continues to increase in our town, we are looking for ways to update our current park space. Having the Harwood Splash Pad, encourages use of an area of the park that hardly is used, allows for an outdoor cool down space where groups could gather, families, and grandparents with grandchildren. This specific splash pad has a total area of 1963 sq ft (attached) is ADA handicap accessible, that includes a water table are and in-ground and above ground water features. The city engineer with Moore Engineering was contacted about the feasibility of the project, which included a concrete estimate (attached.) Installation and plumbing will be done by volunteers from the Harwood community. Maintenance and water costs will be done and paid for by the Harwood Park Board. City approval was given

**Justification of Project**

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration into a Comprehensive Recreation Plan, Etc.)

**Estimated Number of People Served** 818 Harwood Citizens of all ages will be served (more as the population grows)

**Total Estimated Project Cost** \$ 112,027.00  
(include volunteer/in-kind donations/work)

**Assistance Requested** \$ 28,006.75  
(No more than 25% of project cost unless multi-county sponsored)

**Applicant's Contribution** \$ 84,010.75

**Additional Sources of Funding**

Current certified amount, along with Donations, Fundraising, and additional grant recipients are sources of funding for this project.

<b>Federal Funds Utilized</b> 0.00
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b> Current area is a green space. Will need to have dirt removal and concrete work (estimated below) to the proposed area.
<b>Annual Maintenance Budget</b> \$ 1000
<b>Maintenance Provided By</b> City of Harwood
<b>I Hereby certify that funds in the amount of \$ 33,681.76 are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b> <div style="display: flex; align-items: center;"> <span style="border: 1px solid black; padding: 2px; margin-right: 5px;">SIGN HERE</span> </div>
<b>Printed Name/Title</b> Kelly Johnson, Harwood Park Board Member
<b>Date</b> 2/27/2023

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Dakota Playground AquaSmart Package C	1	\$82,027.00
Concrete Estimate		\$30,000.00

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to

Garrison Diversion Conservancy District, PO Box 140, Garrison, ND 58431 or email to [information@gcdnd.com](mailto:information@gcdnd.com)



# Dakota Playground

PO Box 1408 • Fargo, ND 58107  
Office 701-356-8800 • Fax 701-293-7811  
www.dakotaplayground.com  
Equal Opportunity Employer

<b>PROPOSAL SUBMITTED TO</b> City of Harwood	<b>CONTACT NAME</b> Ashley Hanson	<b>DATE</b> 06/06/2022
<b>ADDRESS</b> PO Box 65 108 Main Street	<b>EMAIL</b> <a href="mailto:ashleyhansen1205@gmail.com">ashleyhansen1205@gmail.com</a>	<b>PHONE</b> +1 (701) 202-5005
<b>CITY, STATE, ZIP CODE</b> Harwood, ND 58042	<b>JOB NAME / LOCATION</b> PR1 – AquaSmart Package C	

We propose to provide the following items, quantity as listed:

## **FOR BUDGETARY PURPOSES**

**As Manufactured by Aquatix by Landscape Structures Inc.**

Qty. 1 AquaSmart Package C as per enclosed concept drawing:

**TOTAL: \$72,027.00 materials delivered**

**Add \$2,789.00** for Sealed Engineered Stamp drawings by a licensed PE in the state of the project

**Add \$4,000.00** for System Start Up & training with an Aquatix by LSI to provide (1) factory direct tech. for (2) day of system start up, balancing, and owner training. Requires 2-4 weeks advance notice depending on seasonal demand.

Current lead time of 6-8 weeks upon order & color choice being received.

Pricing above **does not** include site prep. installation, concrete work, or plumbing

Owner is responsible of unloading the truck upon arrival.

Notes:

1. Above price **does not** include sales tax, bonds, permits, testing or other fees if applicable.
2. Above price includes shipping; it **does not** include unloading, assembly, or installation.
3. Unless otherwise directed by project specifications, this transaction is **not** bound by retainage.

**We propose hereby to furnish materials - complete in accordance with above specifications, for the sum of: As per above.**

**Term of Payment**, subject to approved credit by Dakota Playground.

Dakota Playground

**Material Only Sales**

By: Ken Follman

Non-government agency / Private enterprise ..... Balance due upon ordering

Government agency ..... Balance due upon ordering

Ken Follman

**When Installing**

Non-government agency / Private enterprise ..... Half down upon ordering, material draws upon receipt of material, progress payments and balance due upon completion

Government agency ..... Material draws upon receipt of material, progress payments, and balance due upon completion

This Proposal may be withdrawn by Dakota Playground if not accepted within 30 days.

**Acceptance of Proposal** The above prices, specifications, terms, and conditions are satisfactory and are hereby accepted by Purchaser. Dakota Playground is authorized to do the work as specified and Purchaser shall make payment as outlined.

**Add 3% to Total for Credit Card Purchases**

**Purchaser**

By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date of Acceptance: \_\_\_\_\_

Purchaser agrees to indemnify and hold harmless Dakota Fence Company d/b/a Dakota Playground ("Dakota Playground") and its agents from and against any and all claims, liabilities and damages, including outside and in-house attorneys' fees and costs, arising from or related to any failure to comply with building codes or other restrictions; encroachment or interference with any easement; damage to any improvements, including sprinklers or utilities; frost heave; personal injury or death; failure to maintain or inspect the playground equipment or product; removal of playground equipment or products. Purchaser agrees that Dakota Playground's liability shall not exceed the amount paid to it under this Proposal. Dakota Playground shall not be liable for any direct, indirect, special, incidental, or consequential damages. Any alteration or deviation from this Proposal requires Dakota Playground's prior written consent and if approved, shall automatically become part of and subject to this Proposal. Any additional costs from any such change shall result in an extra charge, which Purchaser agrees to pay. All playground equipment and product must be properly maintained and installed over a surface that provides adequate fall protection. For details, refer to the "Handbook for Public Safety" at [www.cpssc.gov](http://www.cpssc.gov) and the manufacturer. Purchaser assumes sole responsibility to routinely inspect the playground equipment or product for signs or wear, vandalism, or other unsafe conditions. Purchaser agrees to pay Dakota Playground's outside and in-house attorneys' fees and costs in the collection and enforcement of this Proposal. This Proposal is contingent upon strikes, accidents, or delays beyond Dakota Playground's control and supersedes all prior written or oral agreements. Purchaser agrees to carry all necessary and required insurance. Dakota Playground's workers are fully covered by Workers Compensation Insurance or other required insurance. All playground equipment or product remains the property of Dakota Playground until paid for by Purchaser and Purchaser authorizes Dakota Playground to remove the same and charge Purchaser for the playground equipment or product and their removal if payment is not made per the terms of this Proposal. Purchaser agrees to pay 1.5% per month on all past due accounts. Any project that is considered custom or has special order materials is not returnable and therefore not fully refundable. A minimum of 25% restocking fee will apply with certain items being subject to higher restock fees as established from time to time by Dakota Playground.

**PROPOSAL**





952.445.5135 | 877.632.0503  
aquatix.playlsi.com

# Harwood Splash Pad

Splash Pad Design Proposal 06/03/2022

Presented by

**Ken Follman**

Dakota Playground

(701) 476-8536

ken@dakotaplayground.com



## Dakota Playground

# Harwood Splash Pad

Design# 1165683-01-01 06/03/2022



HydroLogix disclaimer-

\*Initial fill of larger structures may take multiple activations.



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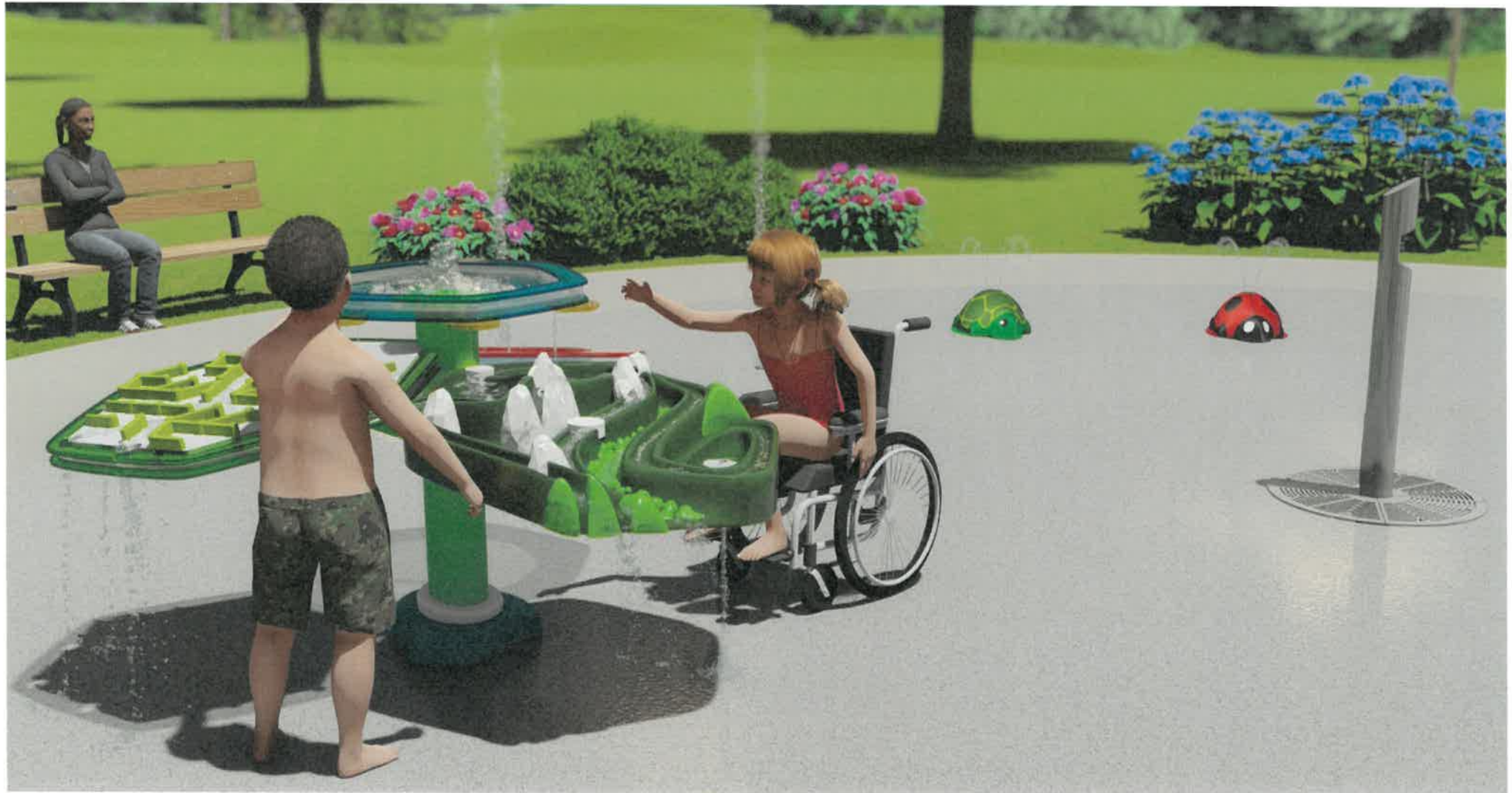


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**Dakota Playground**

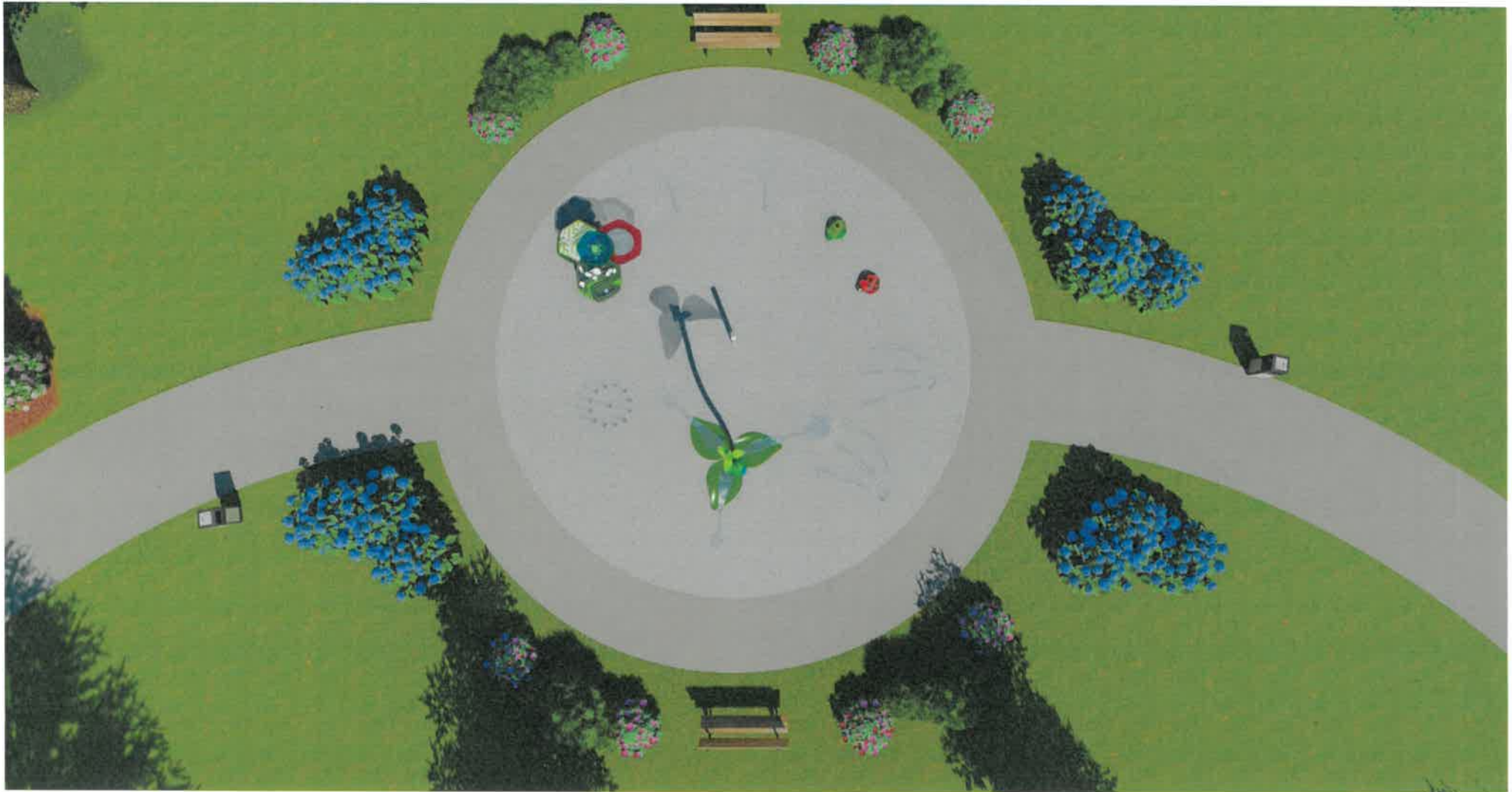


# Harwood Splash Pad

Design# 1165683-01-01 06/03/2022



**Dakota Playground**



## Design Details

\*Surface finishes and/or site furnishings shown are conceptual and provided by others.

### Proposed Color Palette

#### Paint Colors



#### Acrylic Colors



### Project Details

#### Dimensions

50' DIAMETER

#### Total System Flow Rate

60 GPM

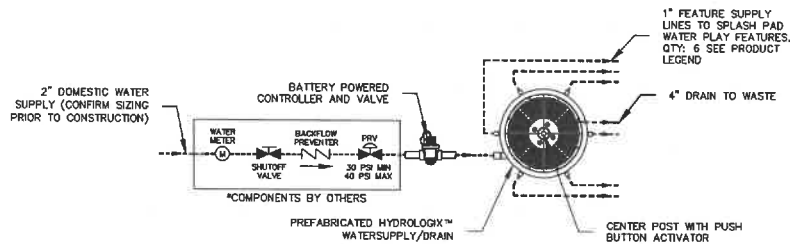
## Color Approval

\_\_\_\_\_  
Customer Signature

\_\_\_\_\_  
Date

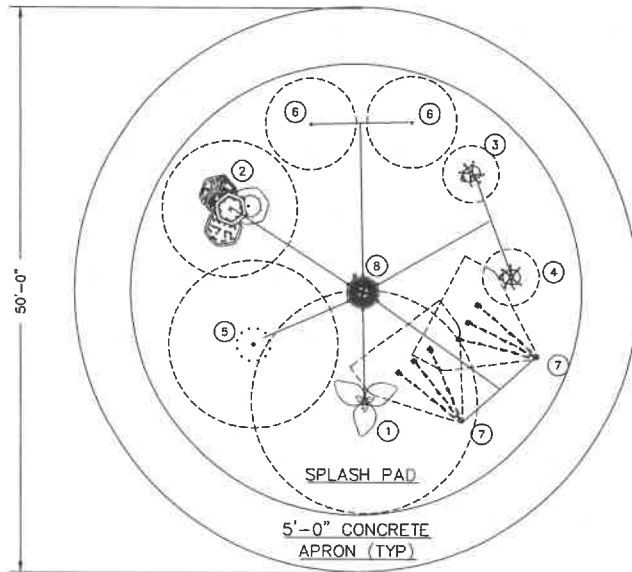
Colors shown are for representation purposes.  
Consult with your Representative for actual color swatches for final color selection.

PRELIMINARY  
FOR BID ONLY  
NOT FOR  
CONSTRUCTION



NO	PRODUCT	QTY	GPM	LINE SIZE
1	LEAFCROWN	1	15	1 1/2"
2	AQUAGATHER STATION	1	10	1"
3	TOTPACK TURTLE	1	5	1 1/2"
4	TOTPACK LADYBUG	1	5	1 1/2"
5	CENTER PILLAR RING	1	13	1 1/2"
6	STREAM JET	2	1 EA.	1" EA.
7	TRIPLE ARCH JET	2	5 EA.	1" EA.
8	HYDROLOGIX	1	N/A	N/A

- NOTE:
- ALL CONCRETE SLOPES TO BE 1/8"/FT MIN. AND 1/4"/FT MAX.
  - SITE ELEVATIONS OF SPLASH PAD AND CONCRETE APRON TO BE VERIFIED BY OTHERS. AQUATIX ELEVATION REFERENCE IS 0'-0" FOR TOP OF DRAIN BOX. ALL OTHER NOTED ELEVATIONS ARE REFERENCED FROM THAT POINT.
  - REFER TO SPEC SHEET AND INSTALLATION DRAWING FOR EACH PRODUCT.
  - ACTUAL SIZE, SHAPE, AND LOCATION OF SPLASH PAD TO BE FIELD DETERMINED BY OTHERS. ALL DIMENSIONS OF SIZE AND SHAPE OF SPLASH PAD FOR REFERENCE ONLY.
  - THE INTENT OF A SPLASH PAD IS TO BE A DRY DECK WITH NO STANDING WATER. THE WATER IS TO BE CONTAINED WITHIN THE PERIMETER OF THE SPLASH PAD AND ALL WATER IS TO DRAIN INTO THE DRAIN BOXES. THE CONCRETE IS TO BE FORMED AND SLOPED TO ACCOMMODATE THIS DRAIN PATTERN.
  - ALL TREATED SPLASH PAD WATER IS INTENDED TO REMAIN WITHIN DESIGNATED SPLASH PAD DECK. UNDER NO CIRCUMSTANCES SHOULD SLOPE OF SPLASH PAD ALLOW WATER TO DRAIN OFF PAD.
  - UNDER NO CIRCUMSTANCES SHALL THE SURROUNDING HARDSCAPE AREA BE SLOPED TO ALLOW WATER TO BE DRAINED INTO THE SPLASH PAD DECK.
  - ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.
  - COORDINATE EXPANSION JOINT AND SAW CUT LOCATIONS WITH PLAY EQUIPMENT LOCATIONS. DRAWINGS ARE FOR DESIGN/LAYOUT PURPOSES ONLY. PLEASE SEE AQUATIX BY LANDSCAPE STRUCTURES FOR INCLUDED STRUCTURES, EQUIPMENT, SERVICES, AND EXCLUSIONS.
  - INDICATES SPLASH ZONE
  - SPLASH ZONES ARE APPROXIMATE. ACTUAL SPLASH ZONE MAY VARY BASED ON VARIOUS ENVIRONMENTAL CONDITIONS, FLOW RATES, SLOPE OF THE SPLASH PAD, SUBMERGENCE DEPTH AND WIND.
  - DRAWINGS ARE SCHEMATIC ONLY.
  - SUB-CUT EXCAVATION UNDER SPLASH PAD MIN. 18" FOR GRANULAR FILL.
  - CONSTRUCTION OF SPLASH PAD CONCRETE TO BE 5" THICK, 4,000 PSI CONCRETE WITH #4 BARS SPACED 12" O.C. EACH WAY OR AN EQUIVALENT WELDED WIRE MESH (EQUIVALENT MESHES INCLUDE WS ON 4" X 4" SPACING OR W10 ON 6" X 6" SPACING. CONCRETE PAD TO HAVE REQUIRED EXPANSION JOINTS EVERY 20' X 20'. SAW-CUT JOINTS EVERY 10' AND THICKEN PROFILES AT EDGE OF PAD AND AT EACH STRUCTURE/EMBED.
  - CONSTRUCTION OF 5" APRON AROUND PERIMETER OF SPLASH PAD TO BE 4" THICK, WIRE MESH REINFORCED, 3500 PSI CONCRETE. APRON TO INCLUDE EXPANSION JOINT AT PERIMETER EDGE OF SPLASH PAD AND NEEDED SAW-CUT JOINTS. SCHEDULE 80 PVC TO BE UTILIZED FOR ALL SPLASH PAD MECHANICAL SYSTEM PIPING.



SPLASH PAD AREA: 1,256 SQ FT.  
TOTAL AREA: 1,963 SQ FT.  
TOTAL FEATURE FLOW RATE: 60 GPM

DATE: \_\_\_\_\_

REVISED: \_\_\_\_\_

NO. \_\_\_\_\_

PROJECT: HARWOOD SPLASH PAD

DATE: 6/7/21

SCALE: NOT TO SCALE

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

DWG. FILE: \_\_\_\_\_

165682





**APPLICATION**

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 02/28/23	<b>Project Name</b> North Elmwood Park Shelter Restoration
<b>Sponsoring Agency Name</b> West Fargo Park District	
<b>Authorized Representative/Title</b> Barb Erbstoesser, Executive Director	
<b>Sponsoring Agency Address</b> 601 26th Avenue East, West Fargo, ND 58078	
<b>Phone</b> 701-551-7116	<b>Email</b> barb@wfparks.org
<b>Contact Name for Project</b> Josh Mathern, Operations Director (if different than above)	
<b>Address</b> 601 26th Avenue East, West Fargo, ND 58078	
<b>Phone</b> 701-551-7117	<b>Email</b> josh@wfparks.org
<b>Project Location</b> North Elmwood Park, 500 13th Avenue West, West Fargo, ND 58078	

**Description of Project Features (if more space is required, please provide separate documentation)**

The historic North Elmwood Park enclosed shelter has served many generations of users. It is in need of a substantial restoration. The restoration is planned to include: ADA restrooms while maintaining the existing sewer/water service, doors placement which will accommodate ADA egress/ingress and safer opening, and an ada sidewalk which will provide new access the facility from the parking lot to the facility.

**Justification of Project**

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)


**Estimated Number of People Served** 140 use days. 10,000 patrons of all ages & all abilities.

**Total Estimated Project Cost** \$ 207,219  
(include volunteer/in-kind donations/work)

**Assistance Requested** \$ 24,325 (eligible costs - \$97,290 - bathroom, doors, sidewalk & 10% contingency)  
(No more than 25% of project cost unless multi-county sponsored)

**Applicant's Contribution** \$ 182,894

**Additional Sources of Funding**  
West Fargo Park District General Fund

<b>Federal Funds Utilized</b> none
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b> The project will bring the aging shelter up to current ADA and safety standards. All items listed new features to the shelter.
<b>Annual Maintenance Budget</b> \$ 645,000
<b>Maintenance Provided By</b> West Fargo Park District
<b>I Hereby certify that funds in the amount of \$ 182,894 are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b> SIGN HERE 
<b>Printed Name/Title</b> Barb Erbstoesser, Executive Director
<b>Date</b> February 28, 2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Bathrooms	2 bathrooms with fixtures	\$56,754
Doors	9	\$22,423
ADA Concrete Sidewalk	265 linear feet	\$9,268
10% contingency	10%	\$8,845
	<b>TOTAL</b>	<b>\$97,290</b>

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org

Estimate date: December 9, 2022

Revision date:

Project Name: Elmwood Park Shelter Remodel Project # 202101-4  
Project Location: West Fargo, ND

### Probable Cost of Construction

1 - General Conditions	\$3,447
2 - Existing Conditions	\$9,459
3 - Concrete	\$4,340
4 - Masonry	\$0
5 - Metals	\$0
6 - Wood, Plastics and Composites	\$9,328
7 - Thermal and Moisture Protection	\$40,330
8 - Openings	\$26,210
9 - Finishes	\$29,245
10 - Specialties	\$7,376
11 - Equipment	\$0
12 - Furnishings	\$0
13 - Special Construction	\$0
14 - Conveying Equipment	\$0
22 - Plumbing	\$12,800
23 - Heating, Ventilating and AC	\$0
26 - Electrical	\$21,000
31 - Earthwork	\$0
32 - Exterior Improvements (ADA Sidewalks)	\$10,000
33 - Utilities	\$0
- Contingency	\$20,000
<b>Total Construction Costs</b>	<b>\$193,534</b>

<u>Base Bid:</u> clear floor sealer	2737 sf	\$1.50/sf	\$4,106	\$193,534
<u>Alternate:</u> epoxy flake flooring system	2737 sf	\$7/sf	\$19,159	\$207,219



## ARCHITECTURE PLANNING

420 MAIN AVENUE, MOORHEAD, MINNESOTA 56560 PH: 218-233-4422 WWW.YHR.COM

### Condition Assessment

North shelter – 30' x 80'

Elmwood Park in West Fargo, ND

On June 28, 2022 a condition assessment was done on the above listed building. Building is 30'- x 80' slab on grade wood pole type building. Wood poles are 8" diameter at 10'-0" o.c., roof structure is wood trusses at 2'-0" o.c.. There are gravity type doors on the north and south side located between posts. Roof is wood decking with asphalt shingles, there are skylights. East end has electrical panel, service sink, toilets, and storage.

### Exterior:

- Access to the building is not accessible. The only access is via grass.  
Estimated cost \$7,500
- Several areas of concrete walk need to be replaced.  
Estimate cost \$10,000
- Roof – shingles need to be replaced. Metal roofing would be more long lasting than shingles but may be cost prohibitive. Several eave boards need to be replaced  
Estimated cost to remove skylights, asphalt shingles and eaves \$17,500  
Estimated cost to remove skylights, standing seam and eaves \$32,000
- The exterior should be painted.  
Estimated cost \$7,000 (interior and exterior)

### Interior:

- Floor slab – good condition. Some cracking in a couple of areas but nothing structural.
- Walls – good condition
- Walk doors – there are a couple of sliding doors into the building. they are in decent condition

- Pull up doors – these doors are very crude. They are difficult to open and close. Recommend replacing. The intent of these doors appears to be able to open the entire space up to the exterior. A better solution may be to take the wall down in several places and put in overhead doors. coiling doors would also be an option.

Estimated cost per door  $\$3,500 \times 16 = \$56,000$

- Toilets are not accessible. Sizes are not correct.

Estimated cost to remodel \$20,000 each

- Door hardware in several locations needs to be replaced, including into the toilet rooms.

Estimated cost \$2,500

Overall, the building is in good shape, but needs some repair.

YHR Partners



Exterior Looking West



Exterior Looking South



Interior View



Some Floor Cracks, Nothing Structural



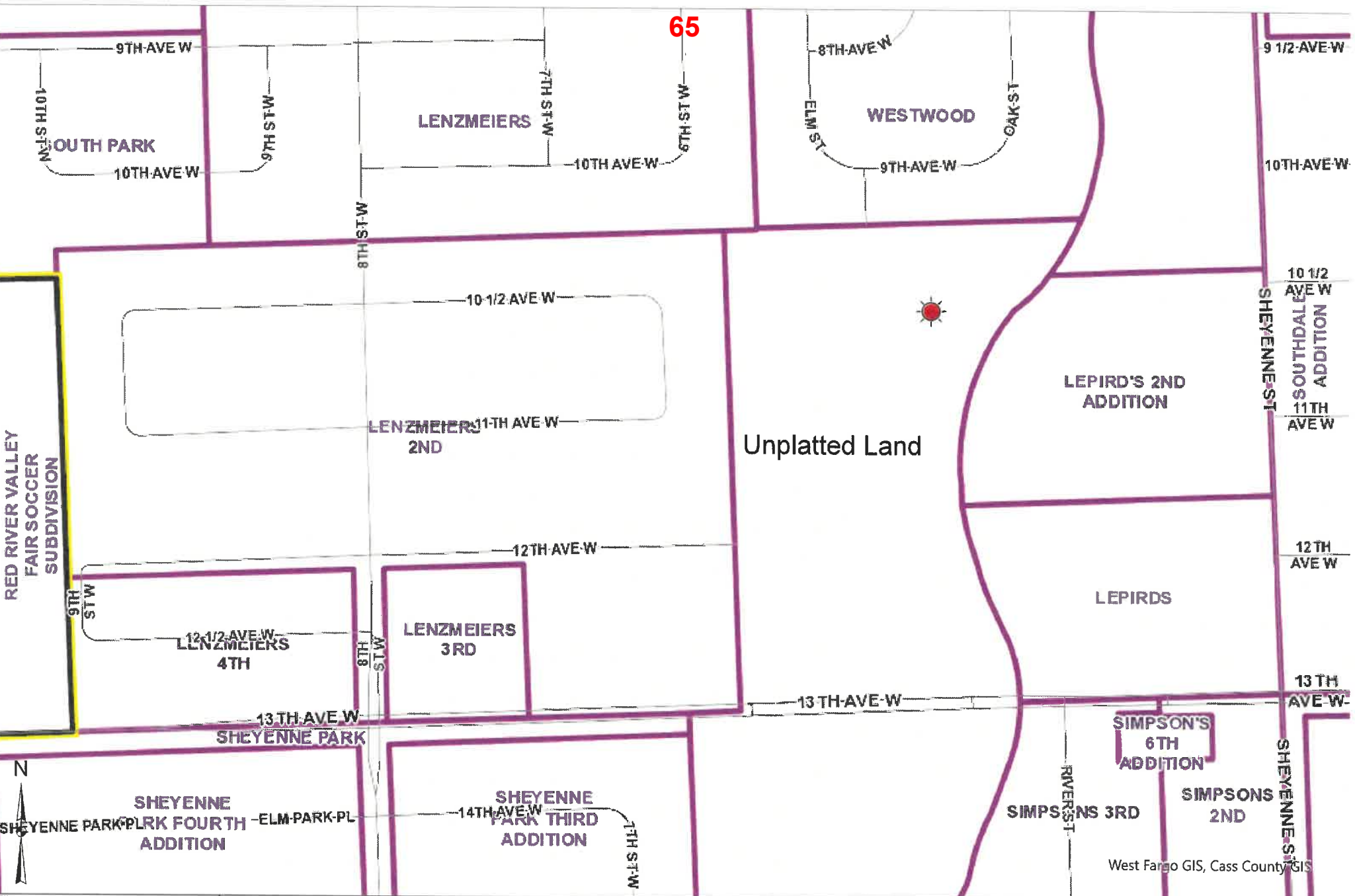
View of Utility Sink and Electrical Panel



Non-Accessible Toilets



65



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

## Elmwood Park, Unplatted Land

Date: 2/6/2023 65

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



West Fargo GIS, Cass County GIS



ARCHITECTURE | PLANNING

420 Main Avenue  
Moorhead, MN 56560  
Telephone: (218)233-4422

**MECHANICAL ENGINEER**

MBN ENGINEERING  
503 7TH STREET NORTH, SUITE200  
FARGO, ND 58102  
TELEPHONE NO.: (701) 478-6336

**ELECTRICAL ENGINEER**

MBN ENGINEERING  
503 7TH STREET NORTH, SUITE200  
FARGO, ND 58102  
TELEPHONE NO.: (701) 478-6336

# ELMWOOD PARK NORTH SHELTER REMODEL

## WEST FARGO PARK DISTRICT

## WEST FARGO, NORTH DAKOTA

Project No.: 202101-4

ELMWOOD PARK NORTH  
SHELTER REMODEL  
WEST FARGO PARK DISTRICT  
WEST FARGO, NORTH DAKOTA  
Project No. 202101-4  
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### ABBREVIATIONS

@	AT	GA	GALVE	R	RISER / RADIUS / RUBBER
L	ANGLE	GALV	GALVANIZED	R.A.	RETURN AIR
A.B.	ANCHOR BOLT	G.B.	GRAB BAR	R.B.	RUBBER BASE
AC	ACOUSTIC	G.C.	GENERAL CONTRACTOR	R.D.	ROOF DRAIN
A/C	AIR CONDITIONING	GEN	GENERAL	REC	RECESSED
AC.BD.	ACOUSTICAL CEILING BOARD	GL	GLASS	RECPT	RECEPTACLE
ACRY	ACRYLIC	GLZD	GLAZED	REF	REFERENCE
A.D.	ACCESS DOOR	GRND	GROUND	REFR	REFRIGERATOR
ADJ	ADJUSTABLE	GR	GRILLE	REFL	REFLECTED
A.F.F.	ABOVE FINISH FLOOR	GYP BD	GYPSPUM BOARD	REG	REGISTER
ALT	ALTERNATE	GYP	GYPSPUM	RENF	REINFORCING
ALUM	ALUMINIUM	GCMU	GLAZED FACE CMU	REQD	REQUIRED
ANCH	ANCHOR	H	HIGH	RET	RETURN
ANOD	ANODIZED	H.C.	HOLLOW CORE	REV	REVISED
A.P.	ACCESS PANEL	H.D.	HEAVY DUTY	RFG	ROOFING
APPROX.	APPROXIMATE	HDBD	HARDBOARD	R.H.	RIGHT HAND
ARCH	ARCHITECT / ARCHITECTURAL	HDCP	HANDICAP	R.L.	ROUGH-IN
ATTEN	ATTENUATION	HDR	HEADER	R.L.	RAIN LEADER
		HDR	HARDWOOD	RM	ROOM
BD.	BOARD / BEAD	HWD / O	HOLLOW METAL	RND / O	ROUND
BITUM	BITUMINOUS	H.M.	HORIZONTAL	R.O.	ROUGH OPENING
BLKT	BLANKET	HORIZ	HORIZONTAL	R.S.	ROUGH SAWN
BLDG	BUILDING	HP	HORSEPOWER	R & S	ROD & SHELF
BLK	BLOCK	HR	HOUR	RTG	RATING
BLKG	BLOCKING	HT	HEIGHT	S	SOUTH
BM	BEAM	HTR	HEATER	S.A.	SUPPLY AIR
B.M.	BENCH MARK	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	SAN	SANITARY
BOT	BOTTOM	H.W.	HOT WATER	SAN	SOLID CORE
BRG	BEARING	I.D.	INSIDE DIAMETER	S.C.	SCHEDULE
BRKT	BRACKET	I.J.	ISOLATION JOINT	SCHD	SCHEDULE
BSTM	BASEMENT	I.NSUL	INSULATION / INSULATED / INSULATING	S.D.	SEE DETAIL
BTW	BETWEEN	INT	INTERIOR / INTERNAL	SECT	SECTION
BUR	BUILT-UP ROOFING	JST	JOIST	S.F.	SQUARE FEET
		JT	JOINT	SGL	SINGLE
C	CHANNEL	JST	JOIST	SHTHG	SHEATHING
CAB	CABINET	JT	JOINT	SHT	SHEET
CPT	CARPET	K.D.	KNOCKDOWN	SIM	SIMILAR
CSNG	CASING	LAM	LAMINATE	S.N.D.	SANITARY NAPKIN DISPOSAL SPECIFICATIONS
C.B.	CHALKBOARD / CATCH BASIN	LAV	LAVATORY / LAMINATED	SO	SQUARE
C.C.J.	CONSTRUCTION CONTROL JOINT	LB / #	POUND	S.S.	STAINLESS STEEL / SERVICE SINK
CEM	CEMENT	LB / #	POUND	STAG	STAGGERED
CER	CERAMIC	L.H.	LEFT HAND	STD	STANDARD
C.F.M.	CUBIC FEET PER MINUTE	L.H.	LEFT HAND	STL	STEEL
C & G	CURB & GUTTER	L.O.C.	LOCATION	STOR	STORAGE
C.H.	COAT HOOK	LONGIT	LONGITUDINAL	STRUC	STRUCTURAL
C.J.	CONTROL JOINT	LT	LIGHT	SUSP	SUSPENDED
CL	CENTER LINE			T	TILE / TREAD
CLG	CEILING	MAS	MASONRY	T.B.	TACK BOARD
CLR	CLEAR	MAT	MATERIAL	T.O.C.	TOP OF CURB
C.M.U.	CONCRETE MASONRY UNIT	MAX	MAXIMUM	TELE	TELEPHONE
C.O.	CLEAN OUT	M.B.	MOP BASIN / MARKER BOARD	TEMP	TEMPERATURE
COL	COLUMN	M.C.	METAL CHANNEL	T & G	TONGUE & GROOVE
COMP	COMPOSITION	M.D.O.	MEDIUM DENSITY OVERLaid	THLD	THRESHOLD
CONC	CONCRETE	MECH	MECHANICAL	THRU	THROUGH
CONN	CONNECT	MEMB	MEMBRANE	T.O.B.	TOP OF BEAM
CONST	CONSTRUCTION	MFR	MANUFACTURER	T.O.F.	TOP OF FOOTING
CONT	CONTINUOUS	MH	MANHOLE	T.O.FL.	TOP OF FLOOR
CONTR	CONTRACTOR	MK	MARK	TOIL	TOILET
CORR	CORRIDOR	MIN.	MINIMUM	T.O.J.	TOP OF JOIST
CSMT	CASEMENT	MISC	MISCELLANEOUS	TP	TOILET PARTITION
C.T.	CERAMIC TILE	MNT	MOUNTED	T.P.H.	TOILET PAPER HOLDER
CTR	COUNTER / CENTER	M.O.	MASONRY OPENING	TRANS	TRANSVERSE
CTSK	COUNTERSINK (SUNK)	MTL	METAL	TUB	TUBULAR
CUST	CUSTODIAN	MULL	MULLION	TYP	TYPICAL
		N	NORTH	UG	UNDERGROUND
DBL	DOUBLE	NAP	NAPKIN	UNEX	UNEXCAVATED
D.F.	DRINKING FOUNTAIN	N.C.	NOT IN CONTRACT	UNFN	UNFINISHED
DH	DOUBLEHUNG	NO / #	NUMBER	U.ON.	UNLESS OTHERWISE NOTED
DIA	DIAMETER	NOM	NOMINAL	UR	URINAL
DM	DIMENSION	N.O.S.	NOT TO SCALE	U.S.	URINAL SCREEN
DM	DIMENSION	N.T.S.	NOT TO SCALE	UNPT	UNPAINTED
DM	DIMENSION	O.A.	OVERALL LENGTH	V	VERIFY / VOLT
DIV 15	DIVISION 15 - MECHANICAL	OBSC	OBSCURE	V.C.T.	VINYL COMPOSITION TILE
DIV 16	DIVISION 16 - ELECTRICAL	O.C.	ON CENTER	VEN	VEENER
D.L.	DEAD LOAD	O.D.	OUTSIDE DIAMETER	VERT	VERTICAL
DN	DOWN	O.F.	OWNER FURNISHED	VOL	VOLUME
DO	DITTO (THE SAME)	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	V.S.F.	VINYL SHEET FLOORING
DR	DOOR	O.F.O.I.	OWNER INSTALLED OVERHEAD OPENING	V.W.C.	VINYL WALL COVERING
DRWG / DWG	DRAWING	OH	OVERHEAD	W	WIDE / WEST
DS	DOWNSPOUT	OPNG	OPENING	W	WITH
D.T.	DOUBLE TEE / DRAIN TILE	OPP	OPPOSITE	W.C.	WATER CLOSET
DTL	DETAIL	PART	PARTITION / PARTIAL	WD	WOOD
DW	DISHWASHER	P.C.	PRECAST CONCRETE	W/O	WITHOUT
DWL	DOWEL	P.G.B.	PAINTED GYP. BD.	WOM	WOMEN
E	EAST	P.I.	POSITION INDICATOR	W.P.	WATERPROOFING / WEATHERPROOFING
EA	EACH	PL	PLATE / PLASTIC	W.SCT	WAINSCOT
ELEC	ELECTRICAL	P.L.	PLASTER	WT	WEIGHT
ELEV	ELEVATION / ELEVATOR	P.LVWD	PLYWOOD	W.T.F.	WELDED WIRE FABRIC
EM	EMERGENCY	POL	POLISHED	Y	YARD
ENR	ENTRANCE	POLY	POLYETHYLENE		
EQ	EQUAL	PORT	PORTLAND		
EQUIP	EQUIPMENT	PR	PAIR		
E.T.T.	EPOXY TERRAZZO TILE	PROP	PREFINISHED PROPERTY		
E.W.	EACH WAY	P.S.F.	POUNDS PER SQUARE FOOT		
EXIST	EXISTING	P.S.I.	POUNDS PER SQUARE INCH		
EXP	EXPANSION / EXPOSED	PT	PAINT		
EXT	EXTERIOR	PTD	PAINTED		
F.D.	FLOOR DRAIN	PVC	POLYVINYLCHLORIDE		
FDN	FOUNDATION	QTR	QUARTER		
F.F.	FINISH FLOOR	QTZ	QUARTZ		
F.H.	FLAT HEAD				
FIN	FINISH				
FIXT	FIXTURE				
FLEX	FLEXIBLE				
FLG	FLASHING / FLANGE				
FLR	FLOOR				
F.O.	FINISHED OPENING				
F.P.	FIRE PROTECTION				
F.R.	FIBER REINFORCED PANEL				
F.S.	FLOOR SINK				
FT	FOOT / FEET				
FTG	FOOTING				
FURR	FURRING				
FE	FIRE EXTINGUISHER				

### RENDERING



### INDEX OF DRAWINGS

COVER	COVER SHEET
ARCHITECTURAL	
A000	MOUNTING HEIGHTS
A100	DEMO PLANS AND ELEVATIONS
A120	PLANS AND ELEVATIONS
A121	ELEVATIONS AND DETAILS
MECHANICAL	
M001	MECHANICAL DETAILS, LEGEND, SYMBOLS AND SCHEDULES
M100	MECHANICAL DEMOLITION AND FLOOR PLANS
ELECTRICAL	
E001	ELECTRICAL SYMBOLS LEGEND AND LUMINAIRE SCHEDULE
E100	ELECTRICAL DEMOLITION AND LIGHTING PLANS
E200	POWER / SYSTEMS PLAN AND RISER DIAGRAMS

### GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL UNLESS OTHERWISE INDICATED. ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED BETWEEN NEAREST ADJACENT WALL INTERSECTIONS UNLESS OTHERWISE DIMENSIONED.
- SEE MECHANICAL AND ELECTRICAL FOR THEIR RESPECTIVE WORK.
- VERIFY SIZE AND LOCATION OF ALL MECHANICAL FLOOR AND ROOF OPENINGS
- STRUCTURAL, MECHANICAL, AND ELECTRICAL ITEMS INDICATED ON ARCHITECTURAL SHEETS ARE SHOWN FOR CLARIFICATION AND COORDINATION. REFER TO STRUCTURAL, MECHANICAL, AND ELECTRICAL SHEETS RESPECTIVELY FOR ACTUAL REQUIREMENTS.

### FLOOR PLAN LEGEND

WALL TYPES:		SEE WALL SCHEDULE
DOOR NUMBER:		SEE DOOR SCHEDULE
ROOM:		ROOM NAME (XXX)
WINDOW TYPE:		SEE WINDOW ELEVATIONS
WALL BRACKET FIRE EXTINGUISHER		10 44 00.01
FIRE EXTINGUISHER CABINET		10 44 00.02
FLOOR DRAIN - SEE MECHANICAL		FD
CORNER GUARD		10 26 00.01 (TYPE 1)
GYPSPUM BOARD CONTROL JOINT		09 21 16.04

### REFERENCE TAG INFORMATION

	DIRECTION OF ELEVATION	ELEVATION DRAWING NUMBER	ELEVATION SHEET REFERENCE NUMBER (A200, ETC.)
	<b>ELEVATION (EXTERIOR) REFERENCE TAG</b>		
	<b>ELEVATION (INTERIOR) REFERENCE TAG</b>		
	<b>DETAIL DRAWING BORDER INFORMATION</b>		
	DIRECTION OF SECTION	SECTION REFERENCE NUMBER	SECTION SHEET REFERENCE NUMBER (A250, A270, ETC.)
	<b>BUILDING / WALL SECTION REF. TAGS</b>		
	NAME OF LEVEL	FIRST FLOOR 100'-0"	ELEVATION HEIGHT ELEVATION MARKER
	<b>ELEVATION HEIGHT REFERENCE TAG</b>		
	GRID MARKER		
	GRID REFERENCE NUMBER		
	GRID LINE		
	<b>COLUMN GRID LINE REFERENCE TAG</b>		

ELMWOOD PARK NORTH SHELTER REMODEL

WEST FARGO PARK DISTRICT

WEST FARGO, NORTH DAKOTA

KEYNOTES:

- 02 40 00.01 REMOVE WALL
- 02 40 00.02 REMOVE PLYWOOD CEILING
- 02 40 00.04 REMOVE DOOR AND FRAME ASSEMBLY
- 02 40 00.05 REMOVE SKYLIGHT
- 02 40 00.06 REMOVE WALL AS NEEDED FOR NEW OPENING
- 02 40 00.07 REMOVE TILT-UP WOOD PANEL WINDOW, HARDWARE, ASSOCIATED HOIST ASSIST ASSEMBLY AND ADJACENT WOOD STUDS
- 02 40 00.08 REMOVE HARDWARE AND HOIST ASSIST ASSEMBLY ONLY - PREPARE WOOD PANEL WINDOW TO BE PERMANENTLY CLOSED
- 02 40 00.09 REMOVE SHELVES AND ASSOCIATED SUPPORTS
- 02 40 00.10 REMOVE BARN DOOR AND HARDWARE TRACK
- 02 40 00.11 REMOVE TOILET PARTITION
- 02 40 00.12 REMOVE MIRRORS, GRAB BARS, DISPENSERS, AND ALL OTHER EXISTING ACCESSORIES
- 02 40 00.13 MECHANICAL TO REMOVE PLUMBING FIXTURE
- 02 40 00.14 SAW CUT CONCRETE SLAB AS NEEDED FOR NEW MECHANICAL WORK - COORDINATE LOCATION(S) WITH MECHANICAL CONTRACTOR
- 02 40 00.15 SAW CUT SIDING AS REQUIRED FOR ENLARGED DOOR OPENING
- 02 40 00.17 ELECTRICAL TO REMOVE LIGHT FIXTURE
- 02 40 00.18 REMOVE ASPHALT SHINGLES AND UNDERLAYMENT - REPLACE ANY DEFECTIVE SHEATHING PANELS AND PREPARE REMAINING SHEATHING TO RECEIVE NEW METAL ROOF
- 02 40 00.20 MECHANICAL TO REMOVE WATER HEATER ABOVE ROOF TRUSS
- 09 90 00.07 PREPARE SURFACE TO RECEIVE NEW PAINT FINISH

- GENERAL NOTES
1. REMOVE ALL ITEMS AS NEEDED FOR NEW CONSTRUCTION.
  2. ALL DASHED LINES INDICATE DEMOLITION OF ITEMS.

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.

Dated: FEBRUARY 2023 Regt. No. 1423

Signed: *[Signature]*



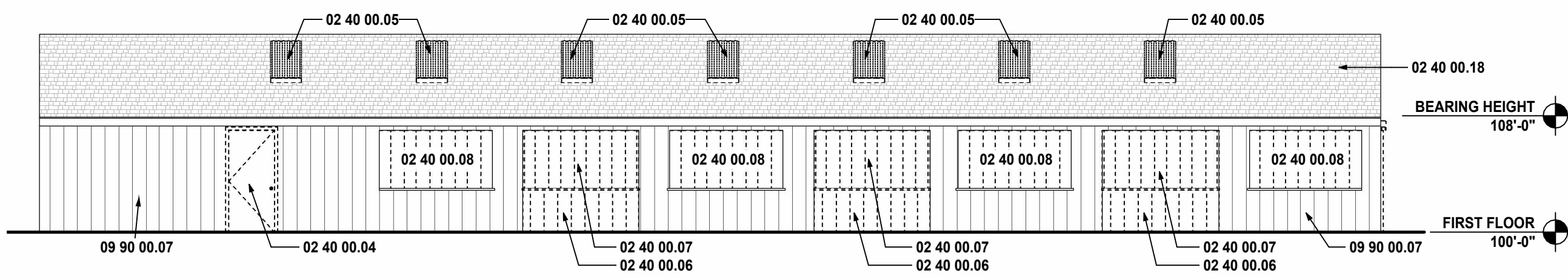
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420 Main Avenue  
Moorhead, Minnesota 56560  
Telephone: (218)233-4422

PROJECT NUMBER: 202101-4

DEMO PLANS AND ELEVATIONS

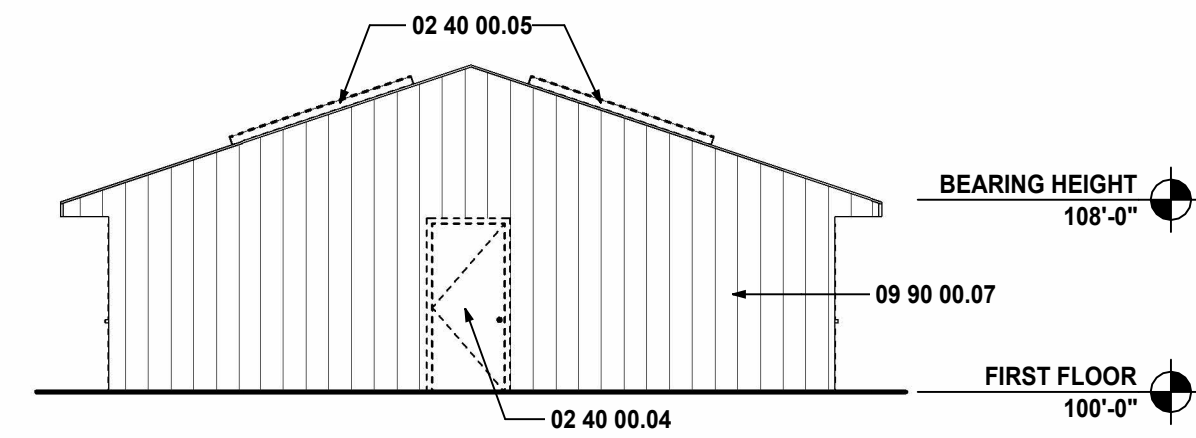
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A100



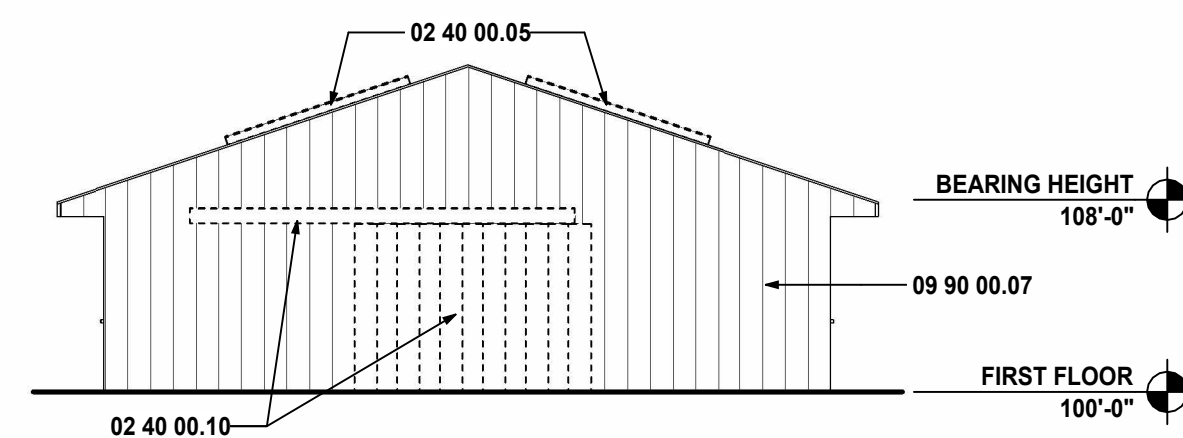
J1 NORTH ELEVATION - DEMOLITION

1/8" = 1'-0"



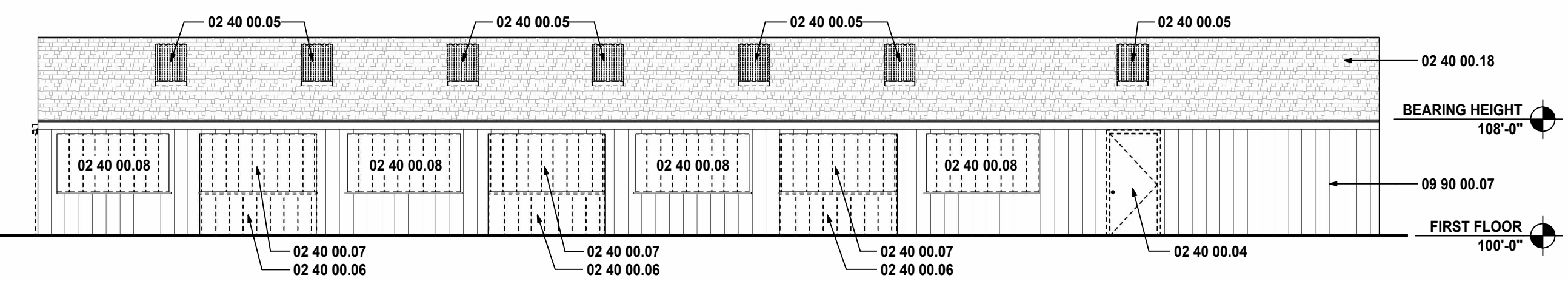
G1 EAST ELEVATION - DEMOLITION

1/8" = 1'-0"



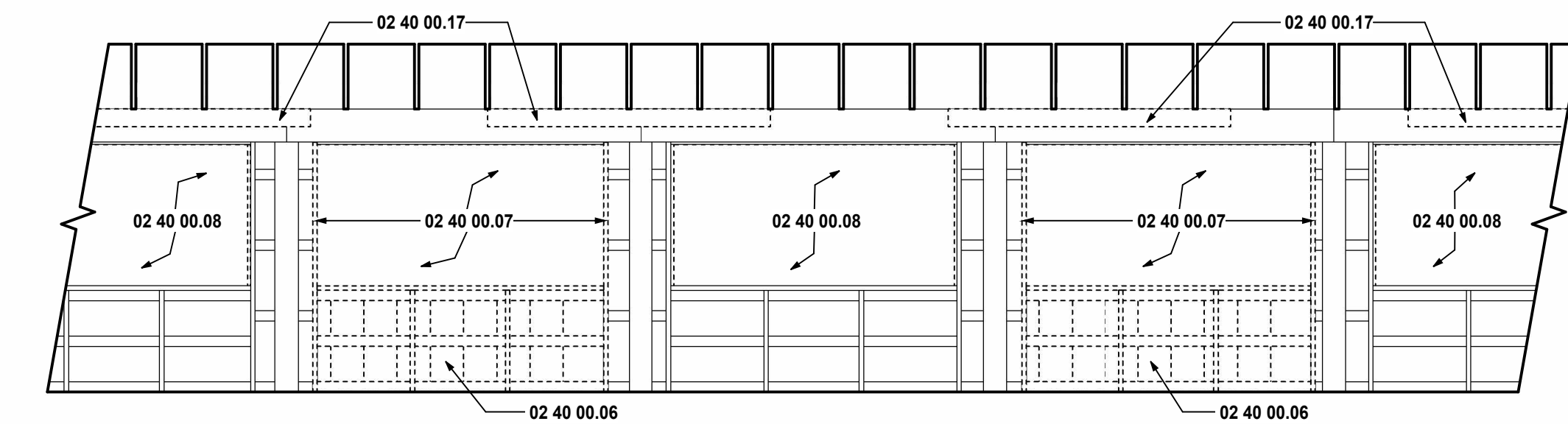
G5 WEST ELEVATION - DEMOLITION

1/8" = 1'-0"



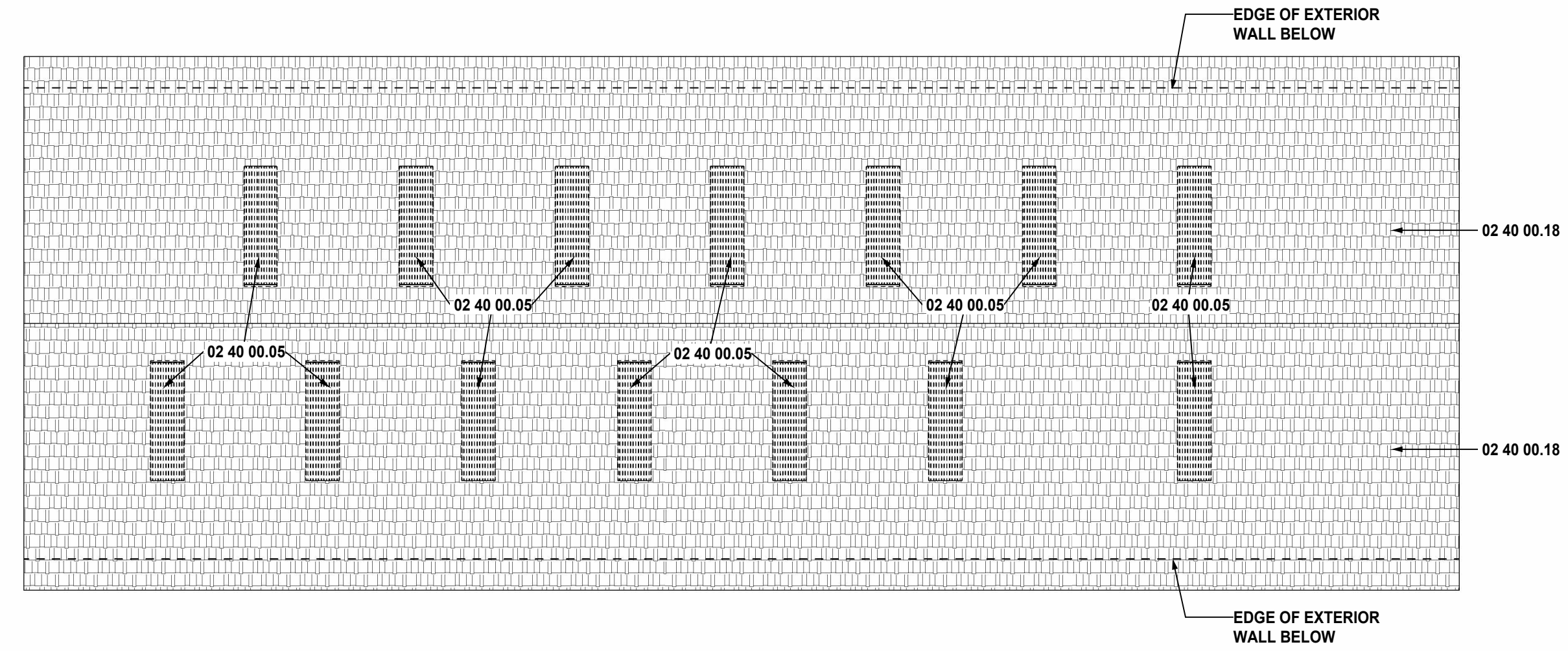
E1 SOUTH ELEVATION - DEMOLITION

1/8" = 1'-0"



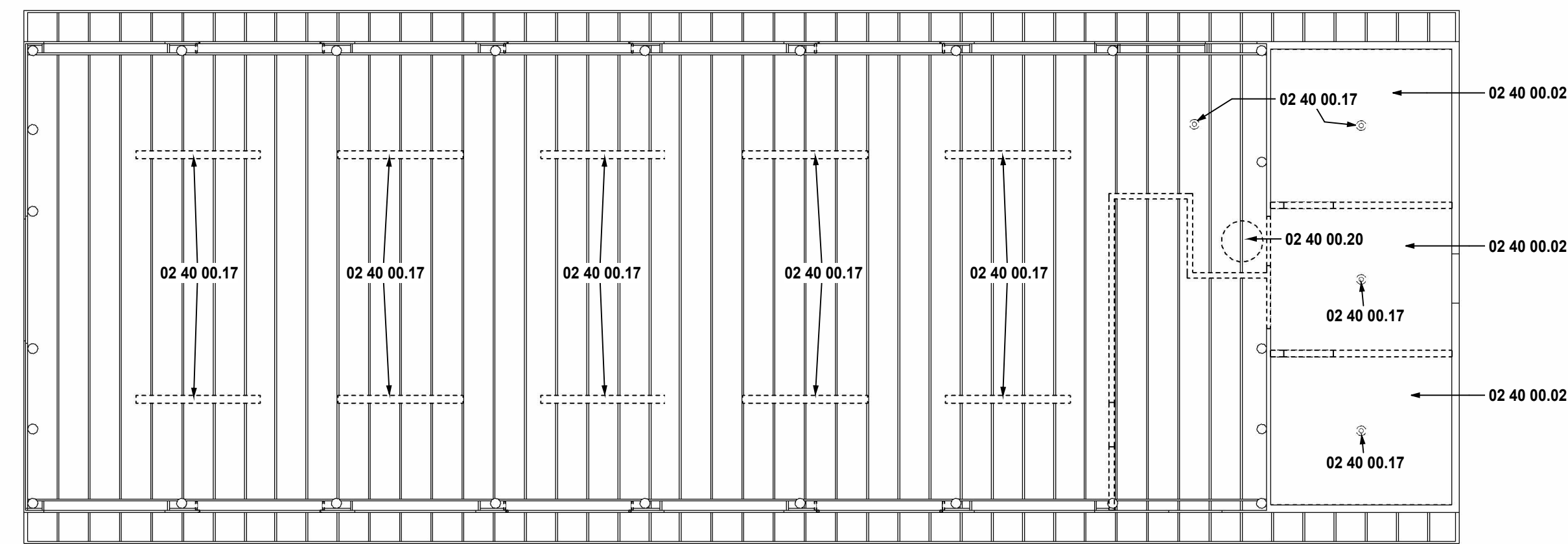
A1 INTERIOR ELEVATION - DEMOLITION (TYPICAL)

1/4" = 1'-0"



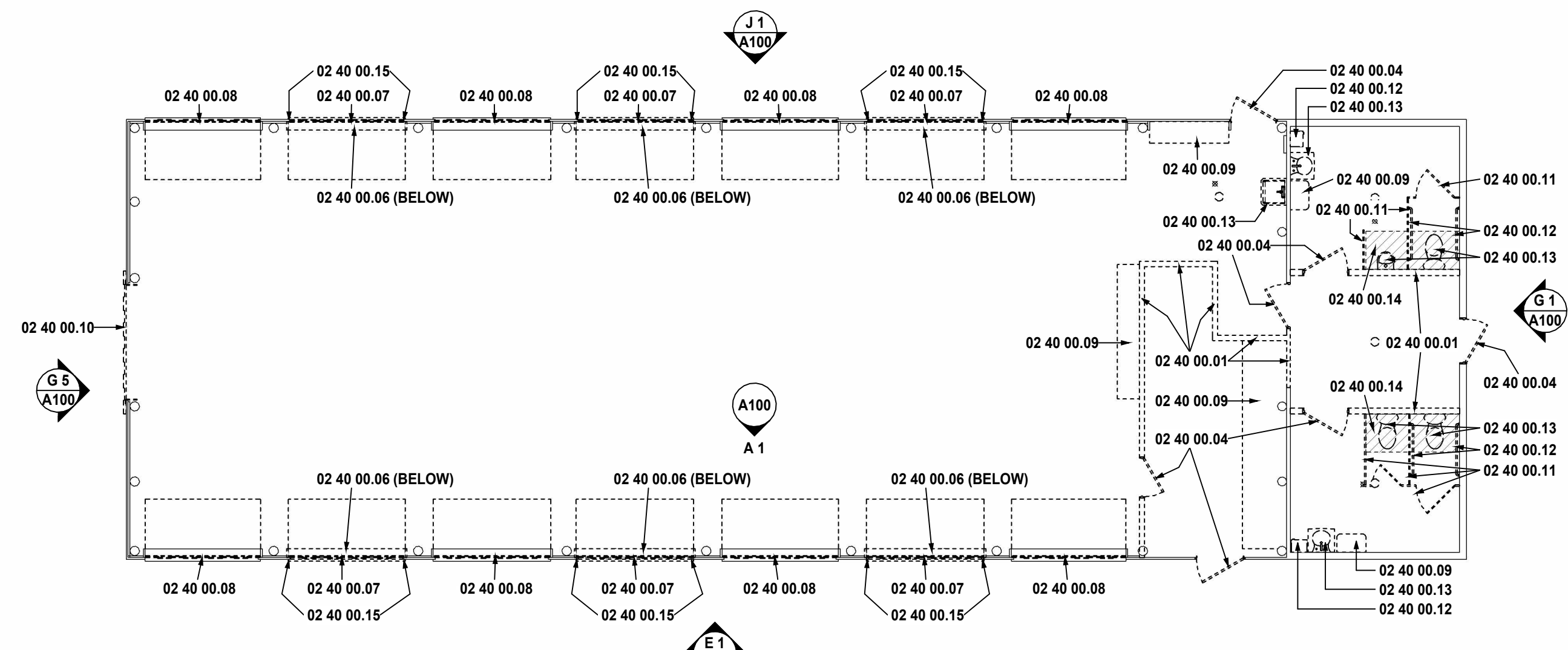
H9 ROOF PLAN - DEMOLITION

1/8" = 1'-0"



E9 FIRST FLOOR RCP - DEMOLITION

1/8" = 1'-0"



A9 FLOOR PLAN - DEMOLITION

1/8" = 1'-0"

ELMWOOD PARK NORTH SHELTER REMODEL

WEST FARGO PARK DISTRICT

WEST FARGO, NORTH DAKOTA

- KEYNOTES:
- 06 10 00.11 5/8" PLYWOOD SHEATHING (WALLS AND CEILING)
  - 06 10 00.15 3/4" PRESERVATIVE TREATED PLYWOOD SHEATHING - SECURE TO UNDERSIDE OF ROOF TRUSS OVERHANG (EXTERIOR SOFFIT)
  - 06 10 00.18 2 X 6 FASCIA BLOCKING - AS REQUIRED TO REPLACE DEFECTIVE
  - 07 31 13.01 ASPHALT SHINGLES
  - 07 41 00.01 STANDING SEAM METAL ROOF
  - 07 41 00.02 VENTED FIXED RIDGE
  - 07 41 00.12 METAL TRIM / FLASHING
  - 08 13 00.01 HOLLOW METAL DOOR
  - 08 36 00.01 OVERHEAD DOOR ASSEMBLY (8'-0"W x 7'-0"H)
  - 08 36 00.02 OVERHEAD DOOR ASSEMBLY (7'-8"W x 7'-0"H)
  - 08 36 00.03 TRIM / FLASHING
  - 09 90 00.01 PAINT-1 (EXTERIOR)
  - 09 90 00.04 PAINT-4 (CEILING)
  - 26 00 00.02 POWER OUTLET - SEE ELECTRICAL

- GENERAL NOTES
1. SECURE EXISTING WOOD PANEL IN CLOSED POSITION - PROVIDE STUD FRAMING AS NEEDED ON INTERIOR SIDE.
  2. EXISTING ROOF TRUSSES SHOWN AS REFERENCE ONLY - FIELD VERIFY ACTUAL LOCATIONS.
  3. NEW WATER HEATER BY MECHANICAL ABOVE ROOF TRUSS.

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.

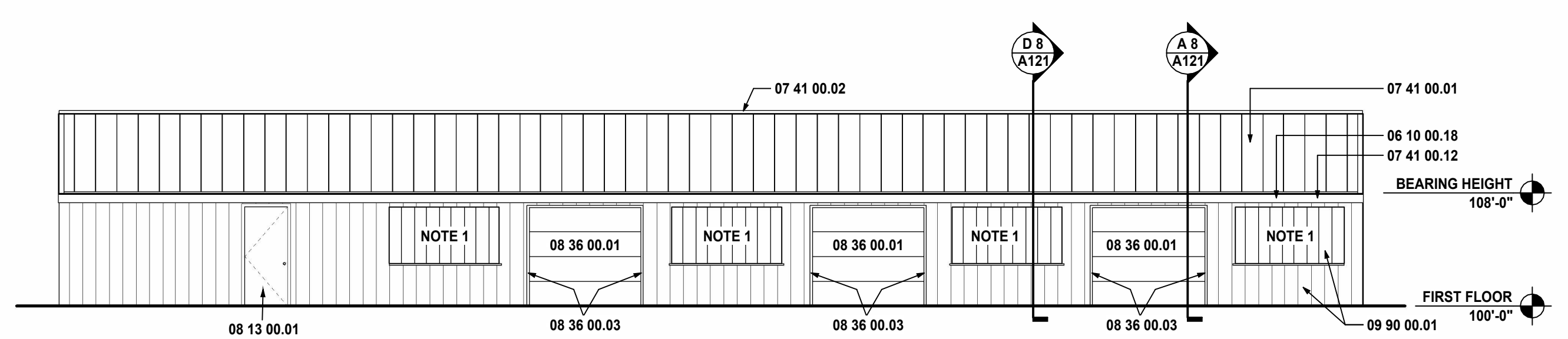
Dated: FEBRUARY 2023 Regt. No. 1423  
Signed: *[Signature]*

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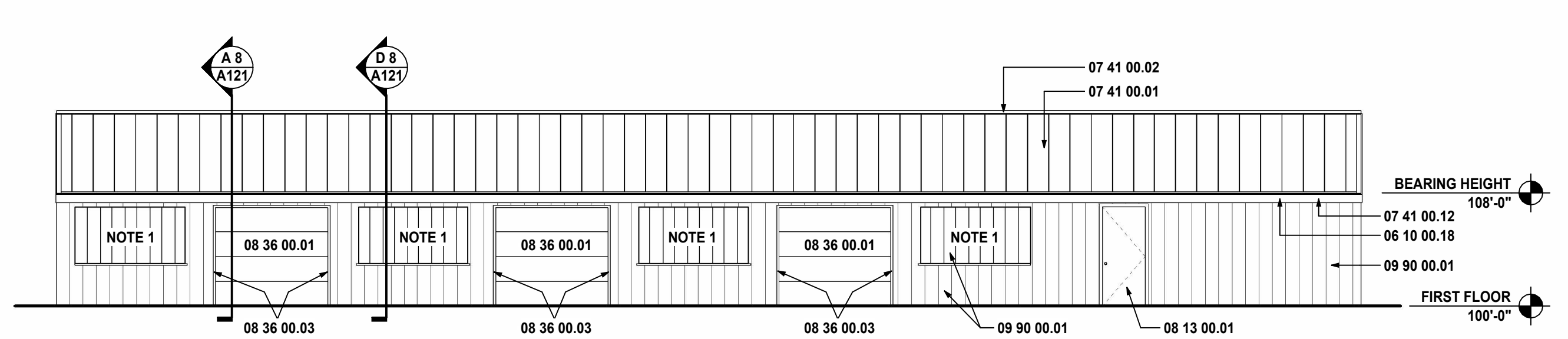
PROJECT NUMBER: 202101-4

PLANS AND ELEVATIONS

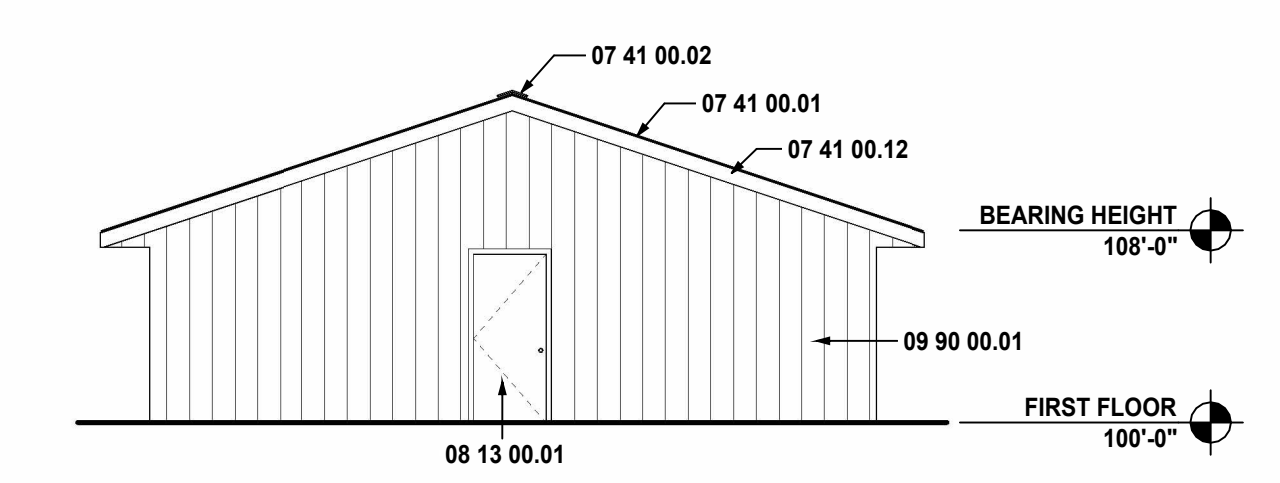
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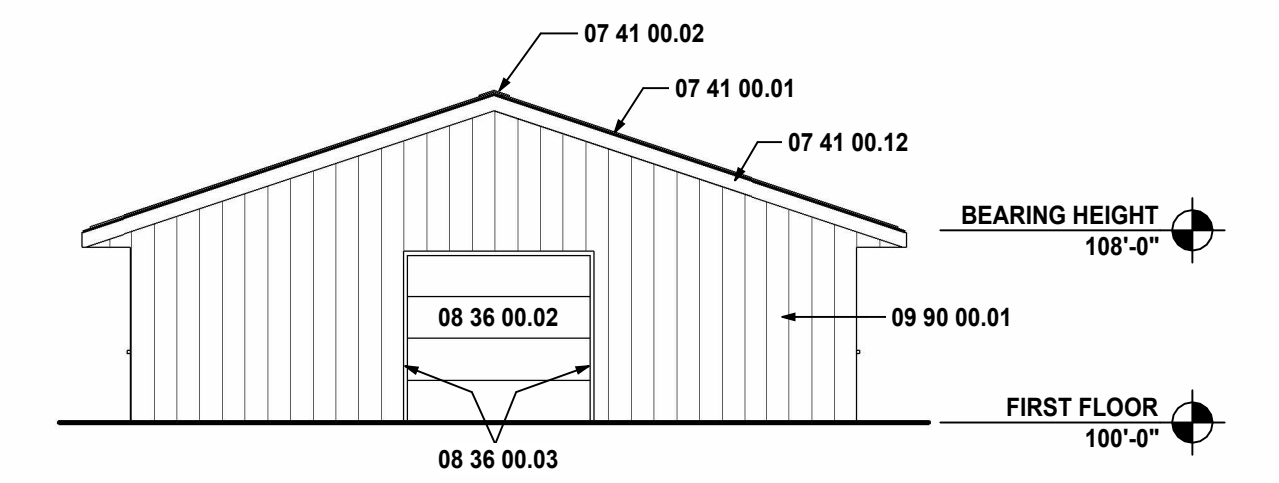
**K 1 NORTH ELEVATION**  
1/8" = 1'-0"



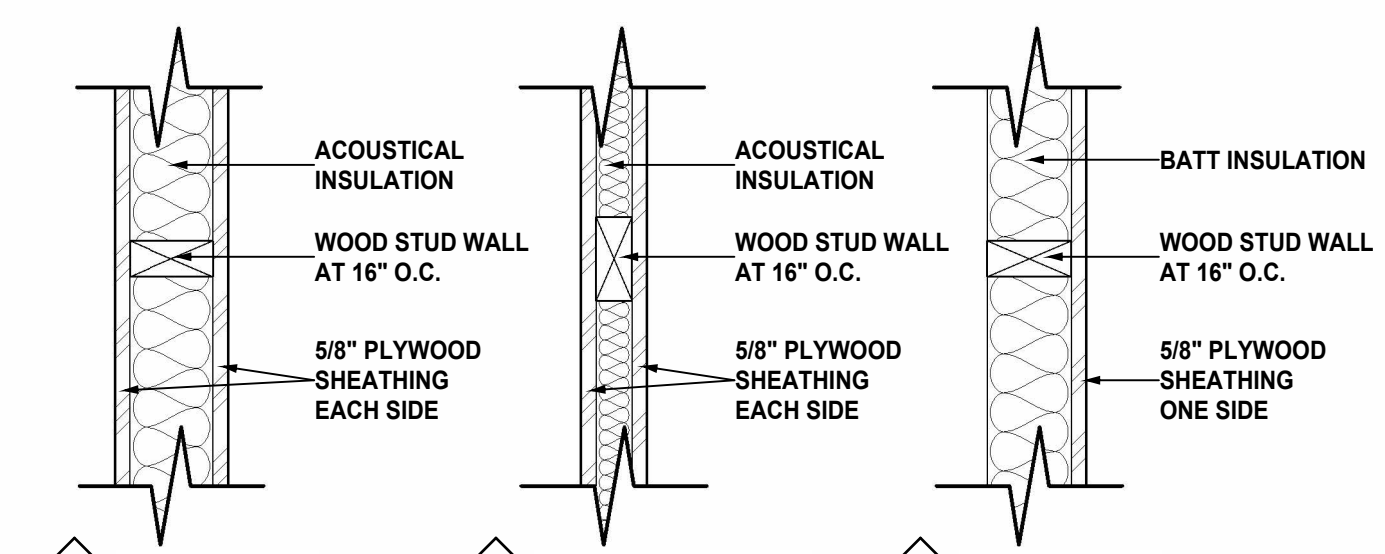
**K 8 SOUTH ELEVATION**  
1/8" = 1'-0"



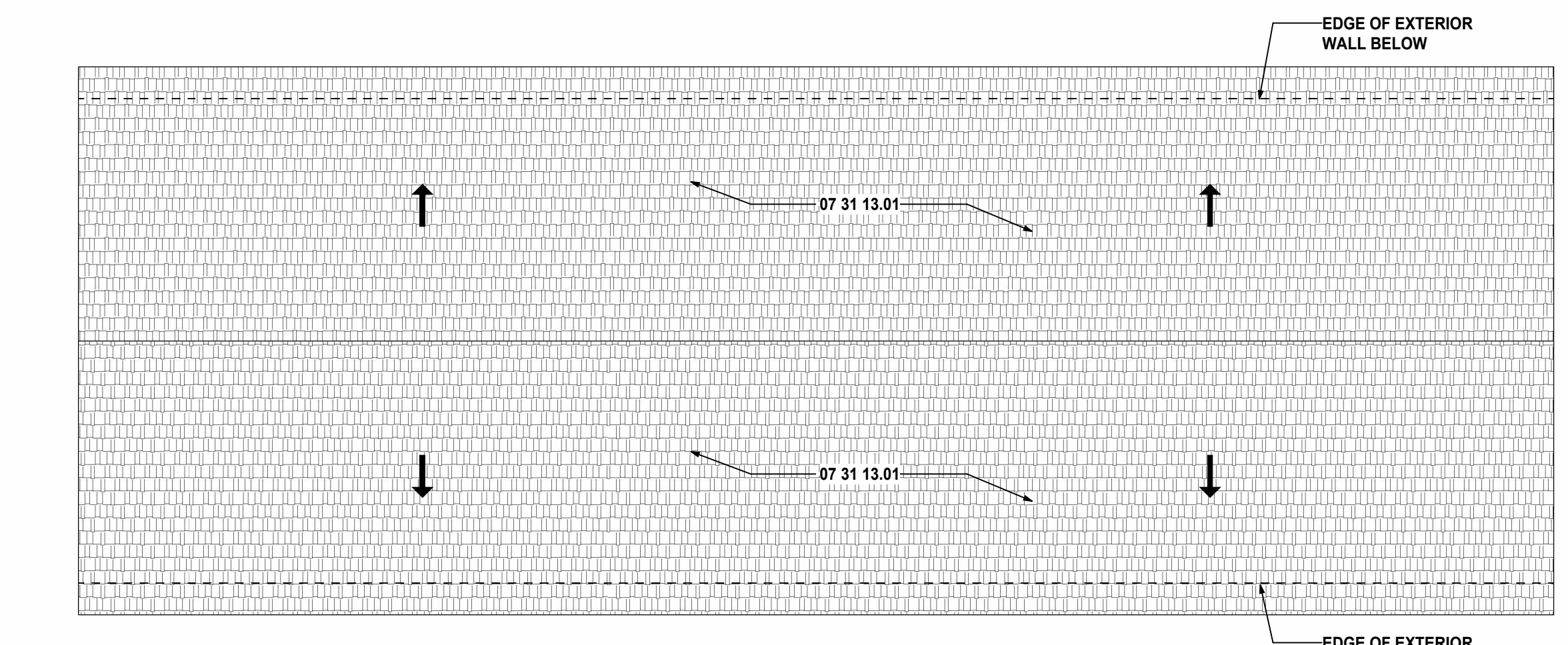
**H 1 EAST ELEVATION**  
1/8" = 1'-0"



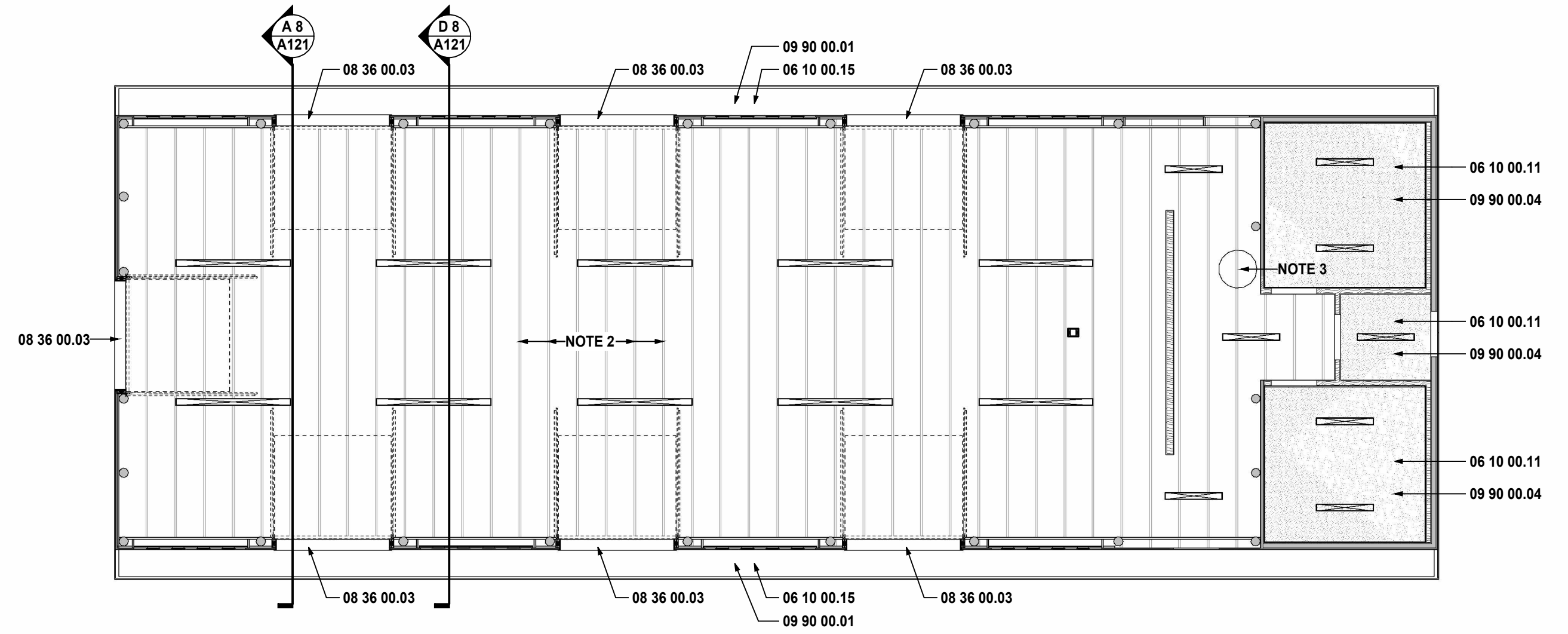
**H 5 WEST ELEVATION**  
1/8" = 1'-0"



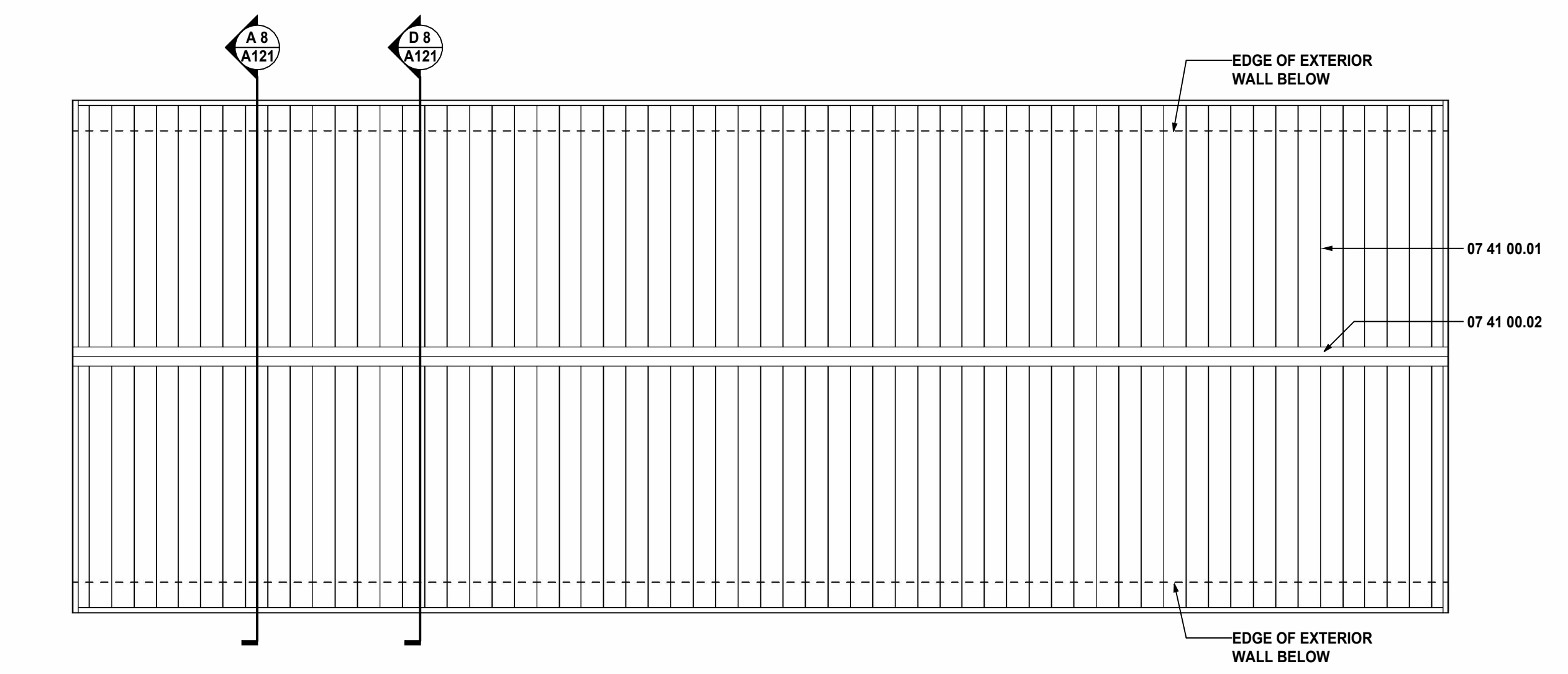
**G 11 WALL TYPES**  
1 1/2" = 1'-0"



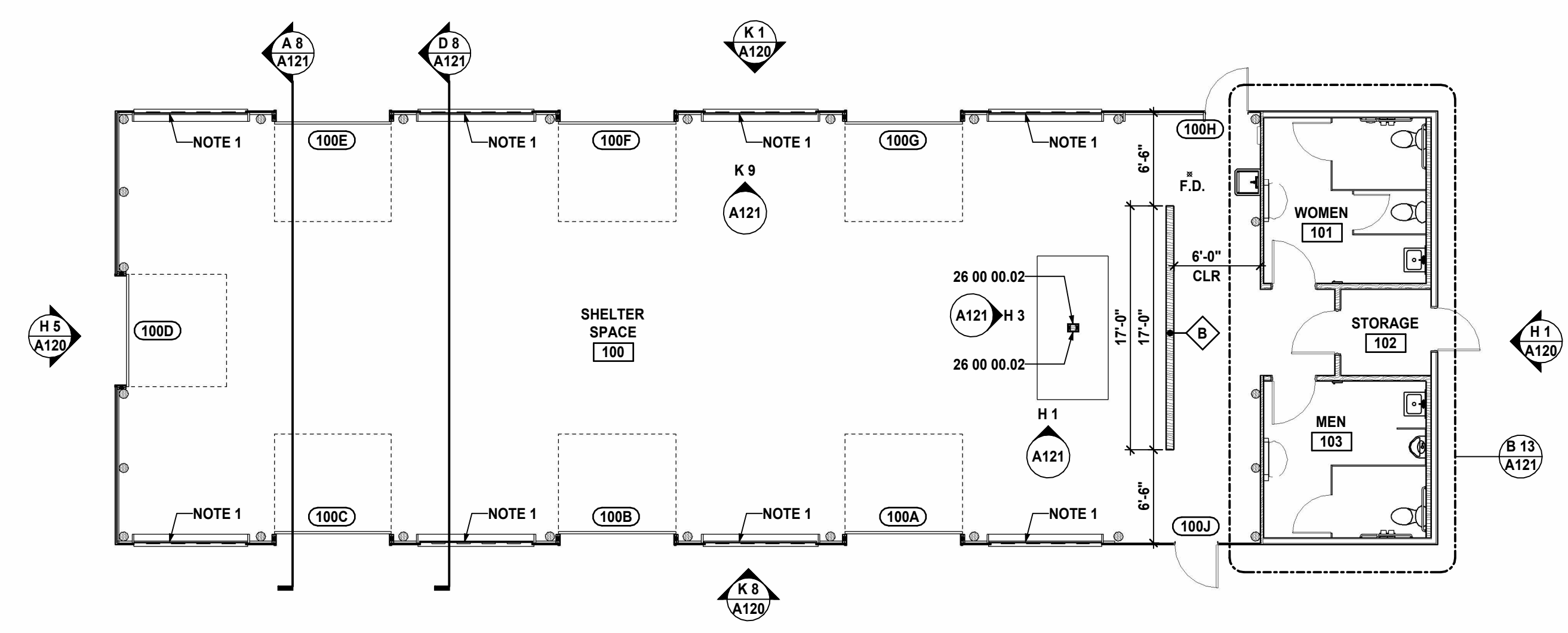
**D 1 ROOF PLAN - ALTERNATE NO. 1 (ASPHALT SHINGLES)**  
1/8" = 1'-0"



**D 9 FIRST FLOOR RCP**  
1/8" = 1'-0"



**A 1 ROOF PLAN - BASE BID (STANDING SEAM)**  
1/8" = 1'-0"



**A 9 FLOOR PLAN**  
1/8" = 1'-0"

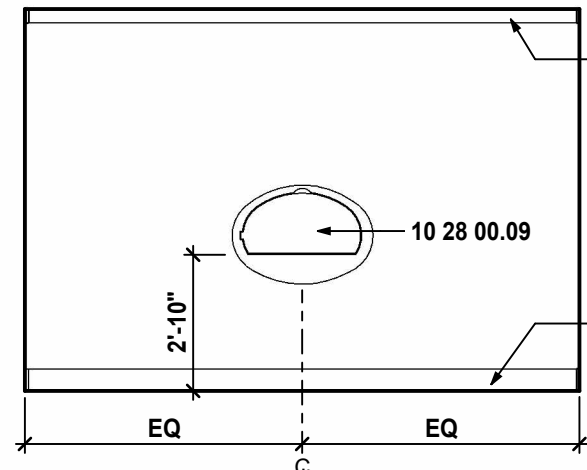
**ELMWOOD PARK NORTH SHELTER REMODEL**

WEST FARGO PARK DISTRICT

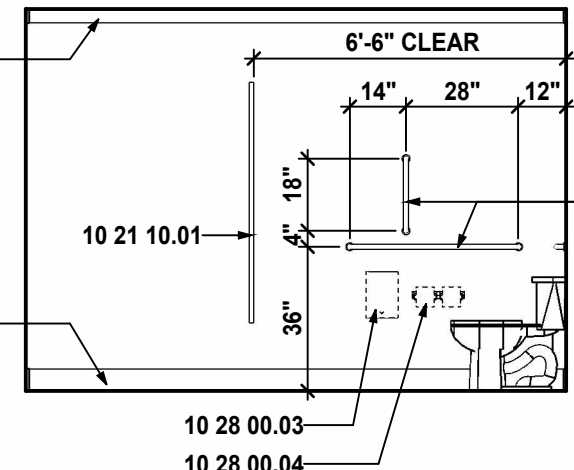
WEST FARGO, NORTH DAKOTA

**KEYNOTES:**

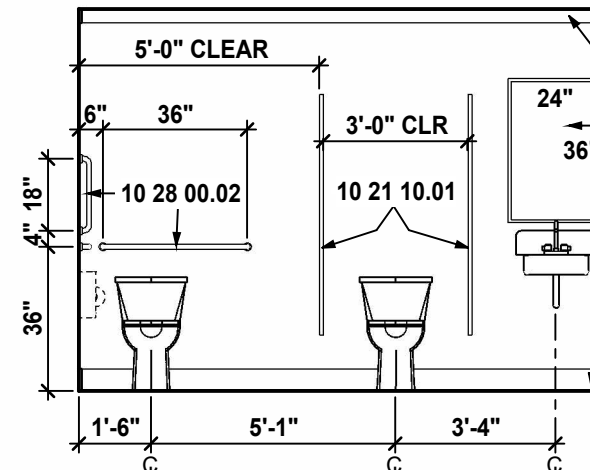
- 03 30 00.01 CONCRETE SLAB - PATCH TO MATCH EXISTING
- 03 30 00.09 POLISHED CONCRETE TABLE AND LEG SUPPORTS
- 06 10 00.05 2 X 6 WOOD STUD
- 06 10 00.11 5/8" PLYWOOD SHEATHING (WALLS AND CEILING)
- 06 10 00.15 3/4" PRESERVATIVE TREATED PLYWOOD SHEATHING - SECURE TO UNDERSIDE OF ROOF TRUSS OVERHANG (EXTERIOR SOFFIT)
- 06 10 00.16 WOOD FRAMED INFILL AS REQUIRED TO SUPPORT PERMANENTLY CLOSED WOOD PANEL WINDOW
- 06 20 00.01 1 X 4 WOOD TRIM - PAINTED TO MATCH WALL
- 06 20 00.02 1 X 6 WOOD TRIM
- 07 41 00.01 STANDING SEAM METAL ROOF
- 07 41 00.02 VENTED FIXED RIDGE
- 07 41 00.02 METAL TRIM / FLASHING
- 08 36 00.01 OVERHEAD DOOR ASSEMBLY (8'-0"W x 7'-0"H)
- 08 36 00.03 TRIM / FLASHING
- 09 77 50.01 SANITARY WALL SURFACING
- 09 90 00.02 PAINT-2 (TYPICAL INTERIOR WALLS)
- 09 90 00.03 PAINT-3 (RESTROOM / STORAGE WALLS)
- 09 90 00.06 PAINT-6 (WOOD BASE)
- 10 21 10.01 TOILET PARTITION
- 10 21 10.01 URINAL PARTITION
- 10 28 00.01 MIRROR - SEE ELEVATIONS FOR SIZE
- 10 28 00.02 GRAB BAR - SEE ELEVATIONS FOR SIZE
- 10 28 00.03 NAPKIN DISPOSAL - AT WOMEN 101 ONLY (O.F.C.I.)
- 10 28 00.04 TOILET PAPER HOLDER TYPE-1 (O.F.C.I.)
- 10 28 00.09 BABY CHANGING STATION
- 23 00 00.04 RECESSED HEATER - SEE MECHANICAL
- 26 00 00.02 POWER OUTLET - SEE ELECTRICAL



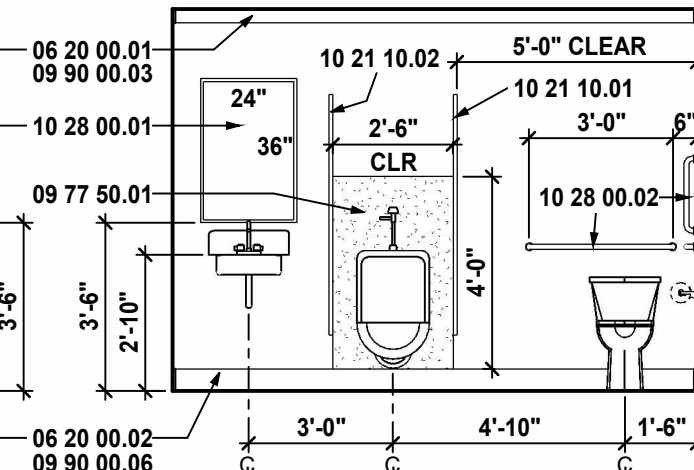
**ELEVATION A**  
1/4" = 1'-0"



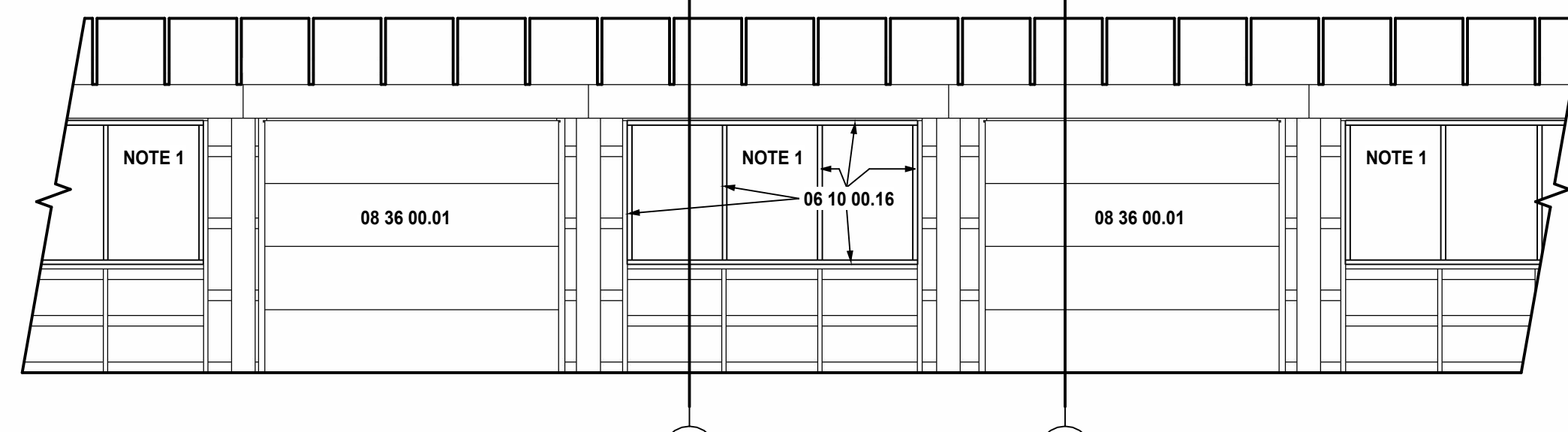
**ELEVATION B**  
1/4" = 1'-0"



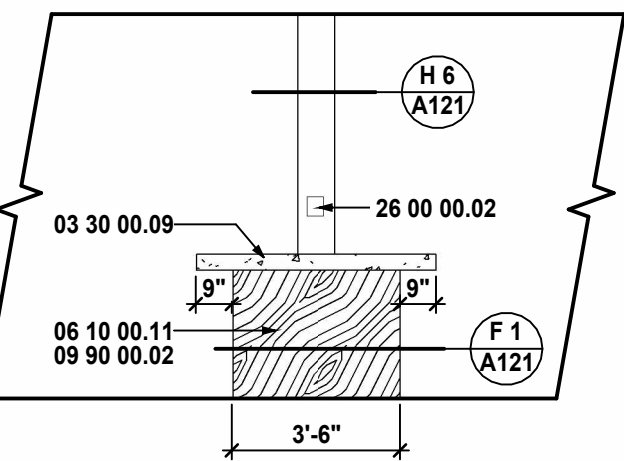
**ELEVATION C**  
1/4" = 1'-0"



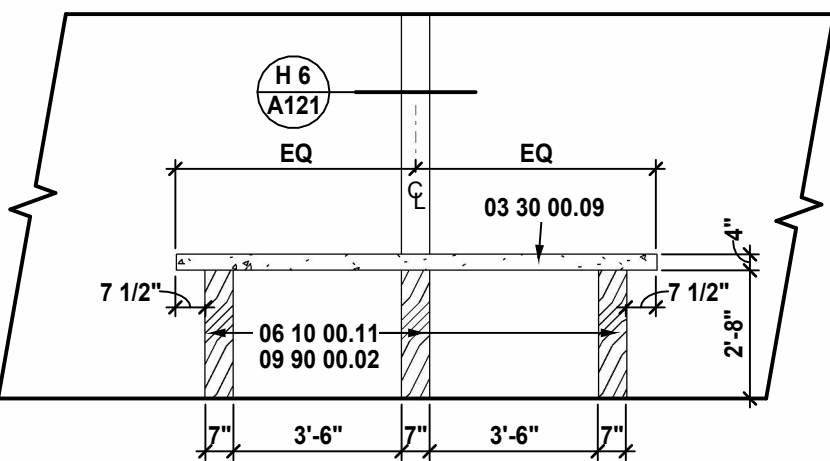
**ELEVATION D**  
1/4" = 1'-0"



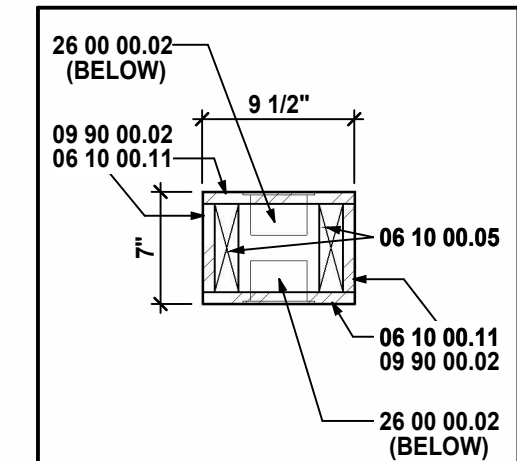
**ELEVATION G - TYPICAL**  
1/4" = 1'-0"



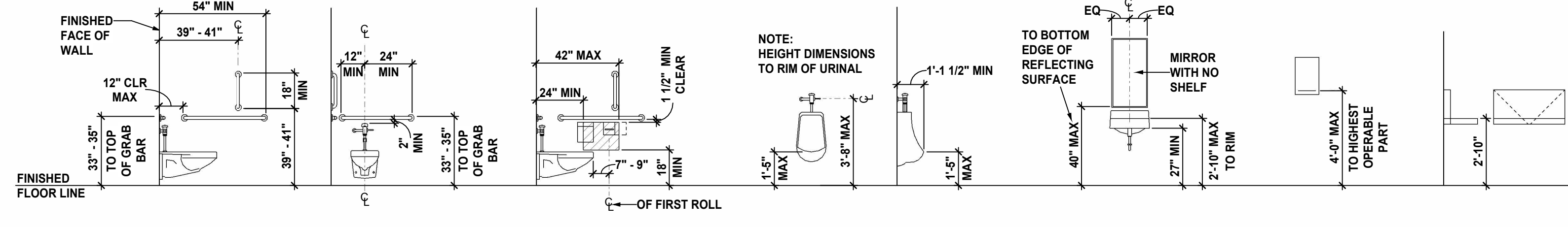
**ELEVATION E**  
1/4" = 1'-0"



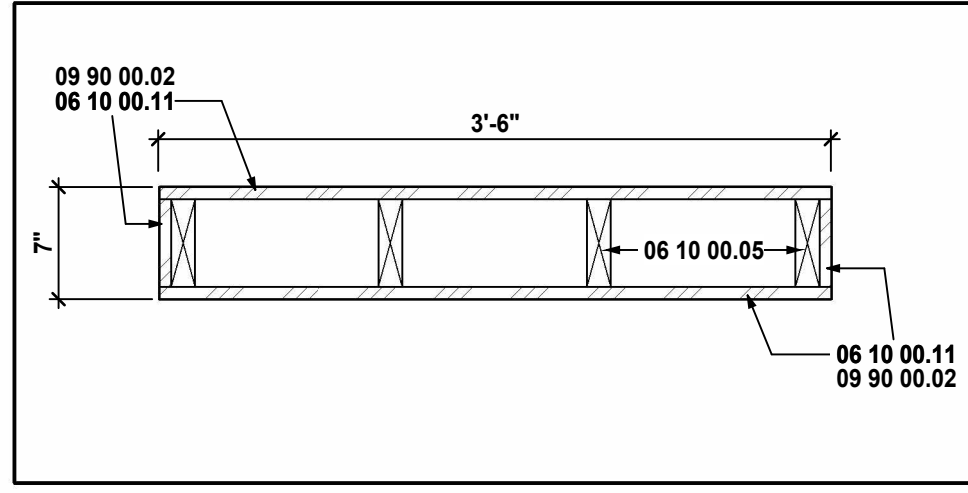
**ELEVATION F**  
1/4" = 1'-0"



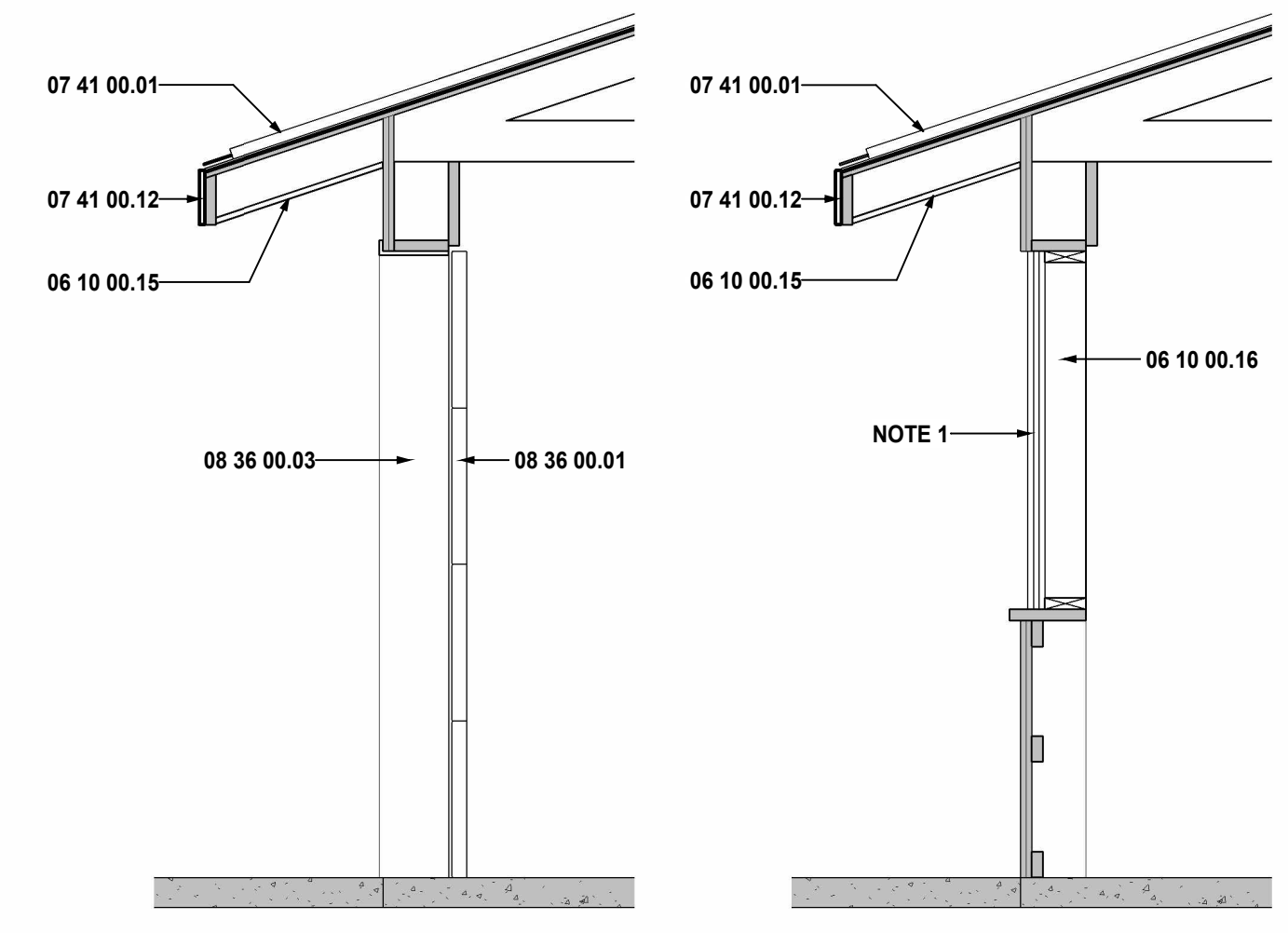
**COLUMN DETAIL**  
1" = 1'-0"



**TYPICAL MOUNTING HEIGHTS**  
1/4" = 1'-0"

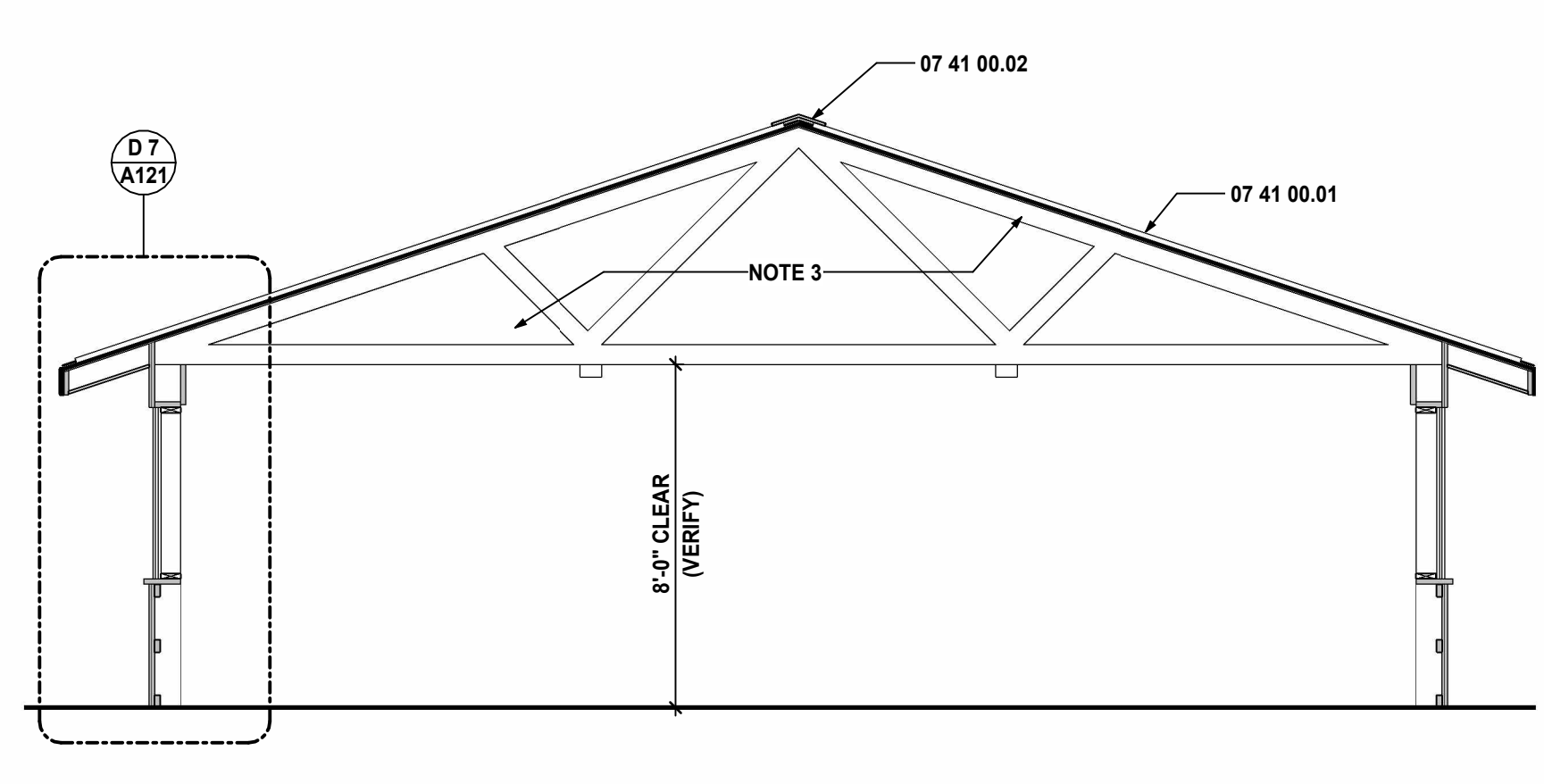


**ISLAND SUPPORT DETAIL**  
1" = 1'-0"

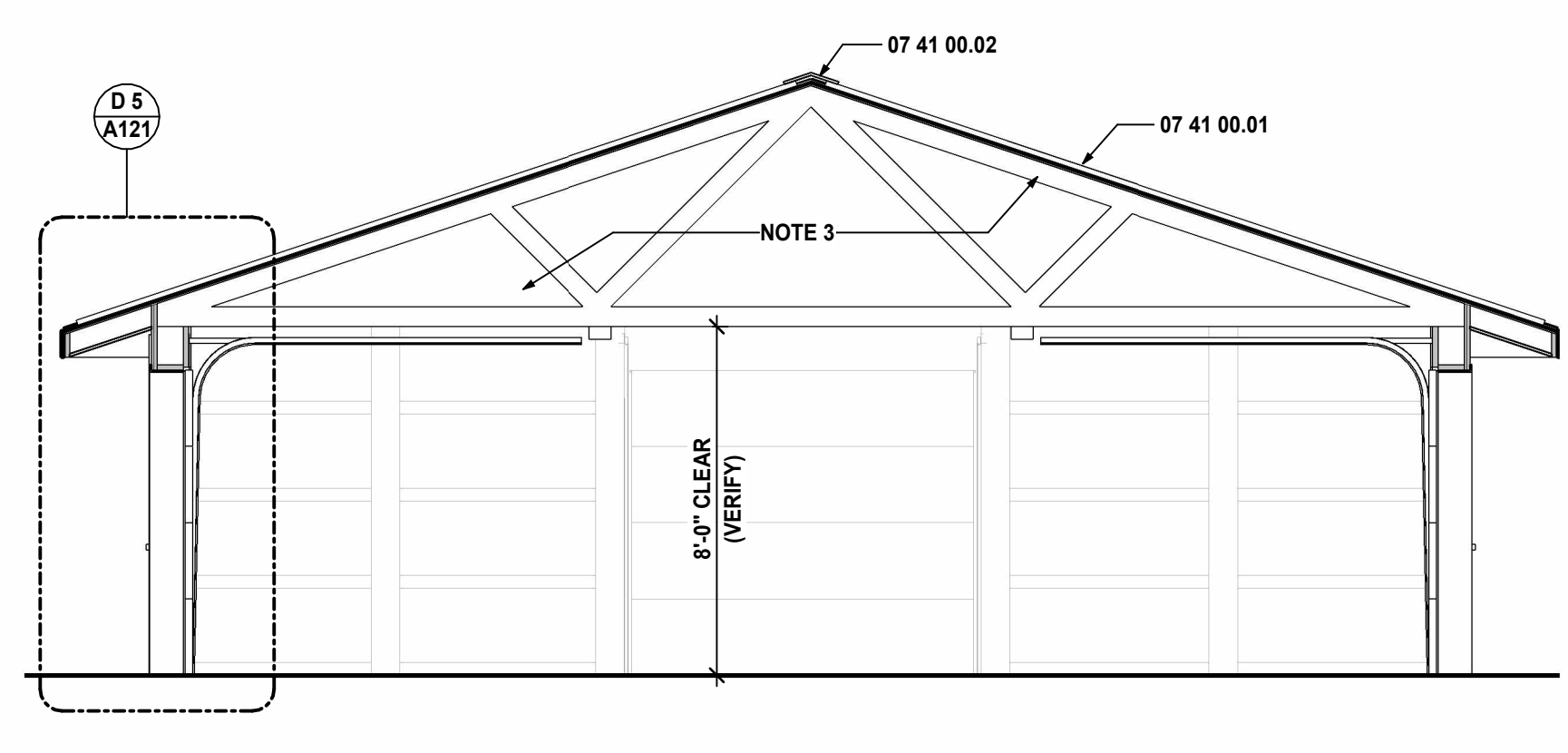


**WALL SECTION**  
1/2" = 1'-0"

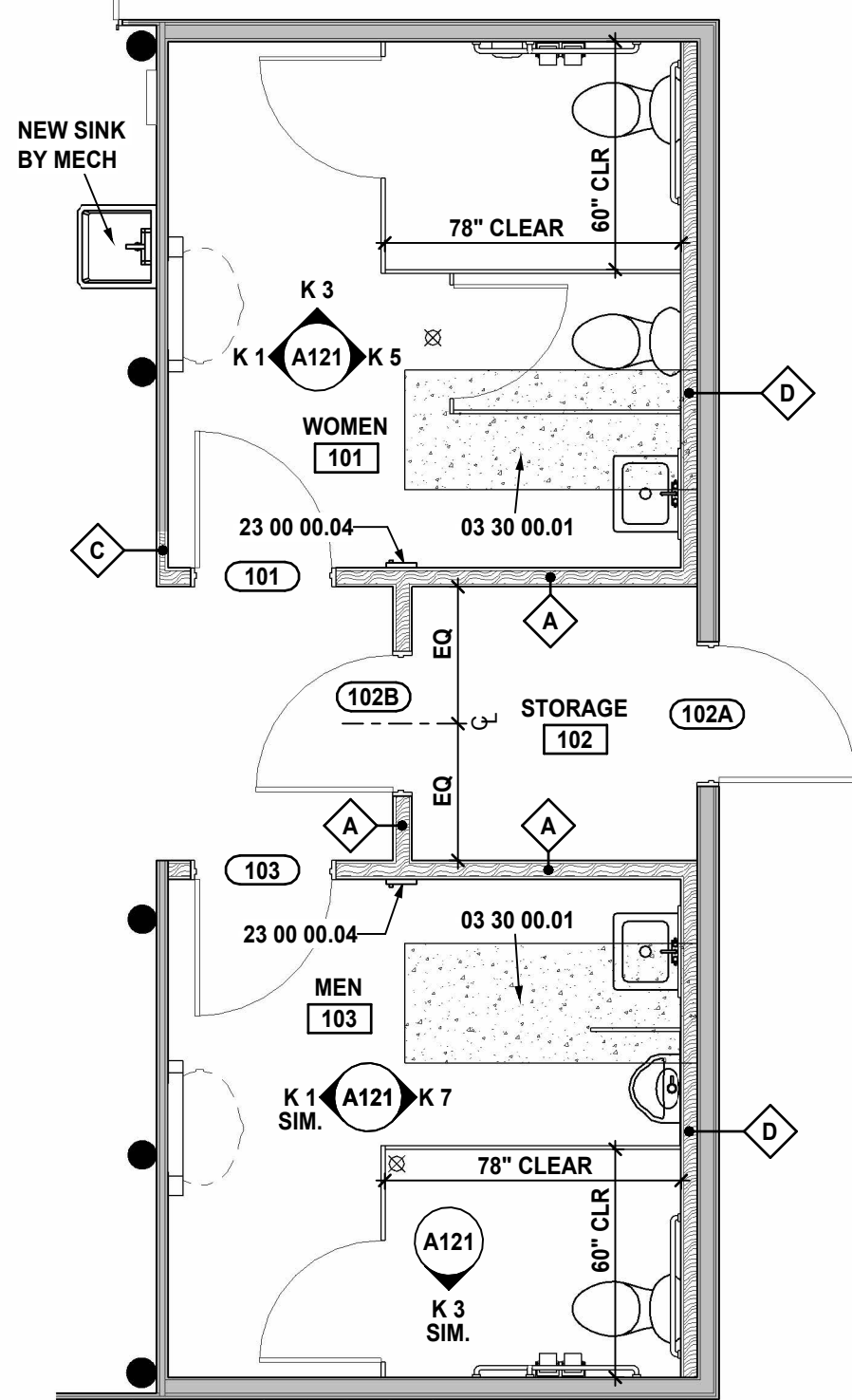
**WALL SECTION**  
1/2" = 1'-0"



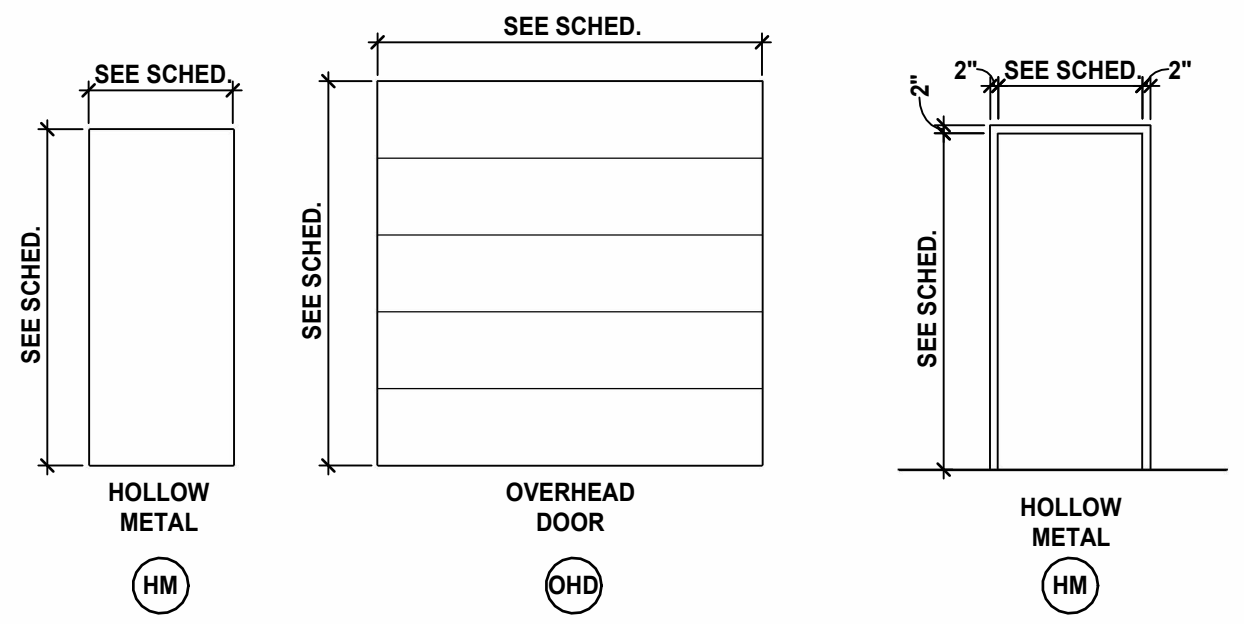
**BUILDING SECTION A**  
1/4" = 1'-0"



**BUILDING SECTION B**  
1/4" = 1'-0"



**ENLARGED RESTROOM PLAN**  
1/4" = 1'-0"



**DOOR ELEVATIONS**  
1/4" = 1'-0"

**FRAME TYPES**  
1/4" = 1'-0"

**WALL SECTION**  
1/2" = 1'-0"

**WALL SECTION**  
1/2" = 1'-0"

**BUILDING SECTION A**  
1/4" = 1'-0"

**BUILDING SECTION B**  
1/4" = 1'-0"

**GENERAL NOTES**

1. SECURE EXISTING WOOD PANEL IN CLOSED POSITION - PROVIDE STUD FRAMING AS NEEDED ON INTERIOR SIDE.
2. PROVIDE DOOR STOPS ON ALL TOILET PARTITION DOORS.
3. ROOF TRUSSES AND ROOF SHEATHING ABOVE TO REMAIN UNFINISHED. DO NOT PAINT ABOVE BOTTOM CHORD OF ROOF TRUSS.

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.

Dated: FEBRUARY 2023 Regt. No. 1423

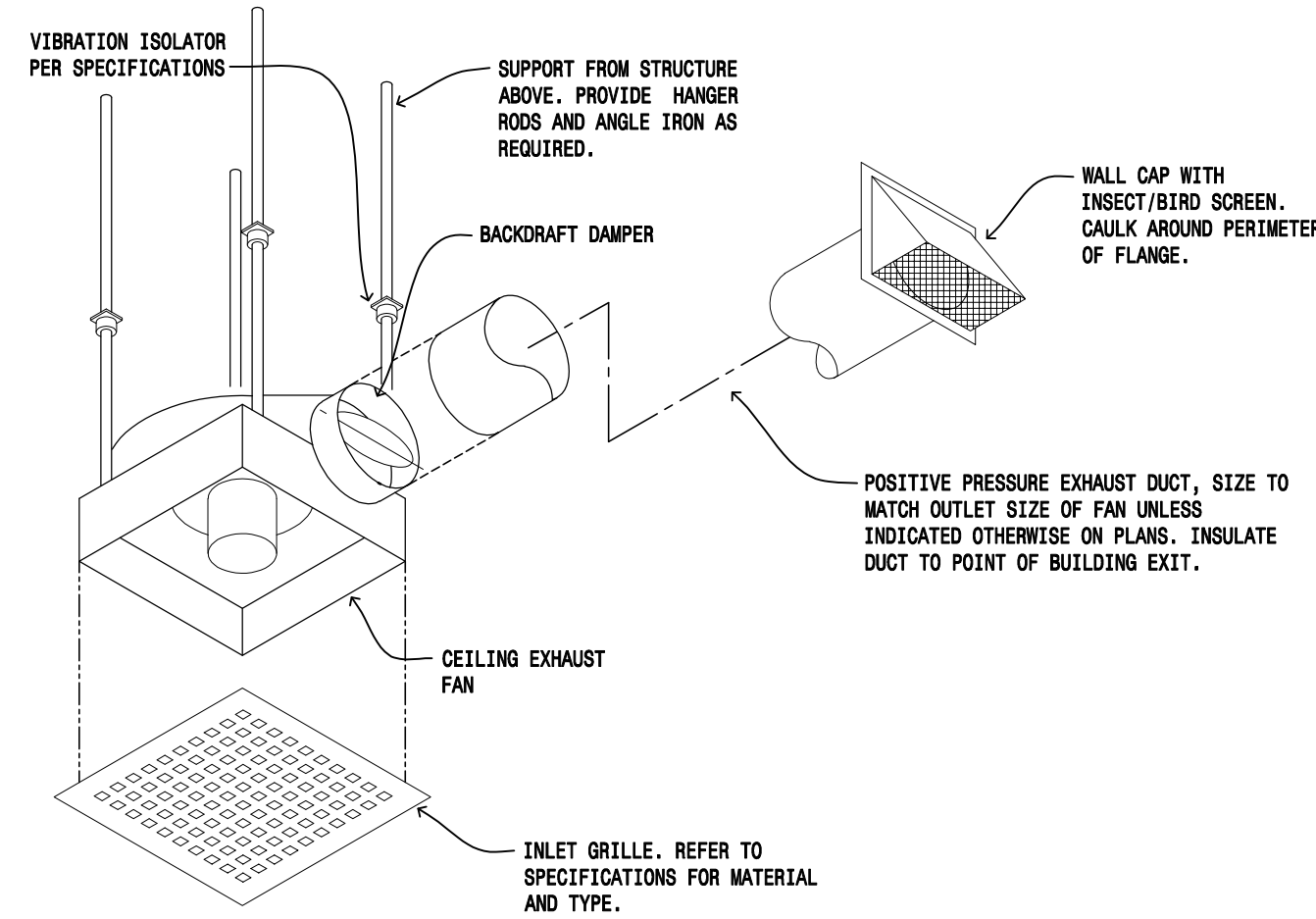
Signed: *[Signature]*



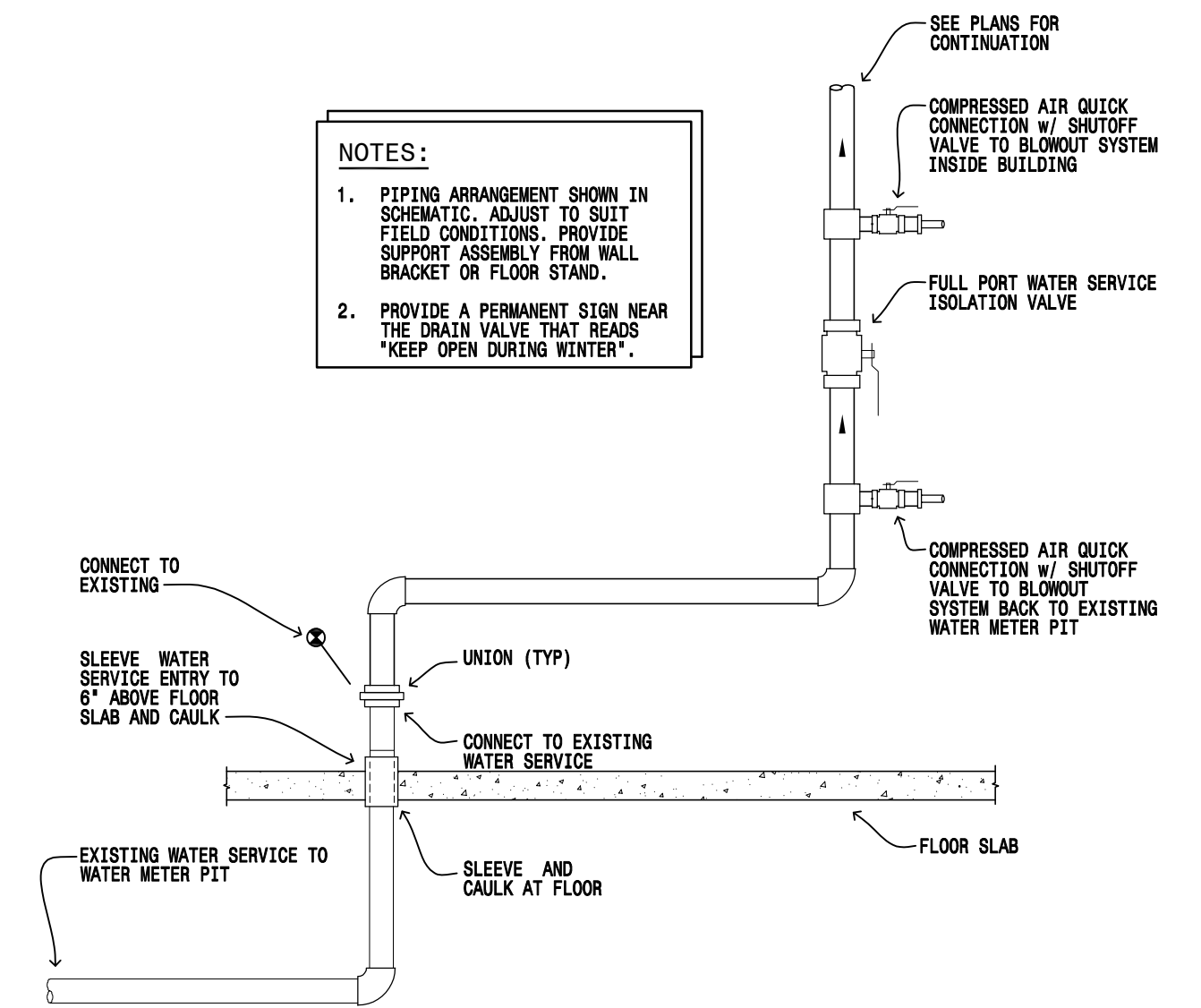
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PROJECT NUMBER: 202101-4

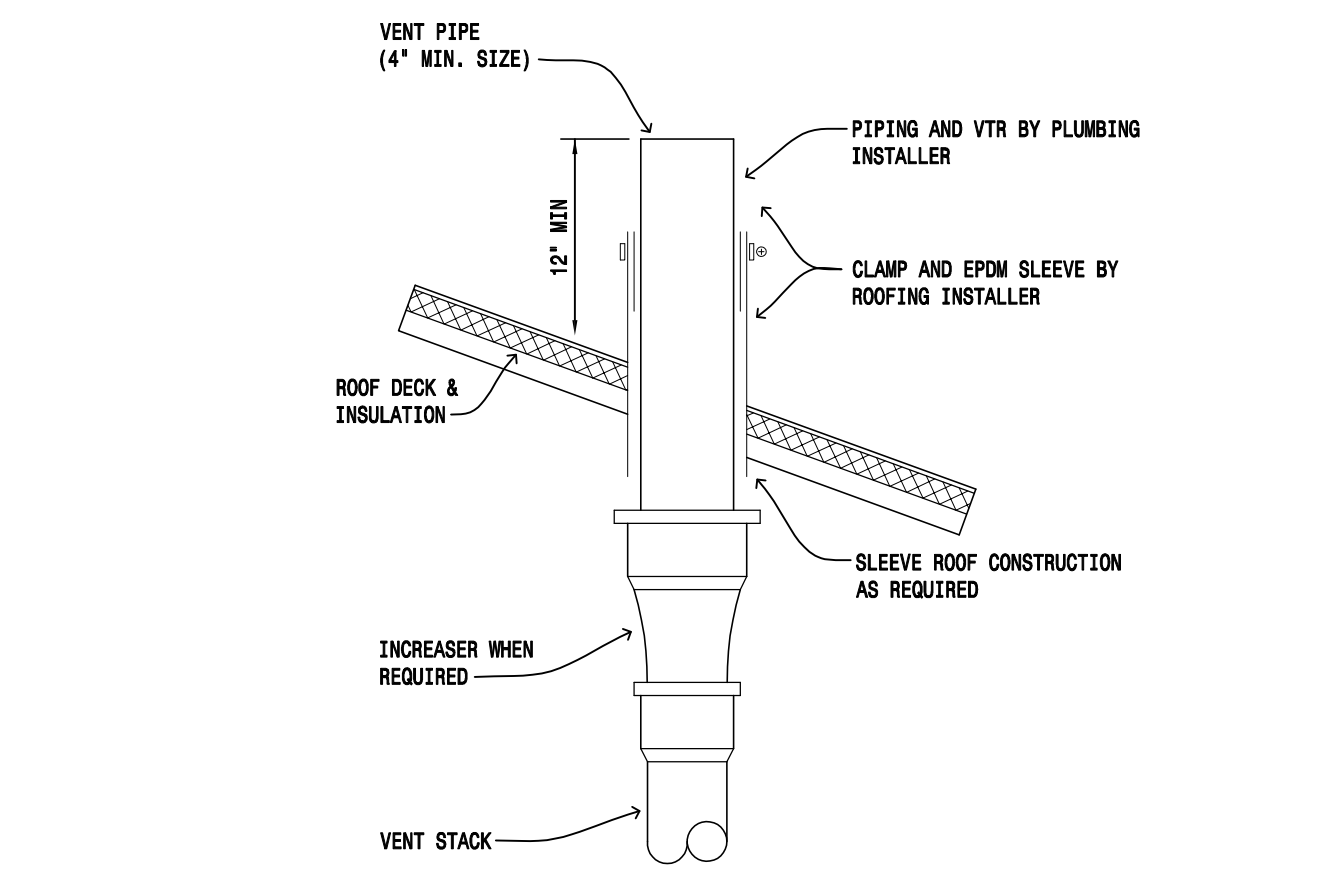
**ELEVATIONS AND DETAILS**



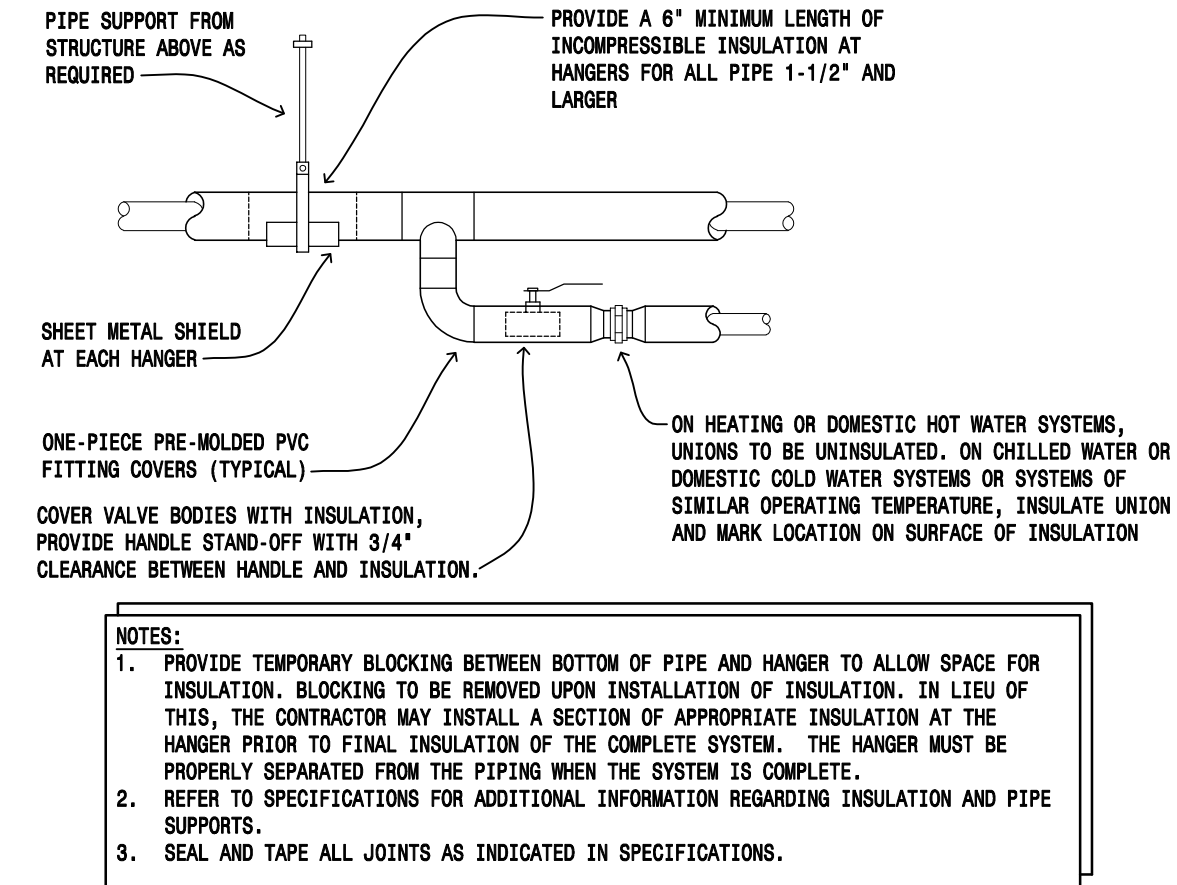
6 CEILING EXHAUST FAN DETAIL  
SCALE: NOT - TO - SCALE



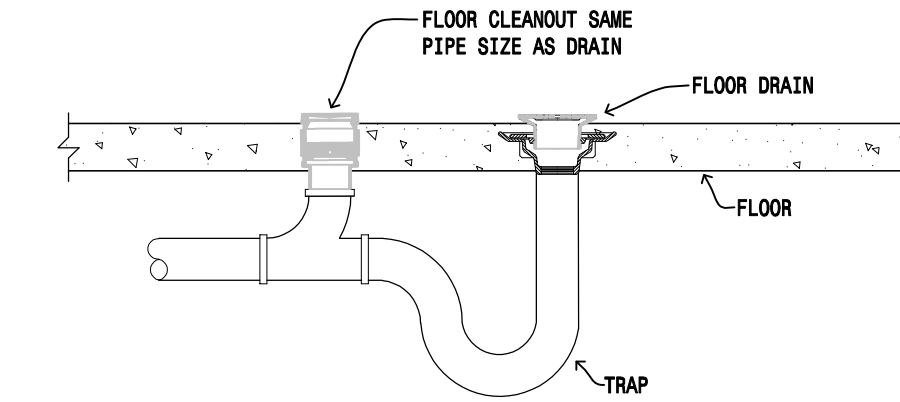
5 WATER SERVICE DETAIL  
SCALE: NOT - TO - SCALE



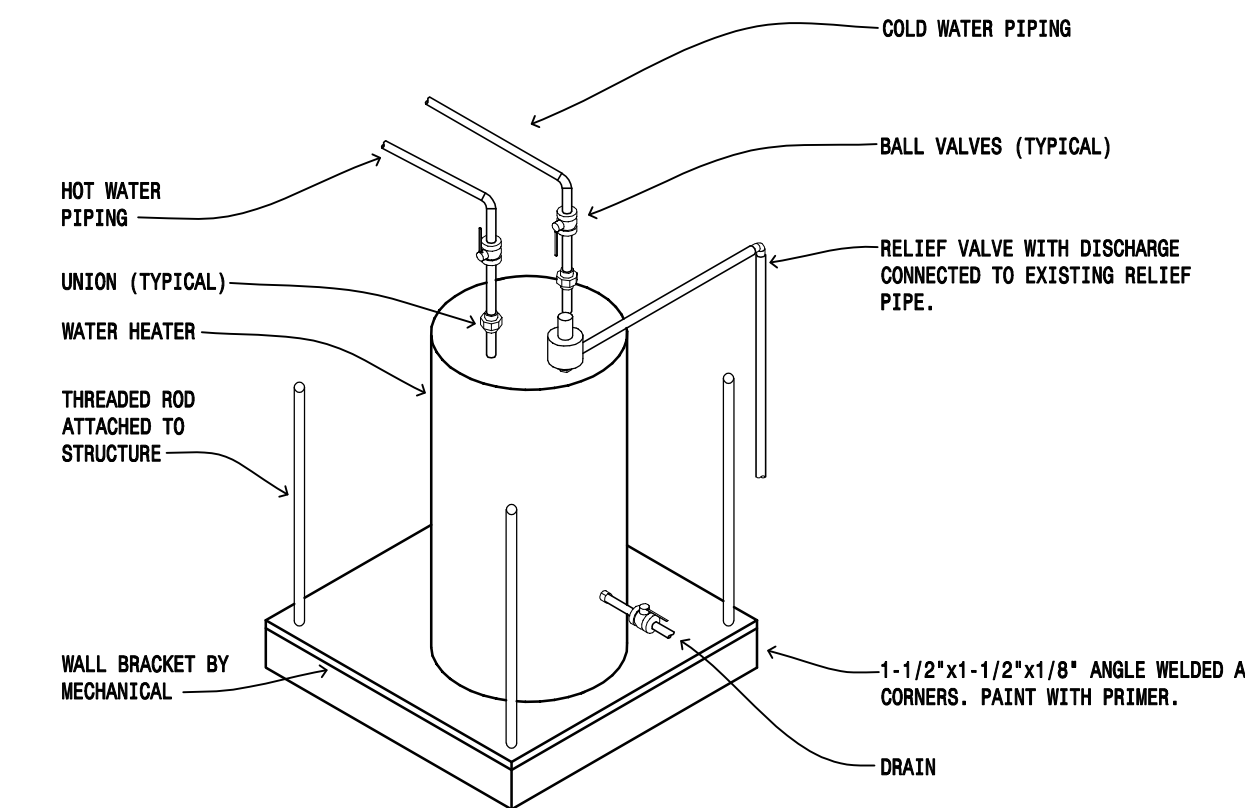
4 PLUMBING VENT DETAIL  
SCALE: NOT - TO - SCALE



3 PIPING INSULATION DETAIL  
SCALE: NOT - TO - SCALE



2 FLOOR DRAIN DETAIL  
SCALE: NOT - TO - SCALE



1 WATER HEATER PIPING DETAIL  
SCALE: NOT - TO - SCALE

**DESIGN INTENT NOTES:**

- THIS BUILDING'S MECHANICAL SYSTEM IS DESIGNED FOR MILD CLIMATE, NOT FOR FREEZING AMBIENT TEMPERATURES. THE BUILDING OPERATOR MUST WINTERIZE THE BUILDING IN THE FALL OF EACH YEAR.
- TURN OFF THE BREAKER FOR THE WATER HEATER. WHEN THE WATER HAS COOLED, DRAIN THE STORAGE TANK AND PIPING. LEAVE VALVES OPEN THROUGH WINTER.
- TURN OFF WATER AT THE CURB STOP. OPEN THE DRAIN VALVE NEXT TO THE WATER METER LABELED "KEEP OPEN DURING WINTER". DRAIN THE PIPING INSIDE THE BUILDING LEAVING ALL VALVES EXCEPT THE CURB STOP OPEN. REMOVE SUPPLIES AT FIXTURES. REMOVE FLUSH VALVES AT WATER CLOSETS AND URINALS. USE COMPRESSED AIR TO BLOW-OUT ALL PIPING.
- POUR ANTI-FREEZE THROUGH THE SPUD CONNECTION OF CHINA FIXTURES TO AVOID CRACKING CHINA WHEN WATER FREEZES IN FIXTURES.
- REMOVE TRAPS AT SINKS AND OTHER ACCESSIBLE TRAPS. POUR ANTI-FREEZE INTO TRAPS THAT ARE NOT REMOVABLE, SUCH AS FLOOR DRAINS.

PLUMBING & HVAC SYMBOLS & ABBREVIATIONS LEGEND							
HVAC ABBREVIATIONS		PLUMBING SYSTEMS		HVAC SYSTEMS		HVAC SYSTEMS	
AFF	ABOVE FINISHED FLOOR	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
CFM	CUBIC FEET PER MINUTE	---	CONDENSATE DRAIN	→	RETURN AIR OR EXHAUST AIR INLET	☒ UP ☒ DOWN	POSITIVE PRESSURE DUCT
DN	DOWN	---	DOMESTIC COLD WATER	→	SUPPLY AIR OUTLET	☒ UP ☒ DOWN	NEGATIVE PRESSURE DUCT
EA	EXHAUST AIR	---	DOMESTIC HOT WATER	⊕	THERMOSTAT	▨	RECTANGULAR DUCT, ACOUSTICALLY LINED (INSIDE DIMENSIONS INDICATED)
EGG	EGG CRATE GRILLE	---	DOMESTIC RECIRCULATING HOT WATER	⊕	AIR INLET/OUTLET REFERENCE SYMBOL WITH TYPE AND AIRFLOW SHOWN (TYPE S-1, 150 GPM - REFER TO SCHEDULE 1 (E=EXHAUST, R=RETURN, S=SUPPLY, T=TRANSFER, EX=EXISTING))	18x10	RECTANGULAR DUCT
HW	HOT WATER	---	SANITARY WASTE	⊕	CONNECT NEW TO EXISTING	⊕	BACKDRAFT DAMPER
OA	OUTSIDE AIR	---	OIL/SAND WASTE	⊕	KEY NOTE	⊕	COMBINATION FIRE/SMOKE DAMPER
RA	RETURN AIR	---	VENT	⊕	DEMOLITION NOTE	⊕	FIRE DAMPER
TA	TRANSFER AIR	---	NATURAL GAS	⊕	REVISION NOTE	⊕	MOTOR OPERATED DAMPER
CB	COLD WATER	---	PROPANE	⊕	ROUND DUCT DOWN	⊕	MANUAL VOLUME DAMPER
RHW	RECIRCULATING HOT WATER	---	REFRIGERANT LIQUID	⊕	ROUND DUCT UP	⊕	ROUND NECK CEILING DIFFUSER w/ HIGH EFFICIENCY TAKE OFF AND FLEXIBLE DUCT FROM MAIN WITH SIZE INDICATED
VTR	VENT THROUGH ROOF	---	REFRIGERANT SUCTION	⊕	SIDEWALL AIR INLET OR OUTLET	⊕	RETURN AIR GRILLE w/ HIGH EFFICIENCY TAKE OFF AND FLEXIBLE DUCT FROM MAIN WITH SIZE INDICATED
XST	EXISTING	---					
HVAC EQUIPMENT TAGS				PLUMBING EQUIPMENT TAGS			
CC-1	COOLING COIL	---	FLOOR DRAIN	FD-1	FLOOR DRAIN	---	DOMESTIC TEMPERED WATER
CU-1	CONDENSING UNIT	---	LAVATORY	LB-1	LAVATORY	---	BALL VALVE
EF-1	EXHAUST FAN	---	MIXING VALVE	MV-1	MIXING VALVE	---	CAPPED PIPE
LVR-1	LOUVER	---	NOP BASIN	NB-1	NOP BASIN	---	GAS PRESSURE REGULATOR
MAU-1	MAKEUP AIR UNIT	---	SINK	S-1	SINK	---	HOSE BIBB OR WALL HYDRANT
UH-1	UNIT HEATER	---	SHOWER	SH-1	SHOWER	---	PIPE CONNECTION - BOTTOM
			URINAL	U-1	URINAL	---	PIPE DOWN
			WATER CLOSET	WC-1	WATER CLOSET	---	PIPE GUIDE
			WATER HEATER	WH-1	WATER HEATER	---	PIPE UP
						---	PUMP

WATER HEATER SCHEDULE							
WATER HEATER ID	FUEL SOURCE	HEATER SIZE (KW)	TANK CAPACITY (GAL)	90° F RECOVERY (GPH)	VOLTAGE/ PHASE	MANUFACTURER & MODEL	NOTES
WH-1	ELEC	2.5	28	11.4	240/1	AD SMITH ENL-30	1,2

1) DISCONNECT BY DIVISION 26.  
2) PROVIDE RELIEF VALVE ON THE WATER HEATER.

AIR INLET/OUTLET SCHEDULE								
AIR INLET/OUTLET ID	TYPE	NECK SIZE (INCH)	MODULE SIZE (INCH)	NC	MOUNTING	OSD	MANUFACTURER & MODEL	NOTES
T-1	GR	14"x10"	15-3/4"x11-3/4"	<20	SURFACE	N	PRICE 530	1

1) PROVIDE STANDARD WHITE FINISH.  
GR GRILLE  
OSD OPPOSED BLADE DAMPER

FAN SCHEDULE										
FAN ID	TYPE	CFM	ESP (INCH)	HP	VOLTAGE/ PHASE	DRIVE	SONES	VFD	MANUFACTURER & MODEL	NOTES
EF-1	CEF	275	0.5	62W	120/1	DIRECT	5.5	ECM	GREENHECK SP-A390-VG	1
EF-2	CEF	275	0.5	62W	120/1	DIRECT	5.5	ECM	GREENHECK SP-A390-VG	1

1) PLOG TYPE DISCONNECT, GRAVITY BACKDRAFT DAMPER, CUSTOM COLOR WALL CAP, & WHITE ALUMINUM GRILLE, ECM MOTOR AND SPEED DUAL. CEF-CEILING EXHAUST FAN

**MBN**  
ENGINEERING  
MECHANICAL \* ELECTRICAL \* CIVIL  
503 7TH ST. N, SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340

REGISTERED PROFESSIONAL ENGINEER  
RYAN BACHAND  
PC-8392  
DATE: 02/02/23  
NORTH DAKOTA

**YHR**  
PARTNERS  
ARCHITECTURE | PLANNING  
420 Main Avenue  
Moorhead, Minnesota 56540  
Telephone: (218)233-4422

PROJECT NUMBER:  
**MECHANICAL DETAILS, LEGEND SYMBOLS, AND SCHEDULES**  
**M001**  
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### ELMWOOD PARK NORTH SHELTER REMODEL

### WEST FARGO PARK DISTRICT

WEST FARGO, NORTH DAKOTA

PLUMBING ROUGH-IN CONNECTION SCHEDULE				
FIXTURE	WASTE	VENT	CW	HW
EWG	2"	1-1/2"	1/2"	-
FD	2"	1-1/2"	-	-
L	2"	1-1/2"	1/2"	1/2"
MB	3"	1-1/2"	1/2"	1/2"
SH	2"	1-1/2"	1/2"	1/2"
S	2"	1-1/2"	1/2"	1/2"
U	2"	1-1/2"	3/4"	-
WC	4"	2"	1"	-
WF	3"	1-1/2"	3/4"	3/4"
WMT	2"	1-1/2"	1/2"	1/2"

#### GENERAL NOTES:

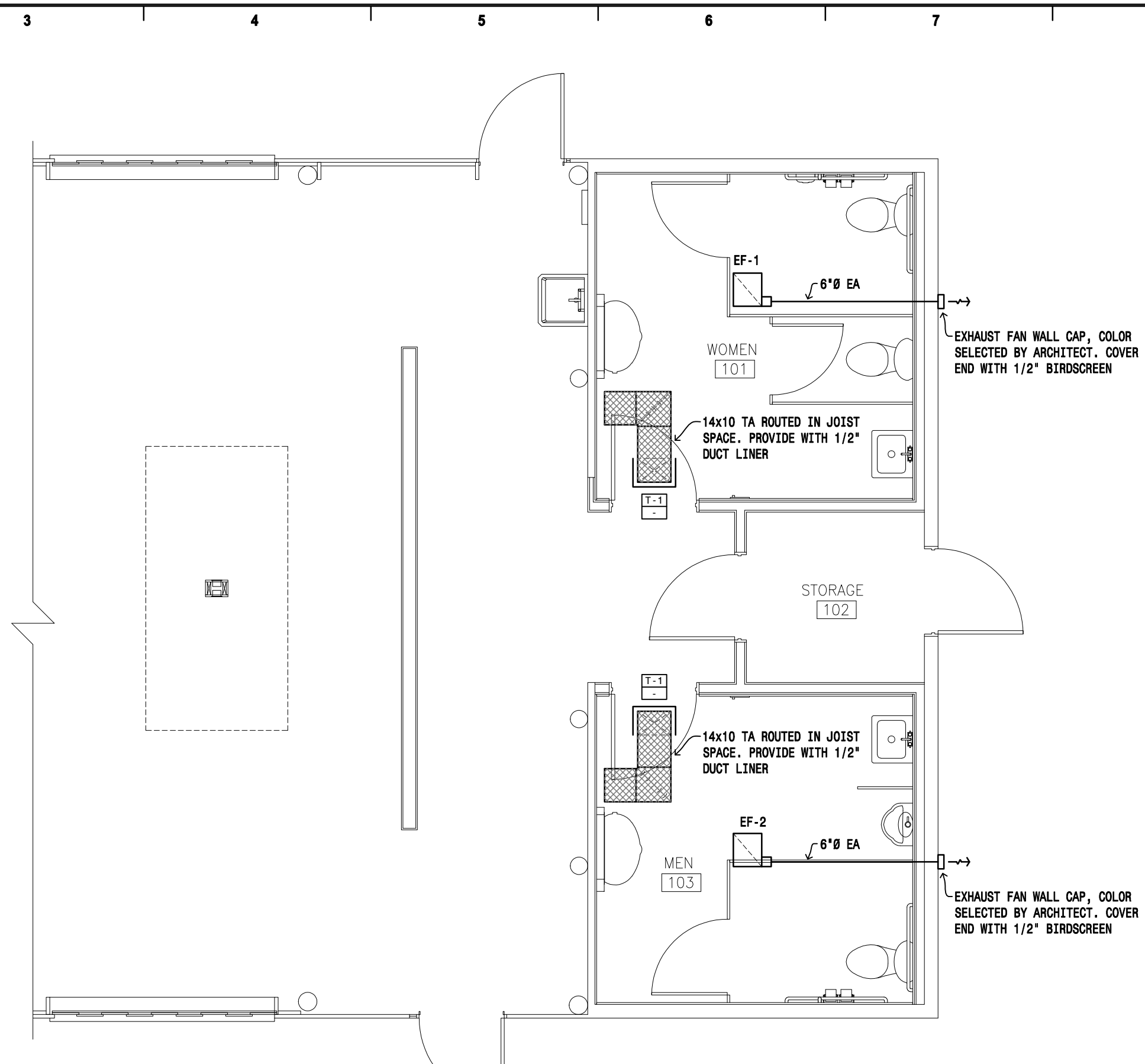
- MECHANICAL CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL MECHANICAL EQUIPMENT WITH ALL OTHER TRADES. CONTRACTOR TO VERIFY AND MAINTAIN ALL EQUIPMENT CLEARANCE AS REQUIRED BY CODE AND MANUFACTURERS RECOMMENDATIONS.
- ALL WATER SUPPLIES, STOPS, TRAPS, TAILPIECES, AND FINAL CONNECTIONS SHALL BE PROVIDED BY PLUMBING CONTRACTOR.
- PLUMBING CONTRACTOR TO SLEEVE PIPING WHERE REQUIRED. COORDINATE WITH GENERAL CONTRACTOR.
- CONTRACTOR TO CONFIRM AND COORDINATE MECHANICAL PENETRATIONS AT EXTERIOR WALLS AND ROOF WITH ARCHITECT AND MECHANICAL ENGINEER PRIOR TO INSTALL.
- EXHAUST PENETRATIONS THROUGH SIDEWALL SHALL LINE UP HORIZONTALLY AT SAME ELEVATION PER FLOOR. COORDINATE WITH ARCHITECT FOR ANY AREAS IN QUESTION IF CONFLICTING WITH EXTERIOR CLADDING LAYOUT.
- CONTRACTOR SHALL SCOPE AND FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING SANITARY PIPING PRIOR TO COMMENCING ANY NEW CONSTRUCTION. LOCATIONS SHOWN ON PLANS ARE APPROXIMATE LOCATIONS.
- SAW CUTTING AND PATCHING OF EXISTING FLOOR FOR DEMOLITION AND INSTALLATION OF PLUMBING FIXTURES AND PIPING SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR. COORDINATE WITH GENERAL CONTRACTOR FOR LOCATIONS OF SAW CUTTING.

#### PLAN NOTES:

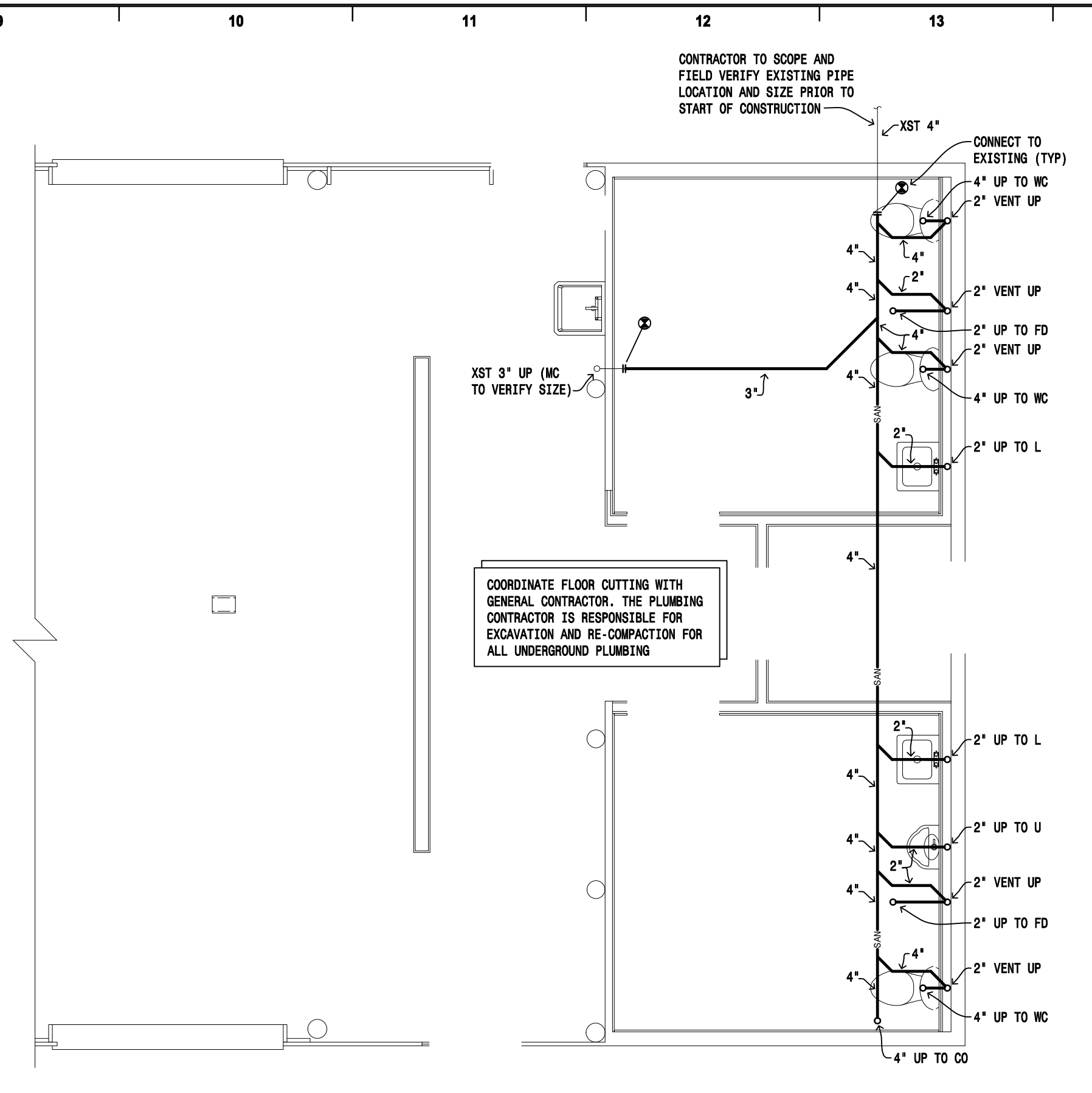
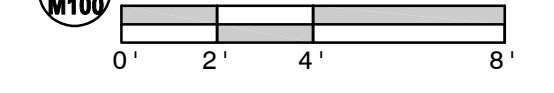
- 3" VENT UP; 4" VENT THROUGH ROOF. ROUTE THROUGH EXISTING ROOF PENETRATION. CONTRACTOR TO VERIFY EXACT LOCATION.
- 1" COLD WATER DOWN TO 18" ABOVE FINISHED FLOOR. PROVIDE BLOW-DOWN CONNECTIONS IN VERTICAL FOR WINTERIZING BUILDING. PROVIDE WITH SHUTOFF VALVES AND DRAIN TEE.

#### DEMOLITION NOTES:

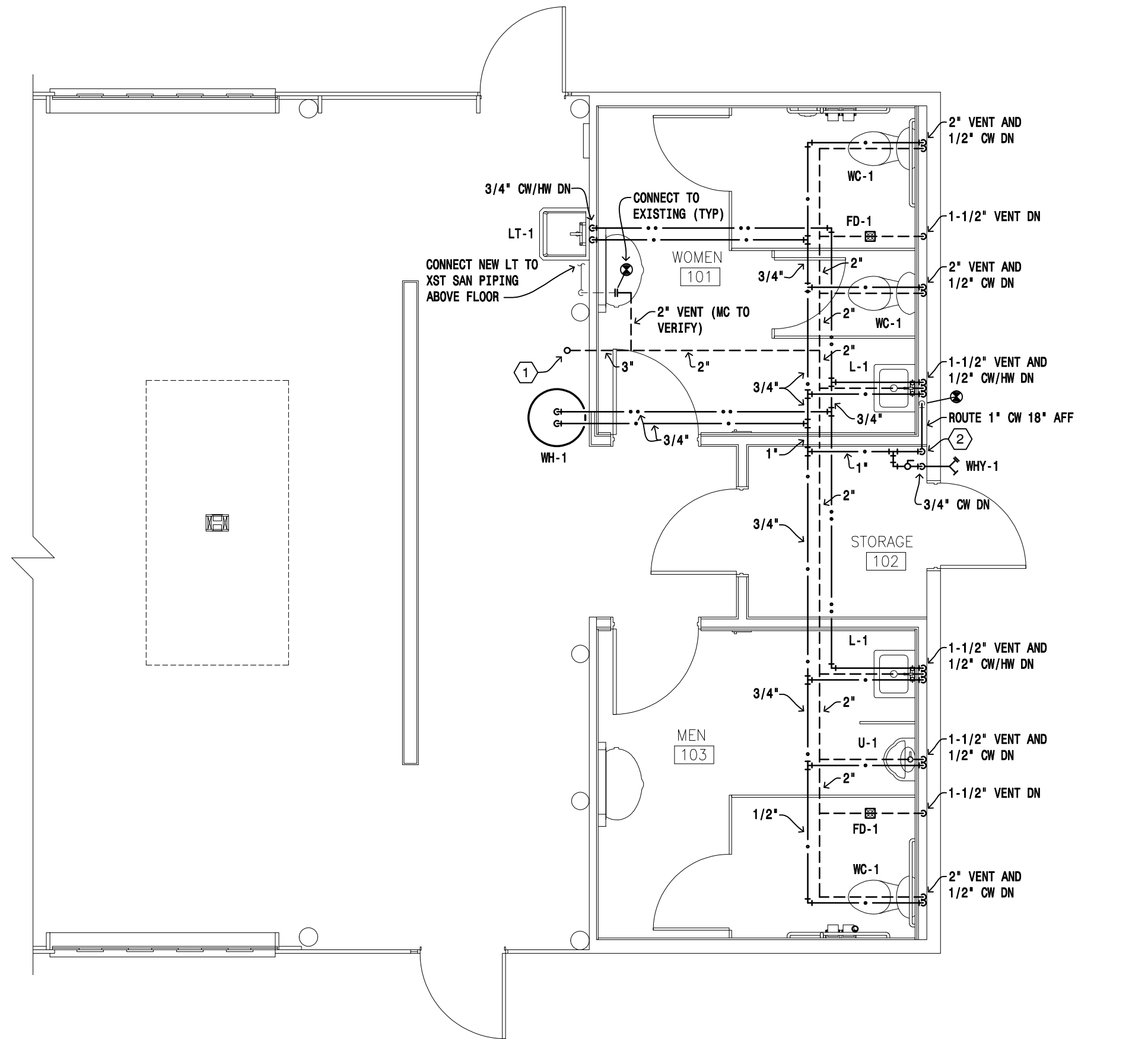
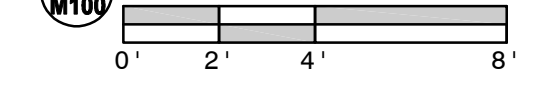
- REMOVE AND DISPOSE OF PLUMBING FIXTURE AND ALL ASSOCIATED PIPING, HANGERS, AND SUPPORTS.
- REMOVE AND DISPOSE OF WATER HEATER AND ALL ASSOCIATED PIPING, HANGERS, AND SUPPORTS. PREPARE RELIEF PIPE FOR FUTURE CONNECTION.
- REMOVE AND DISPOSE OF EXHAUST FAN AND ALL ASSOCIATED DUCTWORK, GRILLES, HANGERS, AND SUPPORTS.
- REMOVE AND DISPOSE OF ALL DOMESTIC WATER AND SANITARY VENT PIPING IN THIS AREA. CAP SANITARY PIPING IN FLOOR AND ABANDON.



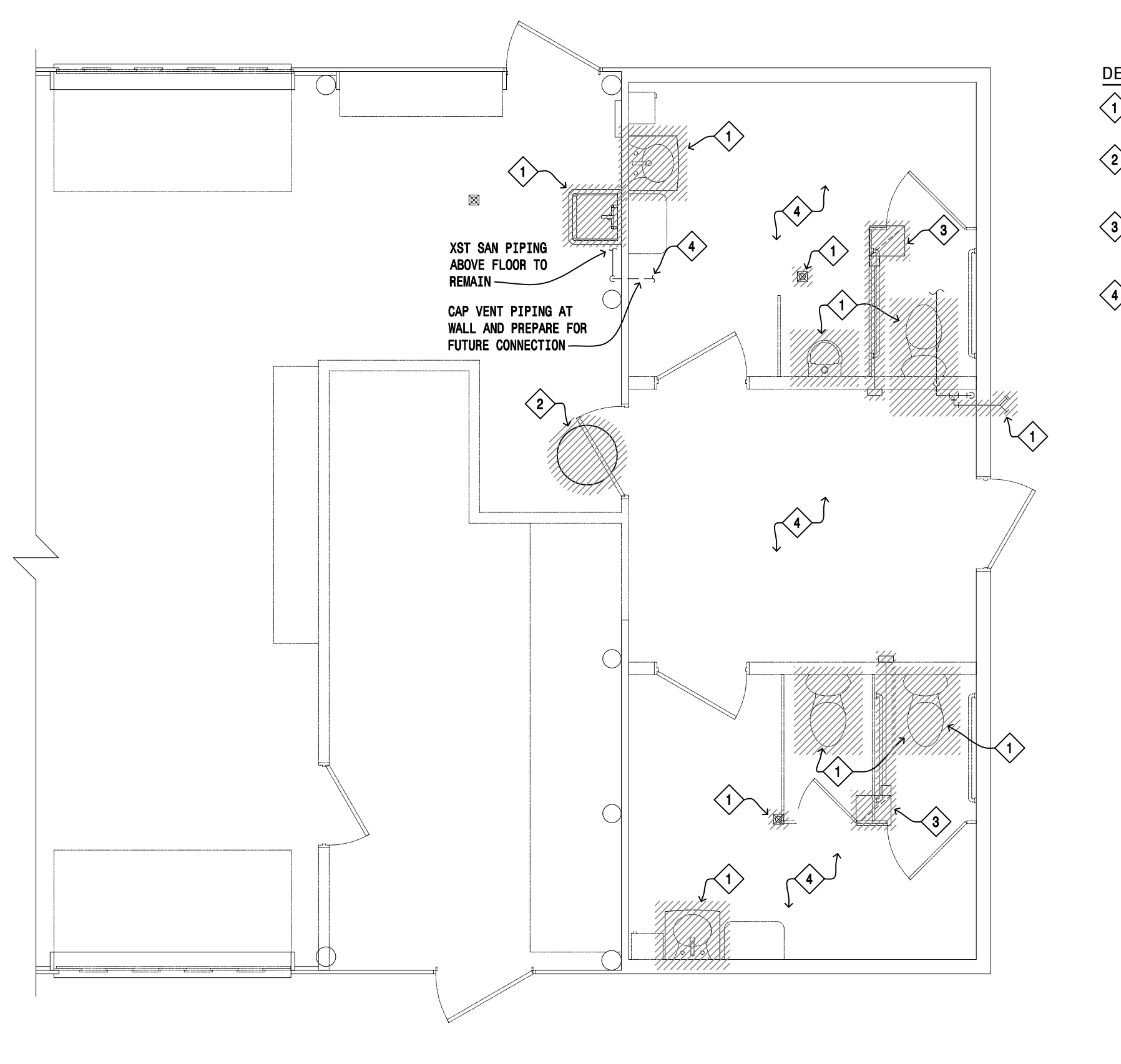
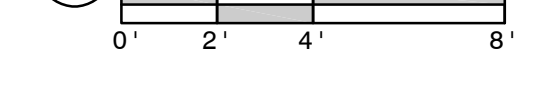
### 1 FLOOR PLAN - VENTILATION



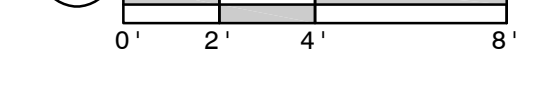
### 2 FOUNDATION PLAN - UNDERGROUND PLUMBING



### 3 FLOOR PLAN - PLUMBING



### 4 DEMOLITION PLAN - MECHANICAL DEMOLITION



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RYAN BACHAND  
PE-8392  
DATE: 02/02/23  
NORTH DAKOTA

**YHR**  
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ARCHITECTURE | PLANNING  
420 Main Avenue  
Moorhead, Minnesota 56560  
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PROJECT NUMBER:

### DEMOLITION AND NEW FLOOR PLANS - MECHANICAL

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# M100

ELECTRICAL SYMBOLS LEGEND

Table with columns for LIGHTING, POWER, SYSTEMS, FIRE ALARM, and MISCELLANEOUS/ABBREVIATIONS. Each column contains symbols and their corresponding descriptions and mounting heights.

NOTES: 1. THIS IS A COMPREHENSIVE SYMBOL SCHEDULE. NOT ALL SYMBOLS ARE APPLICABLE TO THESE DRAWINGS. 2. MOUNTING HEIGHT IS TO THE CENTER OF DEVICE UNLESS OTHERWISE INDICATED. 3. FOR DEVICES SHOWN AS 48 INCHES MOUNTING HEIGHT, WHEN INSTALLED IN MASONRY BLOCK WALLS, MOUNTING AT 48 INCHES TO THE TOP OF THE OUTLET BOX IS ACCEPTABLE.

LUMINAIRE SCHEDULE

Table with columns: TYPE, MANUFACTURERS, CATALOG INFORMATION, FIXTURE DESCRIPTION, DRIVER DATA, INPUT WATTS, VOLTAGE, MOUNTING, REMARKS. Lists luminaire specifications for A1, A2, and BB.

PANELBOARD LOAD SCHEDULE table with columns: PANEL, MAIN, ENCLASURE, LOCATION, RATING, and a detailed load schedule table with columns: CKT #, TRIP AMPS, POLE, LOAD IN VOLT-AMPERES, LOAD DESCRIPTION, PH, LOAD DESCRIPTION, LOAD IN VOLT-AMPERES, TRIP AMPS, POLE, CKT #.

Table with columns: MOTOR NO, DESCRIPTION OF MOTOR OR EQUIPMENT, LOCATION (ROOM NO), LOAD IN HORSEPOWER (HP) OR FULL LOAD AMPS (FLA), OR WATTS (W), VOLTAGE, PHASE, PANEL AND CIRCUIT NUMBER OR MC NUMBER, CONDUCTOR SIZE AND QUANTITY, GROUND CONDUCTOR SIZE, CONDUIT SIZE, CONTROLLER, DISCONNECT, CONTROL OR AUXILIARY DEVICE (SEE NOTES), INTERLOCK.

NOTES FOR AUXILIARY CONTROL DEVICE 1. ELECTRICAL CONTRACTOR TO FURNISH, SET, AND WIRE AUXILIARY CONTROL DEVICE 2. ELECTRICAL CONTRACTOR TO SET, AND WIRE AUXILIARY CONTROL DEVICE FURNISHED BY OTHERS 3. EXHAUST FANS CONTROLLED BY MC.

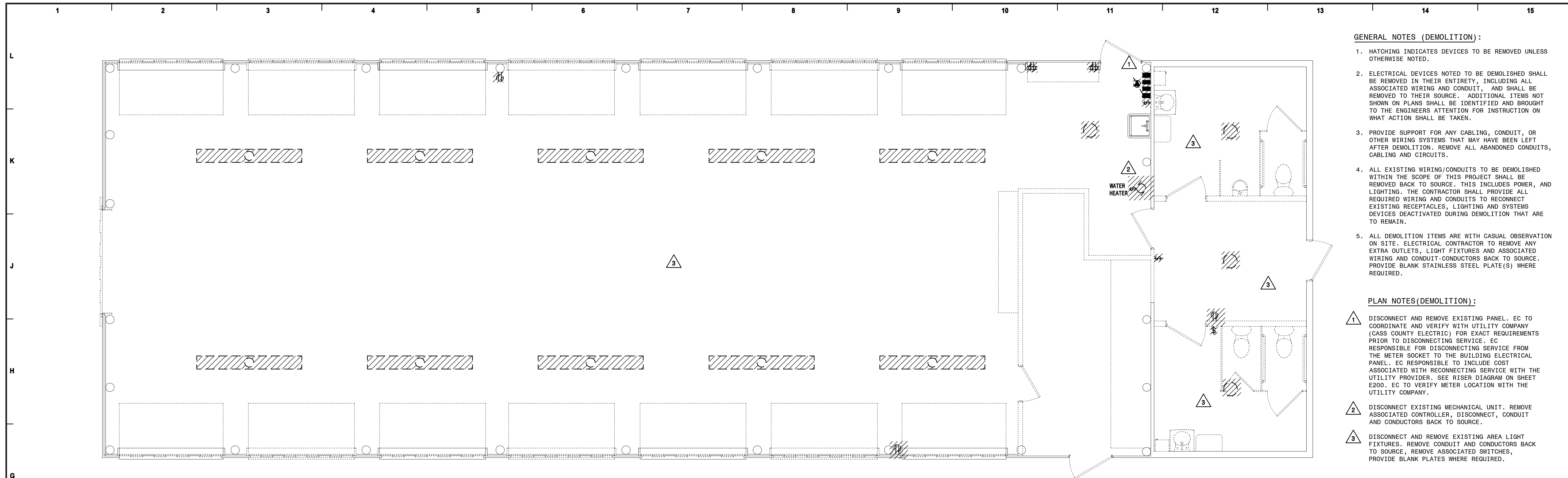
MBN ENGINEERING MECHANICAL \* ELECTRICAL \* CIVIL 503 7TH ST. N, SUITE 200 FARGO, ND 58102 PHONE: 701.478.6336 FAX: 701.478.6340



YHR PARTNERS ARCHITECTURE | PLANNING 420 Main Avenue Moorhead, Minnesota 56560 Telephone: (218)233-4422

PROJECT NUMBER: ELECTRICAL SYMBOL LEGEND & SCHEDULES E001 © 2023 YHR PARTNERS, LTD.





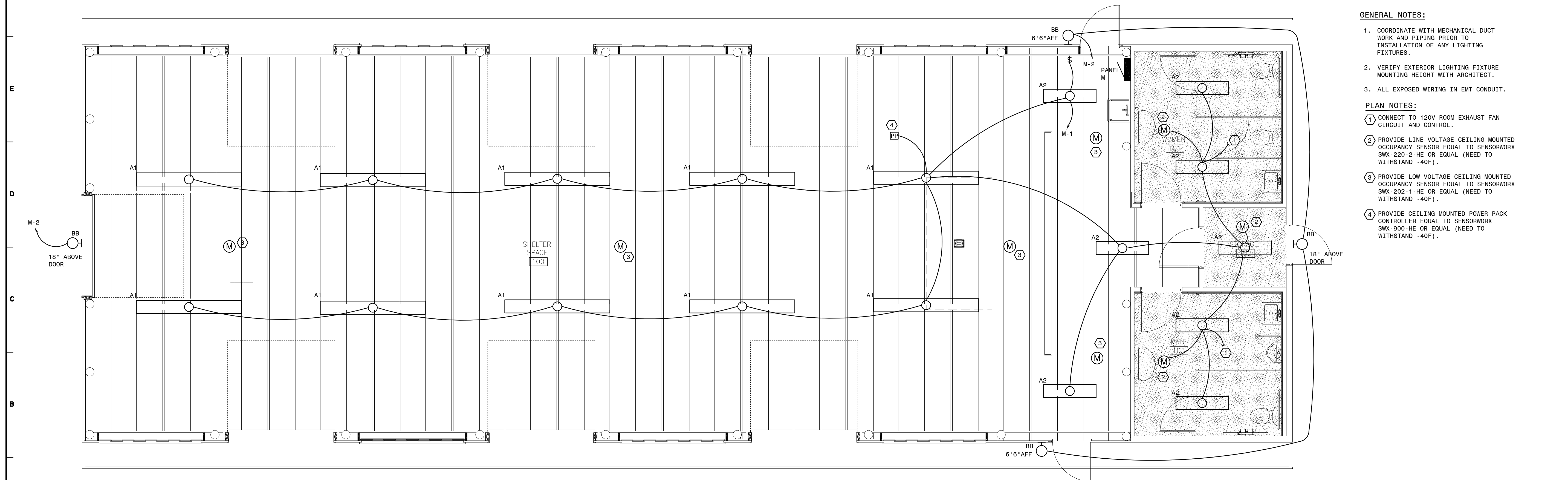
**E1**  
**FLOOR PLAN - DEMO ELECTRICAL**

**GENERAL NOTES (DEMOLITION):**

1. HATCHING INDICATES DEVICES TO BE REMOVED UNLESS OTHERWISE NOTED.
2. ELECTRICAL DEVICES NOTED TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL ASSOCIATED WIRING AND CONDUIT, AND SHALL BE REMOVED TO THEIR SOURCE. ADDITIONAL ITEMS NOT SHOWN ON PLANS SHALL BE IDENTIFIED AND BROUGHT TO THE ENGINEERS ATTENTION FOR INSTRUCTION ON WHAT ACTION SHALL BE TAKEN.
3. PROVIDE SUPPORT FOR ANY CABLING, CONDUIT, OR OTHER WIRING SYSTEMS THAT MAY HAVE BEEN LEFT AFTER DEMOLITION. REMOVE ALL ABANDONED CONDUITS, CABLING AND CIRCUITS.
4. ALL EXISTING WIRING/CONDUITS TO BE DEMOLISHED WITHIN THE SCOPE OF THIS PROJECT SHALL BE REMOVED BACK TO SOURCE. THIS INCLUDES POWER, AND LIGHTING. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED WIRING AND CONDUITS TO RECONNECT EXISTING RECEPTACLES, LIGHTING AND SYSTEMS DEVICES DEACTIVATED DURING DEMOLITION THAT ARE TO REMAIN.
5. ALL DEMOLITION ITEMS ARE WITH CASUAL OBSERVATION ON SITE. ELECTRICAL CONTRACTOR TO REMOVE ANY EXTRA OUTLETS, LIGHT FIXTURES AND ASSOCIATED WIRING AND CONDUIT-CONDUCTORS BACK TO SOURCE. PROVIDE BLANK STAINLESS STEEL PLATE(S) WHERE REQUIRED.

**PLAN NOTES (DEMOLITION):**

- ① DISCONNECT AND REMOVE EXISTING PANEL. EC TO COORDINATE AND VERIFY WITH UTILITY COMPANY (CASS COUNTY ELECTRIC) FOR EXACT REQUIREMENTS PRIOR TO DISCONNECTING SERVICE. EC RESPONSIBLE FOR DISCONNECTING SERVICE FROM THE METER SOCKET TO THE BUILDING ELECTRICAL PANEL. EC RESPONSIBLE TO INCLUDE COST ASSOCIATED WITH RECONNECTING SERVICE WITH THE UTILITY PROVIDER. SEE RISER DIAGRAM ON SHEET E200. EC TO VERIFY METER LOCATION WITH THE UTILITY COMPANY.
- ② DISCONNECT EXISTING MECHANICAL UNIT. REMOVE ASSOCIATED CONTROLLER, DISCONNECT, CONDUIT AND CONDUCTORS BACK TO SOURCE.
- ③ DISCONNECT AND REMOVE EXISTING AREA LIGHT FIXTURES. REMOVE CONDUIT AND CONDUCTORS BACK TO SOURCE, REMOVE ASSOCIATED SWITCHES, PROVIDE BLANK PLATES WHERE REQUIRED.



**E2**  
**FLOOR PLAN - LIGHTING**

**GENERAL NOTES:**

1. COORDINATE WITH MECHANICAL DUCT WORK AND PIPING PRIOR TO INSTALLATION OF ANY LIGHTING FIXTURES.
2. VERIFY EXTERIOR LIGHTING FIXTURE MOUNTING HEIGHT WITH ARCHITECT.
3. ALL EXPOSED WIRING IN EMT CONDUIT.

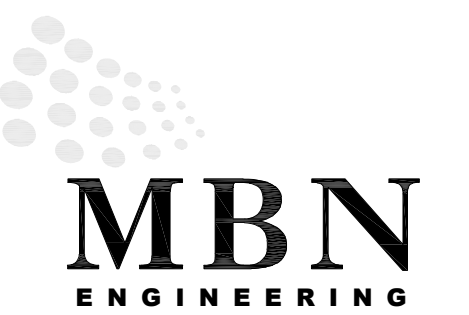
**PLAN NOTES:**

- ① CONNECT TO 120V ROOM EXHAUST FAN CIRCUIT AND CONTROL.
- ② PROVIDE LINE VOLTAGE CEILING MOUNTED OCCUPANCY SENSOR EQUAL TO SENSORWORX SWX-220-2-HE OR EQUAL (NEED TO WITHSTAND -40F).
- ③ PROVIDE LOW VOLTAGE CEILING MOUNTED OCCUPANCY SENSOR EQUAL TO SENSORWORX SWX-202-1-HE OR EQUAL (NEED TO WITHSTAND -40F).
- ④ PROVIDE CEILING MOUNTED POWER PACK CONTROLLER EQUAL TO SENSORWORX SWX-900-HE OR EQUAL (NEED TO WITHSTAND -40F).

**ELMWOOD PARK NORTH SHELTER REMODEL**

**WEST FARGO PARK DISTRICT**

WEST FARGO, NORTH DAKOTA



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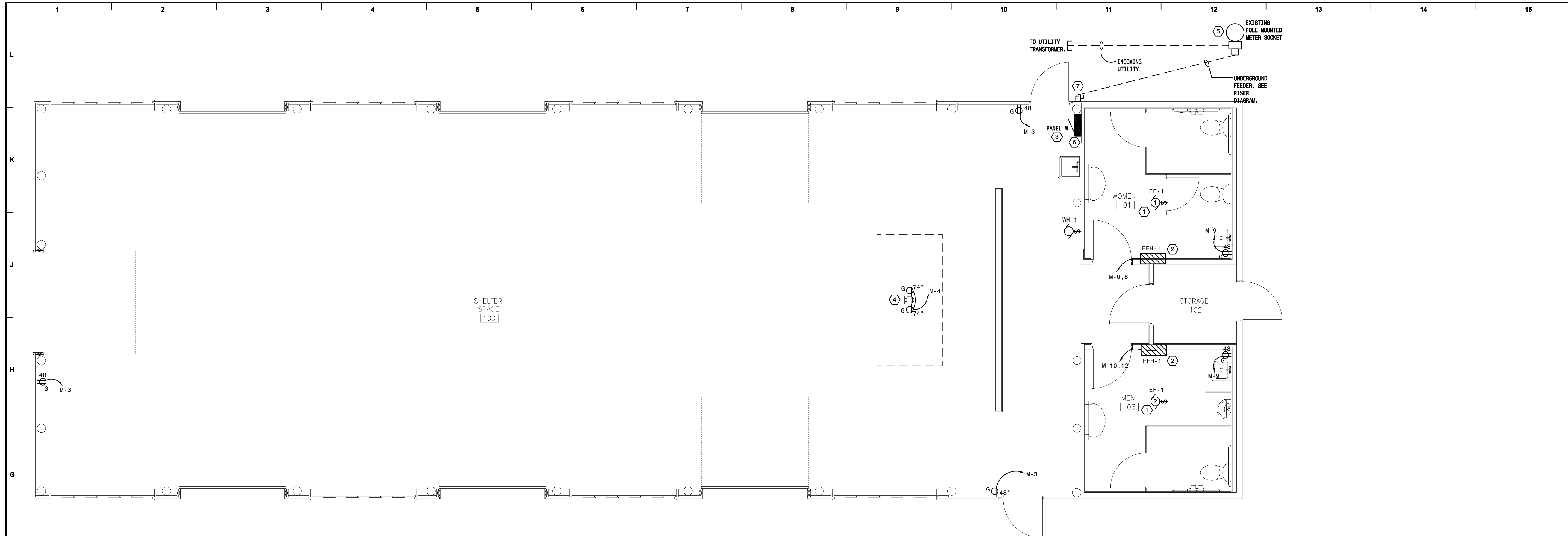
ARCHITECTURE | PLANNING  
420 Main Avenue  
Moorhead, Minnesota 56560  
Telephone: (218)233-4422

PROJECT NUMBER:

**DEMO PLAN - ELECTRICAL FLOOR PLAN - LIGHTING**

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**E100**

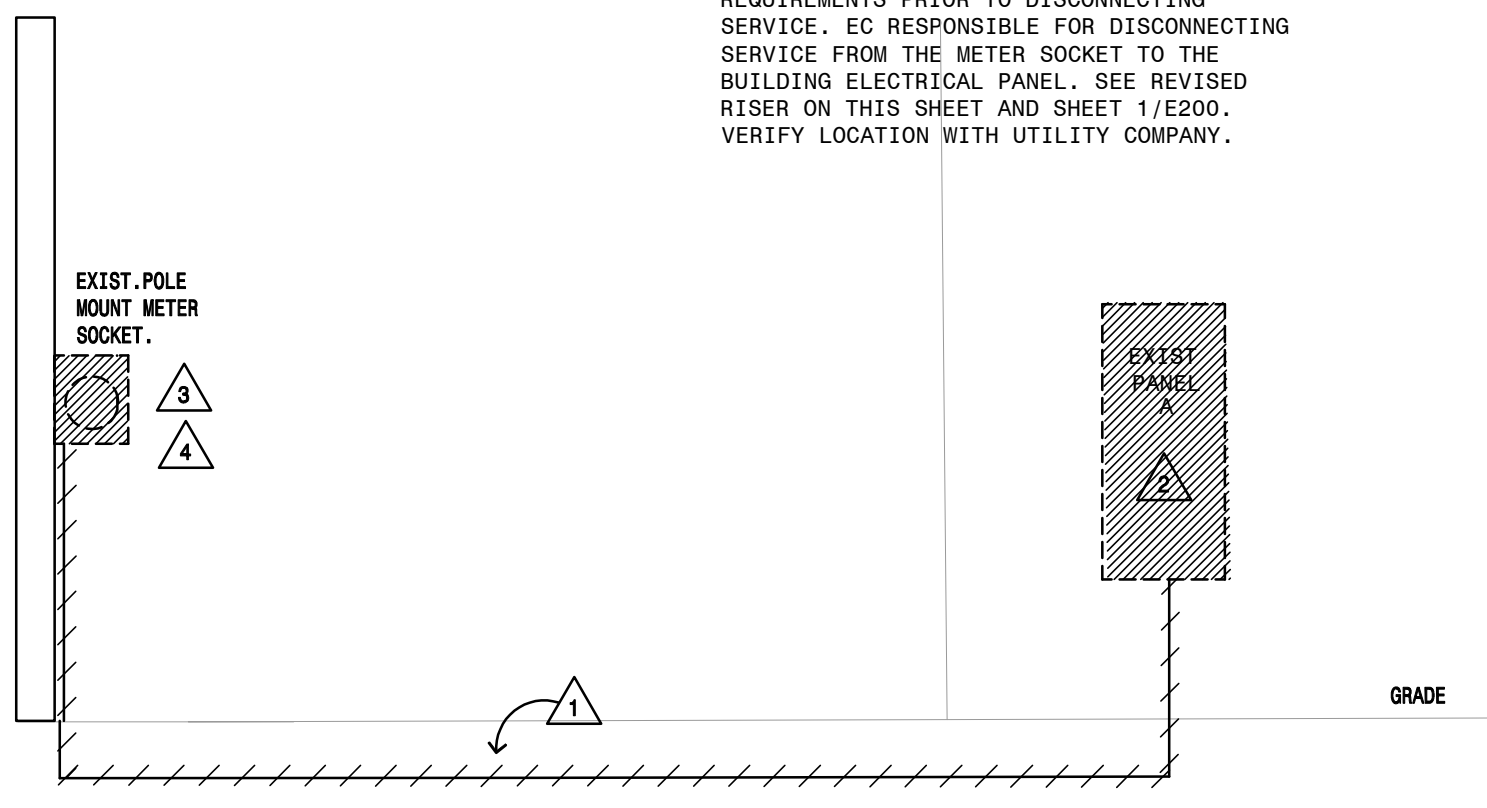


**E1  
E200** FLOOR PLAN - POWER/SYSTEMS

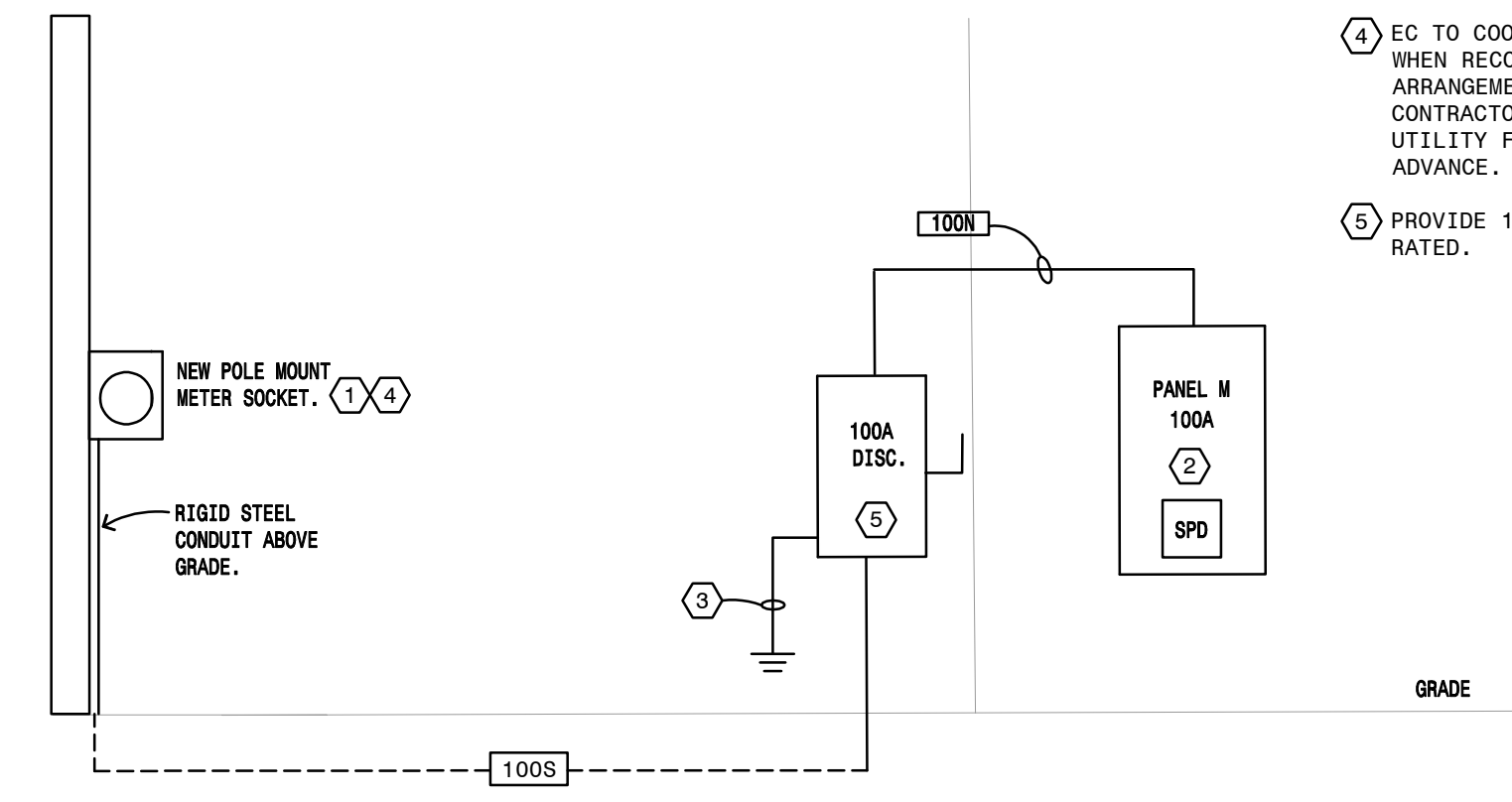
FEEDER NUMBER	AMPERE RATING	PHASE CONDUCTORS PER CONDUIT		NEUTRAL CONDUCTOR SIZE		GROUND CONDUCTOR SIZE	CONDUIT SIZE	NUMBER OF PARALLEL SETS	REMARKS
		QUANTITY	SIZE (CU)	QUANTITY	SIZE (CU)				
30N	30	2	10 AWG	1	10 AWG	10 AWG	3/4"	1	
100S	100	2	3 AWG	1	3 AWG	10 AWG	1-1/4"	1	
100N	100	2	3 AWG	1	3 AWG	8 AWG	1-1/4"	1	

- PLAN NOTES:**
- 1 DISCONNECT AND REMOVE EXISTING 60A FEEDER FEEDING EXISTING ELECTRICAL PANEL.
  - 2 DISCONNECT AND REMOVE EXISTING PANEL.
  - 3 METERSOCKET TO BE REPLACED WITH NEW 100A PER UTILITY PROVIDER REQUIREMENTS.
  - 4 EC TO COORDINATE AND VERIFY WITH UTILITY COMPANY (CASS COUNTY ELECTRIC) FOR EXACT REQUIREMENTS PRIOR TO DISCONNECTING SERVICE. EC RESPONSIBLE FOR DISCONNECTING SERVICE FROM THE METER SOCKET TO THE BUILDING ELECTRICAL PANEL. SEE REVISED RISER ON THIS SHEET AND SHEET 1/E200. VERIFY LOCATION WITH UTILITY COMPANY.

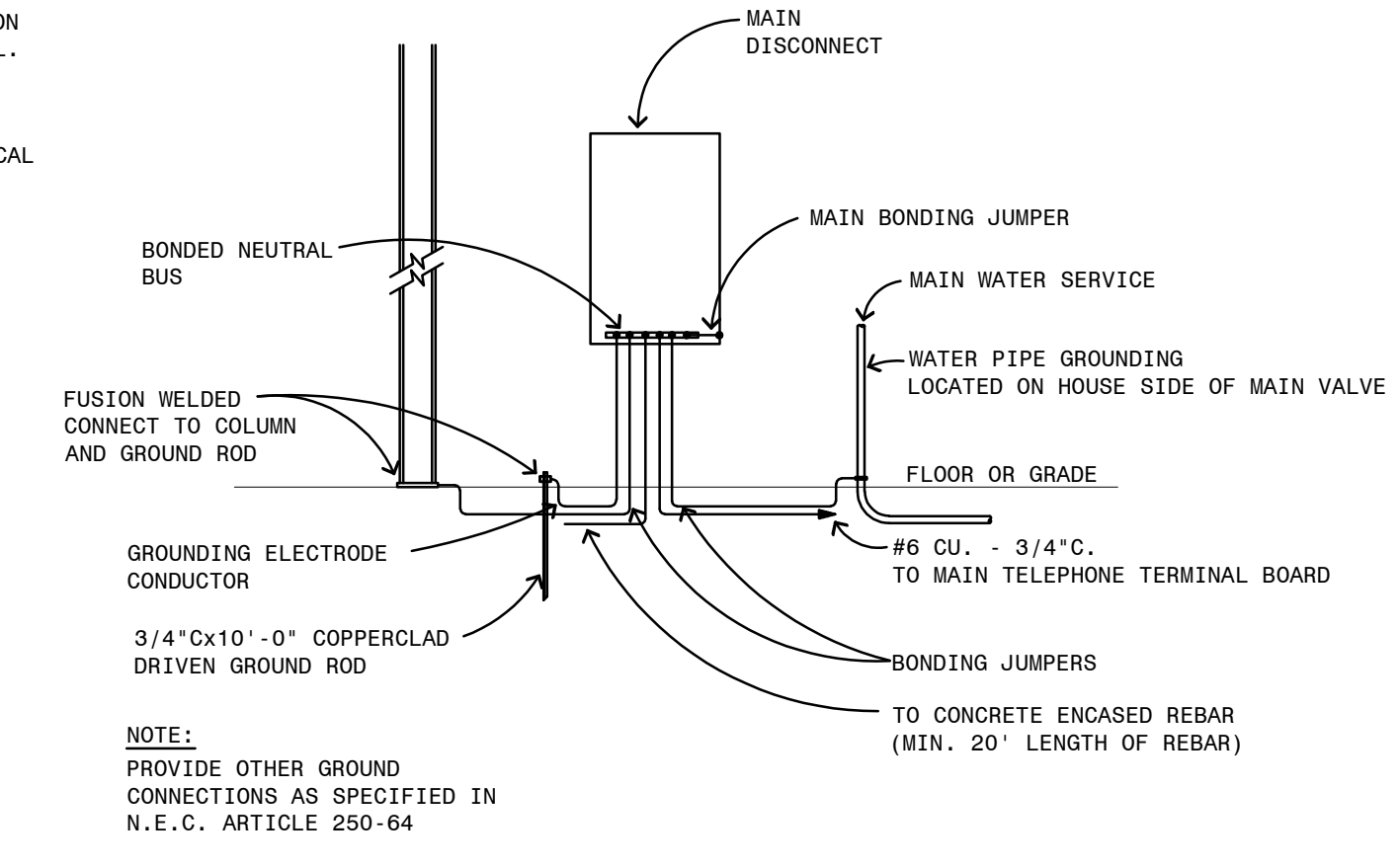
- PLAN NOTES:**
- 1 PROVIDE 100A METER SOCKET PER UTILITY COMPANY REQUIREMENTS.
  - 2 PROVIDE NEW ELECTRICAL PANEL 100A, 240V/1 PHASE WITH 18 CIRCUITS.
  - 3 PROVIDE GROUNDING PER NEC. SEE DETAIL ON THIS SHEET FOR SERVICE GROUNDING DETAIL.
  - 4 EC TO COORDINATE WITH UTILITY COMPANY WHEN RECONNECTING UTILITY SERVICE AND ARRANGEMENT FROM UTILITY SIDE. ELECTRICAL CONTRACTOR TO INTERCEPT AND EXTEND UTILITY FEEDER. INFORM OWNER WELL IN ADVANCE.
  - 5 PROVIDE 100A FUSED DISCONNECT NEMA 3R RATED.



**E2  
E200** ELECTRICAL RISER DIAGRAM - DEMOLITION  
NOT TO SCALE



**E3  
E200** ELECTRICAL RISER DIAGRAM - NEW  
NOT TO SCALE



NOTE:  
PROVIDE OTHER GROUND CONNECTIONS AS SPECIFIED IN N.E.C. ARTICLE 250-64

**E4  
E200** SYSTEM GROUNDING DETAIL  
NOT TO SCALE

**ELMWOOD PARK NORTH SHELTER REMODEL**  
**WEST FARGO PARK DISTRICT**  
WEST FARGO, NORTH DAKOTA

- GENERAL NOTES:**
1. VERIFY EXACT LOCATION AND REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH M.C. PROVIDE SUPPORT AND PROVISIONS AS NEEDED FOR ALL ELECTRICAL CONNECTIONS. SEE MECHANICAL SCHEDULE ON SHEET E001.
  2. PROVIDE TAMPERPROOF RECEPTACLE PER NEC ARTICLE 406.12.
  3. ALL EXPOSED WIRING IN EMT CONDUIT.
  4. EC RESPONSIBLE FOR ANY ADDITIONAL COST ASSOCIATED WITH UTILITY COMPANY FOR RECONNECTING SERVICE.

- PLAN NOTES:**
- 1 PROVIDE 120 VOLT CONNECTION TO EXHAUST FAN.
  - 2 PROVIDE FAN FORCED HEATER (FFH-1) EQUAL TO QMARK AWH SERIES 3KW, 240V, SINGLE PHASE WITH INTEGRAL THERMOSTAT.
  - 3 PROVIDE 100A, 240 VOLTS, SINGLE PHASE, 18 CIRCUITS PANEL. SEE RISER DIAGRAM ON THIS SHEET. PROVIDE FEEDER AND CONDUIT AND EXTEND AS NEEDED. COORDINATE UTILITY SERVICE OUTAGES WITH UTILITY COMPANY. COORDINATE EXACT LOCATION OF PANEL WITH ARCHITECT.
  - 4 VERIFY EXACT MOUNTING HEIGHT WITH ARCHITECT.
  - 5 APPROXIMATE LOCATION OF EXISTING METER SOCKET. EC TO REPLACE EXISTING METER SOCKET WITH NEW 100A METER SOCKET. VERIFY METER SOCKET REQUIREMENTS WITH UTILITY PROVIDER. EC TO INFORM UTILITY COMPANY TO PROVIDE 100A METER. EC RESPONSIBLE FOR COST ASSOCIATED WITH UTILITY REPLACING 100A METER. FIELD VERIFY METER LOCATION.
  - 6 PROVIDE GRAY PAINTED, FIRE RATED, 3/4 INCH PLYWOOD FROM 48 INCHES ABOVE GRADE TO CEILING FOR ELECTRICAL PANEL MOUNTING.
  - 7 PROVIDE 100A FUSED DISCONNECT NEMA 3R RATED. SEE RISER DIAGRAM ON THIS SHEET.

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Moorhead, Minnesota 56560  
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PROJECT NUMBER:

**FLOOR PLAN - POWER/SYSTEMS**

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**E200**

# APPLICATION

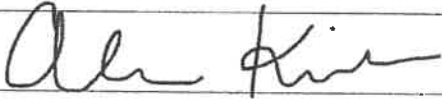
## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/13/2023	<b>Project Name</b> Tower City Park Board Pickle Ball and 4-square courts
<b>Sponsoring Agency Name</b> Tower City Park Board	
<b>Authorized Representative/Title</b> Alecia Killoran/Board Member	
<b>Sponsoring Agency Address</b> PO Box 14 Tower City, ND 58071	
<b>Phone</b> 701-793-2534	<b>Email</b> alecia.killoran@k12.nd.us
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b>	

**Description of Project Features (if more space is required, please provide separate documentation)**

The Tower City Park Board would like to update our facilities to accomodate an older population. Our communities children are growing up and desire more age appropriate activites in our community park. We would like to include a pickle ball court as well as a 4-square space. These activites will reach our adolescent population and encourage them to live a more active lifestyle. This would also be available for our K-12 school that is located in town. They have their own park, but do not have these amenities available to them.

Justification of Project	
(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	250
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 18,799
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 4,699.75
<b>Applicant's Contribution</b>	\$ 14099.25
<b>Additional Sources of Funding</b>	none

Federal Funds Utilized	None
Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)	Existing field utilized as an ice rink. It will be leveled out and include installation of pickle ball court and 4-square space.
Annual Maintenance Budget	\$ 4,000
Maintenance Provided By	Tower City Park Board
I Hereby certify that funds in the amount of \$ 14,099.25 are available for this project.	
Authorized Signature of Sponsoring Agency	
	<b>SIGN HERE</b> →
Printed Name/Title	Alecia Killoran/Board Member
Date	2/25/2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Concrete	1	15,000
Painting lines on Pickleball and 4-square courts	1	1,500
Douglas Premier PPS-22SQ Portable Pickleball Net System	1	2,299

**APPLICATION MUST INCLUDE THE FOLLOWING:**

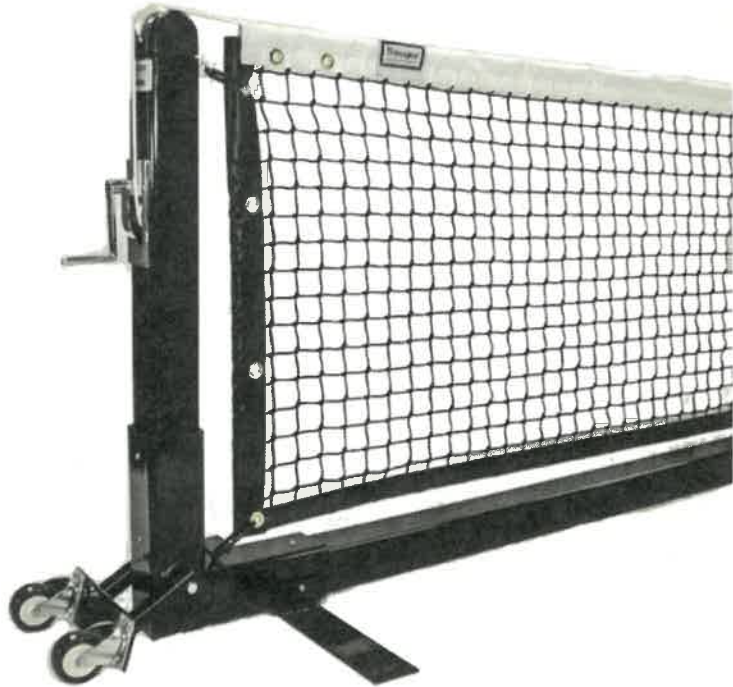
1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)



FREE OVERSIZE SHIPPING. SHIPS ON A PALLET VIA LTL FREIGHT. SIGNATURE REQUIRED ON DELIVERY. NO OTHER SHIPPING OPTIONS ARE AVAILABLE FOR THIS PRODUCT. SEE BELOW FOR ADDITIONAL IMPORTANT SHIPPING DETAILS.

Douglas

# Douglas Premier PPS-22SQ Portable Pickleball Net System

item #: D0PPS22SQ

**\$2,299.00**

★★★★★ (14)

**Drop Ships:** Free Oversize Shipping via LTL freight. Allow 12 to 14 weeks for your order to ship.

-	1	+	<b>ADD TO CART</b>	♡
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NEED HELP?	
✉ Email Us	☎ 855-592-8170

ZOOM



Listings

Sold Land

Insights



Map styles

0.7 Acres | 3 Selections

**0.7** acres

Deselect All

Parcels | 3 Selections

1 0.30 acres

Owner  
Sign up to view  
Location Cass, ND

2 0.20 acres

Owner  
Sign up to view  
Location Cass, ND

Save

# APPLICATION



## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/22/2023	<b>Project Name</b> Lincoln Drive Park Family Games Area
<b>Sponsoring Agency Name</b> Grand Forks Park District	
<b>Authorized Representative/Title</b> George Hellyer, Executive Director	
<b>Sponsoring Agency Address</b> P.O. Box 12429, Grand Forks, ND 58208	
<b>Phone</b> 701.746.2750	<b>Email</b> ghellyer@gfparks.org
<b>Contact Name for Project (If different than above)</b> Leif Larsen	
<b>Address</b> P.O. Box 12429, Grand Forks, ND 58208	
<b>Phone</b> 701.787.0322	<b>Email</b> llarsen@gfparks.org
<b>Project Location</b> 120 Euclid Ave, Grand Forks, ND 58201	

**Description of Project Features (if more space is required, please provide separate documentation)**

The Grand Forks Park District will be installing several new concrete family game structures near the entrance of the Lincoln Drive Park in Grand Forks, North Dakota. The current layout of nine horseshoe pits will be reconstructed into a new family game area which will also include several other new concrete gaming structures. Please see the attached documentation for the specific plans for this much needed project.

Justification of Project (Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	65,000 - Greater Grand Forks Area
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 40,000.00
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 10,000.00
<b>Applicant's Contribution</b>	\$ 30,000.00
<b>Additional Sources of Funding</b>	
The Grand Forks Park District will provide all additional funding to complete the project.	

<b>Federal Funds Utilized</b>	None
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	The site currently has a concrete footing within the park. No major structural changes will occur around this project.
<b>Annual Maintenance Budget</b>	\$ 1,000.00
<b>Maintenance Provided By</b>	Grand Forks Park District
<b>I Hereby certify that funds in the amount of \$ 30,000.00 are available for this project.</b>	
<b>Authorized Signature of Sponsoring Agency</b>	
	<b>SIGN HERE</b> 
<b>Printed Name/Title</b>	George Hellyer, Executive Director
<b>Date</b>	2/22/2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Gaming Structures	1	23,075.00
Concrete Work	1	5,500.00
Fencing	1	5,000.00
Tables & Grills	1	5,000.00
Signage & Miscellaneous	1	1,425.00

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org





**Grand Forks Parks District  
Respectfully submits our grant application to the Garrison Diversion Conservancy  
District**

ORGANIZATION	Grand Forks Parks District
MAILING ADDRESS	P.O. Box 12429 Grand Forks, ND 58208
PHONE	701-746-2750
CONTACT PERSON	George Hellyer Executive Director
PROJECT	Lincoln Drive Park Family Games Area
PROPOSAL REQUEST	\$ 10,000.00

---

### **ABOUT LINCOLN DRIVE PARK**

Lincoln Drive Park is a large park adjacent to the Red River which was created in an area that was once a neighborhood before the flood of 1997. The park is a popular spot for weddings, family gatherings and graduations. Amenities at the park include a playground, horseshoe pits, community room/warming house, sledding hill, dog park, ice skating rink, frisbee golf course, picnic shelters for rental, bench seating in various areas, and landscape areas. The Greenway Bike Path runs through the park and there is a boat ramp to the Red River.

### **OUR REQUEST**

Near the entrance of this large and popular park in Grand Forks are nine horseshoe pits surrounded by a concrete border. An aerial view of the pits is included with this grant application. We will refer to this specific tract as a *family games area*. This area has been worn down with time and has surpassed its useful life. An assessment of the family games area concluded that a better use of the space would be to remove most of the horseshoe pits and provide other family game type structures in their place.



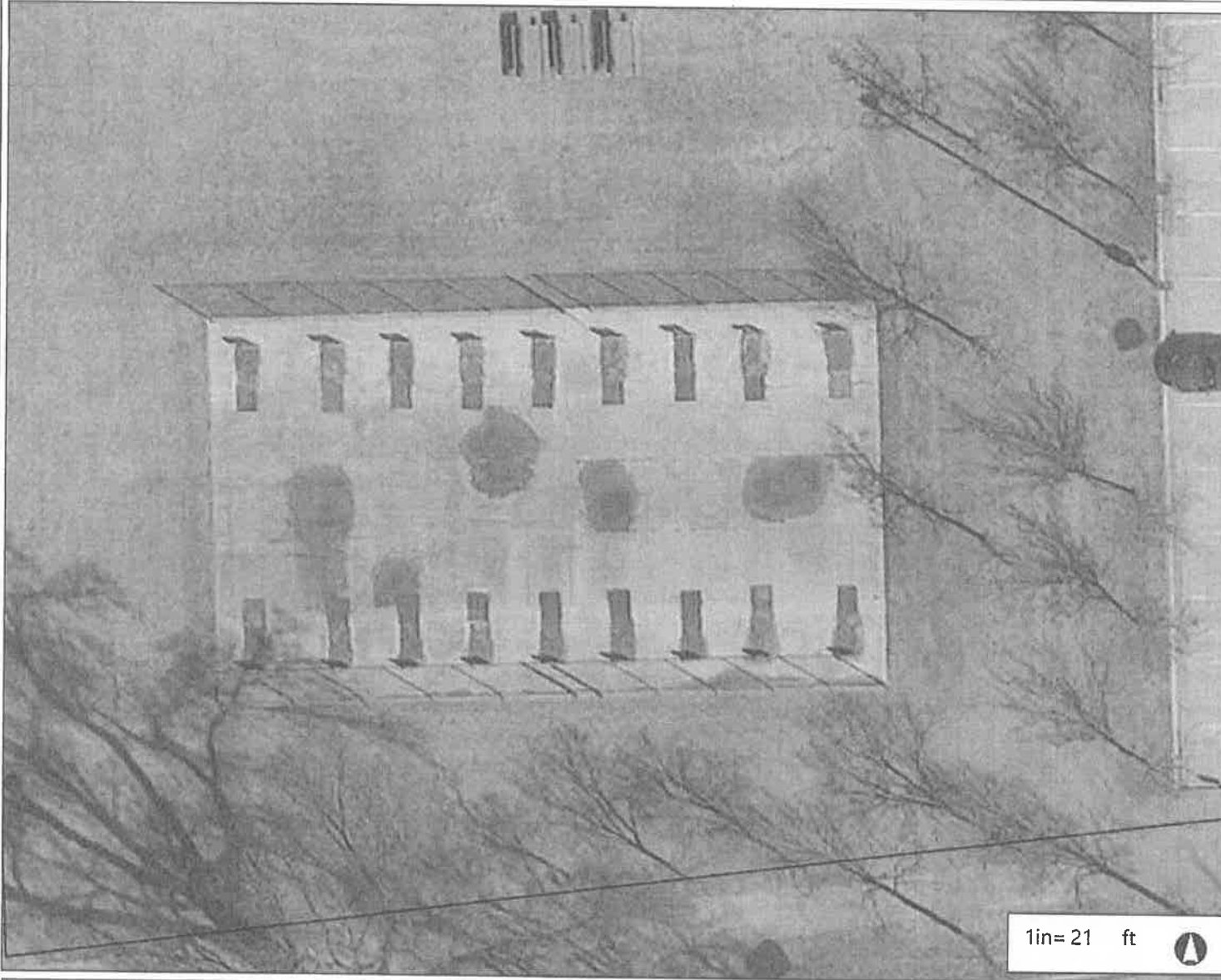
A plan has been drawn up by the Grand Forks Park District to restructure the family game area with three horseshoe pits, two cornhole pits, and several other concrete gaming structures such as foosball, disc-connect, ladder-golf, ping pong and GaGa ball. A rough drawing of the current plan is included with this grant application. Pictures, proposals and quotes for the gaming items have also been included with this grant application.

Once the new family gaming structures are constructed, some fencing and signage will also be added along with the potential of more tables and grills depending on space and aesthetics.

The Grand Forks Park District is asking the Garrison Diversion Conservancy District to help finance 25% of the costs of the construction of this new family games area at Lincoln Drive Park. The remaining costs of the project will be financed by the Grand Forks Park District.

<u>BUDGETED ITEM</u>	<u>AMOUNT</u>
Concrete Work at Family Games area	\$ 5,500
Two sets of concrete Corn-hole boards	\$ 2,700
One Foosball table	\$ 5,900
One Ladder toss	\$ 825
One Disc-connect	\$ 3,350
Ping Pong	\$ 5,600
GaGa Ball Pit	\$ 4,700
Fencing	\$ 5,000
Tables/Grills	\$ 5,000
Signage & Miscellaneous	\$ 1,425
<b>TOTAL</b>	<b><u>\$ 40,000</u></b>

Map Title




Legend

- Active Parcels
- City Limits
- Gray Area
- Two Mile

*Current  
Horseshoe  
pit  
Setup*

Notes

1in= 21 ft 

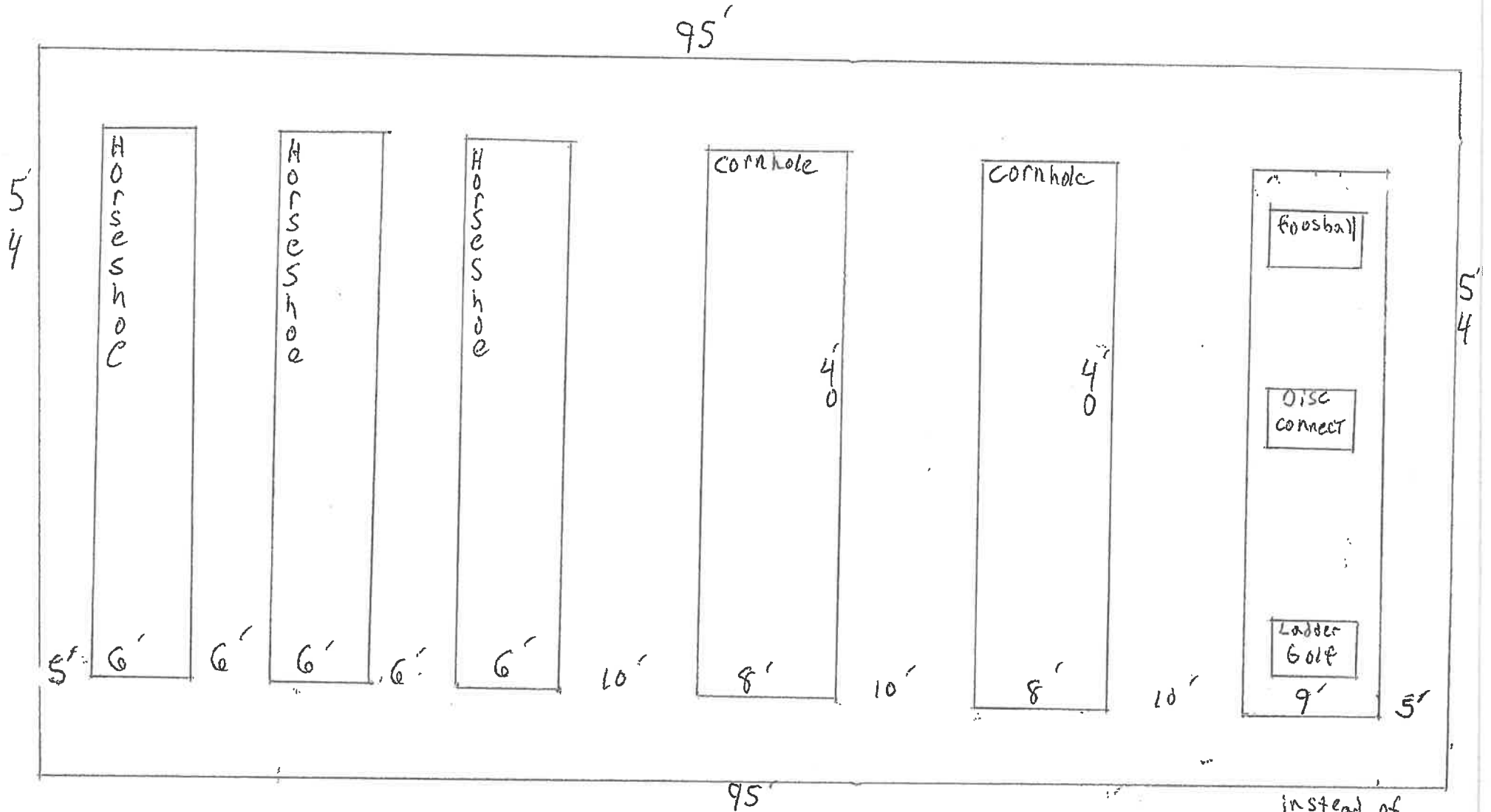
41.7 0 20.83 41.7 Feet

NAD\_1983\_StatePlane\_North\_Dakota\_North\_FIPS\_3301\_Feet  
City of Grand Forks GIS

All dimensions, descriptions, measurements, boundaries and data contained in this nonstandard document are included for general information only. No warranties or covenants are made or given by the City of Grand Forks. Any user must confirm the accuracy of the same with official records, and/or by survey.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

# Drawing of Family Games Area



instead of  
ladder golf  
ping-pong  
table

**Doty & Sons Concrete Products, Inc.**

1275 East State Street  
Sycamore, IL 60178

Phone: 800-233-3907

Fax: 815-895-8035

**Quotation**

Date	Quotation Number
1/19/2023	242339

Name / Address
GRAND FORKS PARKS DEPARTMENT STEVE HELL 1210 7TH AVE SOUTH GRAND FORKS, ND 58201
Customer Phone

Ship To
GRAND FORKS PARKS DEPARTMENT GRAND FORKS, ND 58201
Customer Fax
SHELL@GFPARKS.ORG

Project/Job	Terms	FOB	Rep	Ship Via
		58201	PP	MOTOR FREIGHT
Item	Description	Qty	Price Each	Total
BYOB5531	ALL CONCRETE BAG TOSS GAME SET. SIZE: 55" LONG X 31" WIDE. EACH SET CONSISTS OF TWO PERMANENT CONCRETE BOARDS INCLUDES TWO COATS OF SEALER. BAGS AVAILABLE BUT NOT INCLUDED IN THIS PRICE.	2	885.00	1,770.00
SH2	PACKING AND SHIPPING WITH LIFTGATE SERVICE - SEE COMPLETE DESCRIPTION BELOW.	2	437.00	874.00
<b>Total</b>				

<b>Quoted by:</b>	
<b>Signature:</b>	<b>Date:</b>

**Doty & Sons Concrete Products, Inc.**

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Sycamore, IL 60178

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Customer Fax
SHELL@GFPARKS.ORG

Project/Job	Terms	FOB	Rep	Ship Via
		58201	PP	MOTOR FREIGHT
Item	Description	Qty	Price Each	Total
SH2D	SH2 DESCRIPTION - ALL SHIPPING CHARGES SHOWN ABOVE. SHIPPED BY MOTOR FREIGHT CARRIER WITH LIFTGATE GROUND SERVICE (ON PALLETS). SHIPPED TO ONE BUSINESS ADDRESS AND LOWERED TO THE GROUND AT ONE LOCATION ONLY. YOUR PERSONNEL MUST MEET DRIVER WITHOUT DELAY FOR INSPECTION OF SHIPMENT. CUSTOMER TO UNPACK ITEMS AND SET AT SPECIFIC SITES. DELIVERY FEES ARE BASED ON FUEL PRICES TODAY. BECAUSE OF UNCERTAIN FUEL COSTS IN THE FUTURE, WE RESERVE THE RIGHT TO ADD OR SUBTRACT ANY CHANGE IN FUEL COSTS IN EFFECT ON THE DAY OF DELIVERY; ADDITIONAL FREIGHT COMPANY SERVICES, IF NEEDED, MUST BE SPECIFIED ON PURCHASE ORDER AND CHARGES WILL BE ADDED ONTO FINAL BILLING.		0.00	0.00
	Out-of-state sale, exempt from sales tax		0.00%	0.00
<b>Total</b>			\$2,644.00	

IF YOU WISH TO PLACE AN ORDER, PLEASE SIGN AND DATE WHERE INDICATED AND RETURN BY FAX. THANK YOU FOR THE OPPORTUNITY TO SUBMIT THE ABOVE QUOTATION. THE INDICATED PRICE IS VALID FOR 30 DAYS.  
NOTE: ANY CHANGE IN ITEM OR QUANTITY WILL REQUIRE A REBID.

<b>Quoted by:</b>	
<b>Signature:</b>	<b>Date:</b>

**Doty & Sons Concrete Products, Inc.**

1275 East State Street  
Sycamore, IL 60178

Phone: 800-233-3907

Fax: 815-895-8035

**Quotation**

Date	Quotation Number
1/26/2023	242454

Name / Address
GRAND FORKS PARKS DEPARTMENT STEVE HELL 1210 7TH AVE SOUTH GRAND FORKS, ND 58201
Customer Phone

Ship To
GRAND FORKS PARKS DEPARTMENT GRAND FORKS, ND 58201
Customer Fax
SHELL@GFPARKS.ORG

Project/Job	Terms	FOB	Rep	Ship Via
		58201	PP	MOTOR FREIGHT
Item	Description	Qty	Price Each	Total
FT543236	CONCRETE REGULATION SIZE FOOSBALL TABLE WITH FEATURES INCLUDING: 1. REGULATION SIZE 54-1/2" X 32" X 36" HIGH 2. TABLE SIDE THICKNESS 3" 3. HEAVY DUTY REINFORCED CONCRETE 4. UHPC ULTRA HIGH PERFORMANCE CONCRETE FIELD WITH PIGMENTED COLOR - GREEN 5. 316 STAINLESS STEEL RODS 6. STENCILED PLAYING LINES 7. CENTER BALL DROP HOLES 8. EASY ACCESS BALL DROP 9. OPTIONAL SCOREKEEPERS - STAINLESS STEEL 10. STAINLESS STEEL TABLE LEVELERS 11. ANCHOR INSERTS, FOUR PER TABLE. STAINLESS STEEL ANCHOR KITS ARE OPTIONAL 12. TAMPER RESISTANT STAINLESS STEEL ASSEMBLY SCREWS 13. HEAVY DUTY 4" HIGH STEEL I-BEAM SUPPORTS. STEEL I-BEAM POWDER COATED IN A TWO PART PROCESS: ZINC RICH BASE COAT WITH BLACK TOP COAT. 14. STANDARD FOOSBALL PLAYERS COLOR: RED AND BLUE. OTHER COLORS AVAILABLE BY SPECIAL ORDER. 23	1	5,575.00	5,575.00
<b>Total</b>				

<b>Quoted by:</b>	
<b>Signature:</b>	<b>Date:</b>

**Doty & Sons Concrete Products, Inc.**

1275 East State Street  
Sycamore, IL 60178

Phone: 800-233-3907

Fax: 815-895-8035

**Quotation**

Date	Quotation Number
1/26/2023	242454

Name / Address
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Customer Phone

Ship To
GRAND FORKS PARKS DEPARTMENT GRAND FORKS, ND 58201
Customer Fax
SHELL@GFPARKS.ORG

Project/Job	Terms	FOB	Rep	Ship Via
		58201	PP	MOTOR FREIGHT
Item	Description	Qty	Price Each	Total
SB7	SANDBLAST LIGHT GRAY LIMESTONE BASE	1	0.00	0.00
SB6LS	SANDBLAST NATURAL GRAY CONCRETE LIMESTONE MIX TOP	1	0.00	0.00
CUSTOM	CUSTOM - YOUR CHOICE OF ONE MAN OR THREE MAN GOALIE VERSION	1	0.00	0.00
SH1	PACKING AND SHIPPING - SEE COMPLETE DESCRIPTION BELOW.	1	335.00	335.00
LT4232	LADDER TOSS - 42" HIGH X 32" WIDE X 24" WITH 4" THICK SIDE SUPPORTS. WEIGHT 280 LBS.	1	740.00	740.00
SB6LS	SANDBLAST NATURAL GRAY CONCRETE LIMESTONE MIX	1	0.00	0.00
RUNG	RUNG COLOR: YOUR CHOICE OF BLACK OR RED, WHITE AND BLUE	1	0.00	0.00
SH1	PACKING AND SHIPPING - SEE COMPLETE DESCRIPTION BELOW.	1	75.00	75.00
<b>Total</b>				

<b>Quoted by:</b>	
<b>Signature:</b>	<b>Date:</b>



**Doty & Sons Concrete Products, Inc.**

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Phone: 800-233-3907

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**Quotation**

Date	Quotation Number
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Customer Phone

<b>Ship To</b>
GRAND FORKS PARKS DEPARTMENT GRAND FORKS, ND 58201
Customer Fax
SHELL@GFPARKS.ORG

Project/Job	Terms	FOB	Rep	Ship Via
		58201	PP	MOTOR FREIGHT
Item	Description	Qty	Price Each	Total
DC5442	DC5442 - DISC CONNECT (CONNECT 4 GAME) - 54" X 24" X 42" WITH 4" THICK CONCRETE SIDE SUPPORTS. 43"X8"X4 3/4" DISC CATCHER INCLUDED. INCLUDES TWO COATS OF SEALER FOR CONCRETE SUPPORTS AND DISC CATCHER. STAINLESS STEEL PLAYING GRID ASSEMBLED WITH STAINLESS STEEL TAMPER RESISTANT SCREWS. STAINLESS STEEL TAMPER RESISTANT MOUNTING HARDWARE AND 46 PLAYING DISCS (23 RED AND 23 BLUE STANDARD) ALSO INCLUDED. TOTAL WEIGHT 455 LBS	1	3,195.00	3,195.00
SB6LS	SANDBLAST NATURAL GRAY CONCRETE LIMESTONE MIX PACKING AND SHIPPING - SEE COMPLETE DESCRIPTION BELOW.	1	0.00	0.00
SH1		1	133.00	133.00
<b>Total</b>				

<b>Quoted by:</b>	
<b>Signature:</b>	<b>Date:</b>

**Doty & Sons Concrete Products, Inc.**

1275 East State Street  
Sycamore, IL 60178

Phone: 800-233-3907

Fax: 815-895-8035

**Quotation**

Date	Quotation Number
1/26/2023	242454

Name / Address
GRAND FORKS PARKS DEPARTMENT STEVE HELL 1210 7TH AVE SOUTH GRAND FORKS, ND 58201
Customer Phone

Ship To
GRAND FORKS PARKS DEPARTMENT GRAND FORKS, ND 58201
Customer Fax
SHELL@GFPARKS.ORG

Project/Job	Terms	FOB	Rep	Ship Via
		58201	PP	MOTOR FREIGHT
Item	Description	Qty	Price Each	Total
T1086045	REGULATION SIZE CONCRETE PING PONG / TENNIS TABLE. SIZE 108" LONG X 60" WIDE X 30" HIGH WITH 6" THICK CONCRETE LEGS, 4" STEEL I-BEAM SUPPORTS CONSTRUCTION. WT. 3100 LBS. FEATURES: 1. TWO PIECE TABLE TOP 4" THICK 2. TABLE TOP IS POLISHED 3. SEALED WITH TWO COATS OF CONCRETE SEALER AND COVAL GRAFFITI SEALER 4. BLACK STRIPED CENTER LINE 5. STAINLESS STEEL NET 1/4" THICK WITH GUSSETED END SUPPORTS 6. I-BEAM POWDER COATED IN A TWO PART PROCESS. TOP COAT STANDARD BLACK. OTHER COLORS AVAILABLE - IF INTERESTED, PLEASE CALL FOR DETAILS	1	4,625.00	4,625.00
SB7	SANDBLAST LIGHT GRAY LIMESTONE LEGS	1	0.00	0.00
SB6LS	SANDBLAST NATURAL GRAY CONCRETE LIMESTONE MIX TOP	1	0.00	0.00
NET	YOUR CHOICE OF NET STYLE ONE OR STYLE TWO	1	0.00	0.00
SH1	PACKING AND SHIPPING - SEE COMPLETE DESCRIPTION BELOW.	1	927.00	927.00
<b>Total</b>				

<b>Quoted by:</b>	
<b>Signature:</b>	<b>Date:</b>

**Doty & Sons Concrete Products, Inc.**

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Sycamore, IL 60178

Phone: 800-233-3907

Fax: 815-895-8035

**Quotation**

Date	Quotation Number
1/26/2023	242454

<b>Name / Address</b>
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Customer Phone

<b>Ship To</b>
GRAND FORKS PARKS DEPARTMENT GRAND FORKS, ND 58201
Customer Fax
SHELL@GFPARKS.ORG

Project/Job	Terms	FOB	Rep	Ship Via
		58201	PP	MOTOR FREIGHT

Item	Description	Qty	Price Each	Total
SH1D	STANDARD DESCRIPTION - ALL SHIPPING CHARGES ARE LISTED ABOVE. SHIPPING IS SHIPPED BY MOTOR FREIGHT TRAILER ON PALLETS, TO ONE BUSINESS ADDRESS ONLY. CUSTOMER PERSONNEL TO MEET DRIVER (DURING REGULAR BUSINESS HOURS) AND PROMPTLY REMOVE PALLETS FROM TRUCK. A 4,000# PALLET JACK TO MOVE ITEMS TO TRAILER DOOR AS WELL AS A FORKTRUCK RATED @5,000# WITH 48" FORKS FOR UNLOADING MUST BE ON SITE AT TIME OF ARRIVAL. CUSTOMER TO UNPACK ITEMS AND SET AT SPECIFIC SITES. DELIVERY FEES ARE BASED ON FUEL PRICES TODAY. BECAUSE OF UNCERTAIN FUEL COSTS IN THE FUTURE, WE RESERVE THE RIGHT TO ADD OR SUBTRACT ANY CHANGE IN FUEL COSTS IN EFFECT ON THE DAY OF DELIVERY. ADDITIONAL FREIGHT COMPANY SERVICES, IF NEEDED, MUST BE SPECIFIED ON PURCHASE ORDER AND CHARGES WILL BE ADDED ONTO FINAL BILLING.		0.00	0.00
	Out-of-state sale, exempt from sales tax		0.00%	0.00

**Total** \$15,605.00

IF YOU WISH TO PLACE AN ORDER, PLEASE SIGN AND DATE WHERE INDICATED AND RETURN BY FAX. THANK YOU FOR THE OPPORTUNITY TO SUBMIT THE ABOVE QUOTATION. THE INDICATED PRICE IS VALID FOR 30 DAYS.  
NOTE: ANY CHANGE IN ITEM OR QUANTITY WILL REQUIRE A REBID.

<b>Quoted by:</b>	
<b>Signature:</b>	<b>Date:</b>

**PLAYGROUND EQUIPMENT**  
**PLAYGROUND SURFACING**  
**ATHLETIC EQUIPMENT**  
**FLAGS/FLAG POLES**  
**BLEACHERS**



1202 18th St. West, Williston, ND 58801  
**Office 701-572-7897 Cell 701-770-7897 Fax 701-572-0824**  
**Email grondahl@dia.net Website www.grondahlrecreation.com**

**SCOREBOARDS**  
**SITE FURNISHINGS**  
**SHELTERS**  
**SHADE SYSTEMS**  
**NETTING**

# PROPOSAL

Proposal Submitted To <b>GRAND FORKS PARK DISTRICT</b>	Email <b>DONNY LOVCIK</b>	Date <b>1/31/23</b>
Street <b>BOX 12429</b>	Phone	Cell
City, State, Zip <b>GRAND FORKS, ND 58208</b>	Job Name/Location <b>GF PARKS IMPROVEMENTS</b>	
Project Name <b>GAGA BALL PIT PROPOSAL</b>		

**GRONDAHL RECREATION WILL PROVIDE AND DELIVER THE FOLLOWING:**

(1) 590-0077 GAGA BALL PIT	\$4,657
FREIGHT	624
	\$5,281
LESS GRONDAHL REC DISCOUNT	- 650
<b>TOTAL</b>	<b>\$4,631</b>

- Shipping charges do not include unloading, assembly, or installation unless noted above
- This transaction is not bound to retainage, unless specified by contract
- Taxes, bonds, special insurance provisions, permits and any other fees not included

Prices do not include shipping, unloading, assembly, material storage, site excavation/preparation, removal of existing equipment, removal of excess soil from footing holes, site security, safety surfacing (unless shown in quoted items above), installation (unless shown in quoted items above) or sales tax (if applicable). Prices are based on current year catalog. Custom colors, where available, would be an extra charge. Freight charges are predicted on all items being ordered and shipped at the same time. Pricing and freight valid for 30 days from date of quote.

**Grondahl Recreation Inc.**

By:   
 Larry Grondahl

This proposal may be withdrawn by Grondahl Recreation Inc. if not accepted within 30 days.

Thank you for the opportunity to provide you with this quote. We look forward to filling your park & playground needs in the months and years to come!

**Purchaser**

By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date of Acceptance: \_\_\_\_\_

**Acceptance of Proposal** The above prices, specifications, terms and conditions are satisfactory and are hereby accepted by purchaser. Grondahl Recreation Inc. is authorized to do the work as specified and Purchaser shall make payment as outlined.



OUTDOOR  
**CONCRETE GAMES**

---

**QUALITY PRODUCTS SINCE 1948**

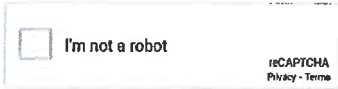
Proudly Manufactured in Sycamore, IL

**GREAT FOR:**

Parks • Campgrounds • Universities  
Colleges • School Playgrounds  
Apartment Complex Recreation Areas  
Resorts • Beach Recreation Areas

**OutdoorConcreteGames.com**  
**Phone: (815) 895-2884**

**Doty & Sons**  
Concrete Products



## CONCRETE GAME TYPES



**CORNHOLE / BAG TOSS**



**PING PONG / TABLE TENNIS**



**LADDER TOSS**



**FOOSBALL**



**GAME TABLES**



**DISC-CONNECT**

## REQUEST A QUOTE

### STANDARD FEATURES

CONCRETE CORNHOLE BOARDS  
BYOB5531, BYOB5532 & BYOB5533



55" L x 31" W

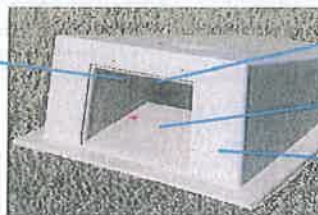
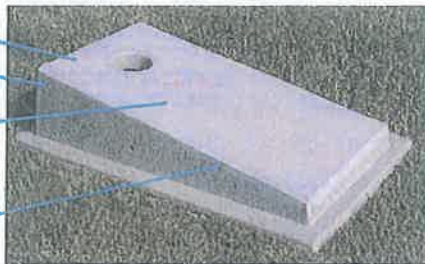
1. Regulation ACA board size and slope

2. Reinforced with steel and fiber reinforcing  
Strong 5000 PSI concrete

3. Polished surface for great bag slide  
All boards are polished using a commercial  
platen polisher

4. Entire board is sealed with two coats of  
water based concrete sealer

5. Open back for easy bag removal



6. Sloped bag drop area  
Will not harbor animals

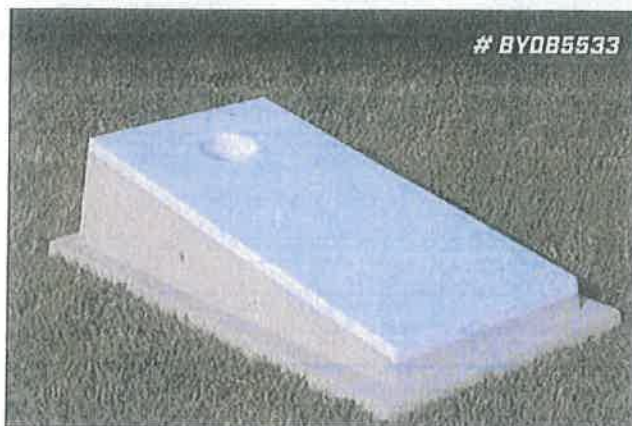
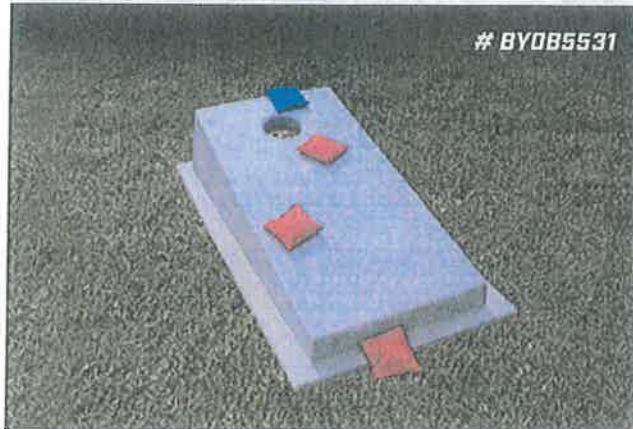
7. Sloped bottom  
Sheds water, stays clean

8. Lightly sandblasted sides

9. No grass or debris under  
the boards

**Doty & Sons**  
Concrete Products

# CORNHOLE / BAG TOSS



## CONCRETE CORNHOLE / BAG TOSS

**Size:** 55" L x 31" W

**Weight:** 633 lbs. each, 1,266 lbs. per set

### Optional Features

- Custom Logos
- Bike Deterrent Blocks
- Water Resistant Bags
- Bag Throwers Area Blocks
- Skateboard Deterrent Bars



# LADDER TOSS

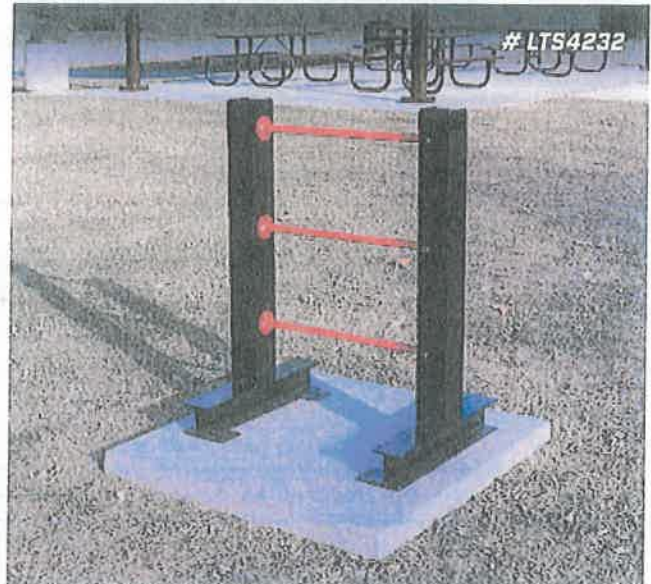


## CONCRETE LADDER TOSS

**Regulation Size:** 42" H x 32" W, base width 24"  
**Weight:** 280 lbs.

### Optional Features

Support Base  
 Throwers Base (*pictured in photograph*)



## STEEL LADDER TOSS

**Regulation Size:** 42" H x 32" W, base width 24"  
**Weight:** 425 lbs.

### Optional Features

Support Base  
 Throwers Base

# FOOSBALL



## FOOSBALL - ONE MAN GOALIE

Regulation Size: 54½" x 32" x 36" H

Weight: 1,225 lbs.

### Optional Features

Other colors available by special order  
Stainless steel anchor kits



## FOOSBALL - THREE MAN GOALIE

Regulation Size: 54½" x 32" x 36" H

Weight: 1,225 lbs.

### Optional Features

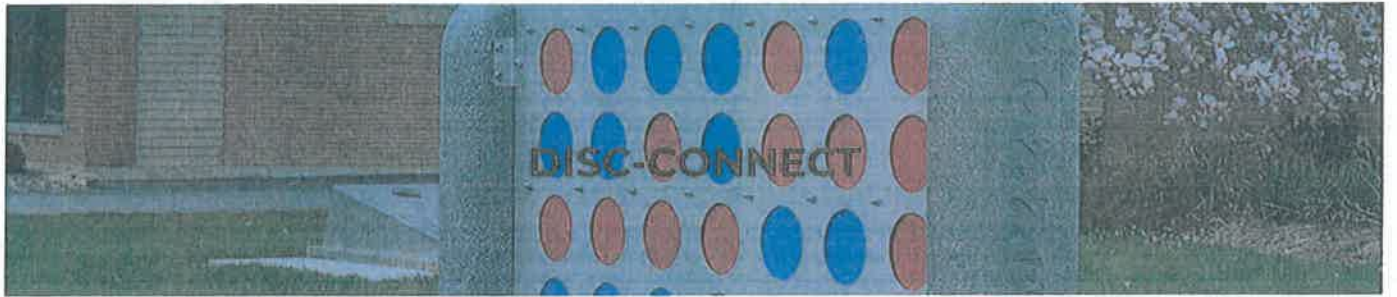
Other colors available by special order  
Stainless steel anchor kits

# REQUEST A QUOTE



Products of **Doty & Sons**  
Concrete Products

[PRODUCTS](#) [CATALOG](#) [ABOUT](#) [BLOG](#) [CONTACT US](#)



[Outdoor Concrete Games](#) > [Products](#) > [Disc-Connect](#) > [Item #: DC5442](#)



## PRODUCT DESCRIPTION

### Disc-Connect

**Item #:** DC5442

**Size:** 42"H x 54"W

**Weight:** 455 lb total weight

Concrete Supports: 140 lbs each. (280 pounds total)

Concrete Disc Collector: 105 lbs

Playing Grid: 70 lbs

### Disc-Connect (Connect 4 Colors Game)

Concrete supports thickness 4" with base width 24"

Two coats of concrete sealer applied to each support

Stainless steel playing grid with bead blast finish

Playing grid is preassembled for easy installation

All components are secured with tamper-resistant security screws

Includes 4" diameter red and blue plastic discs

Optional disc decaling available

Concrete disc collector included with each set

Size: 43" x 8" x 4 3/4"

### Optional Support Base

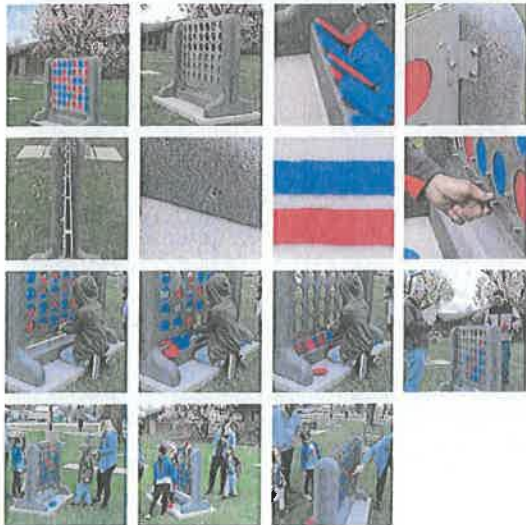
Size: 60" x 30" x 3"

Weight: 445 lbs.

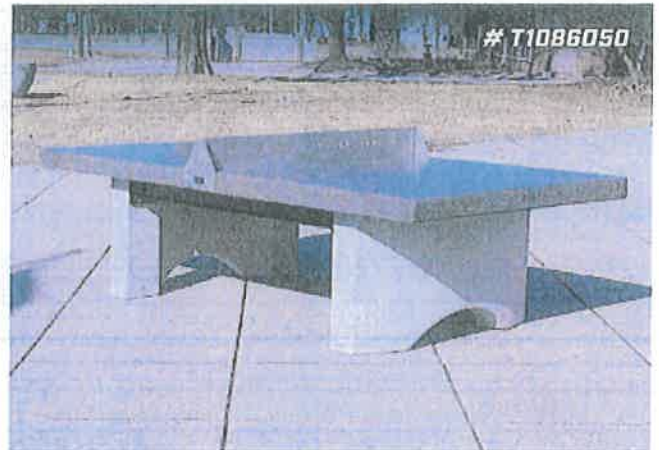
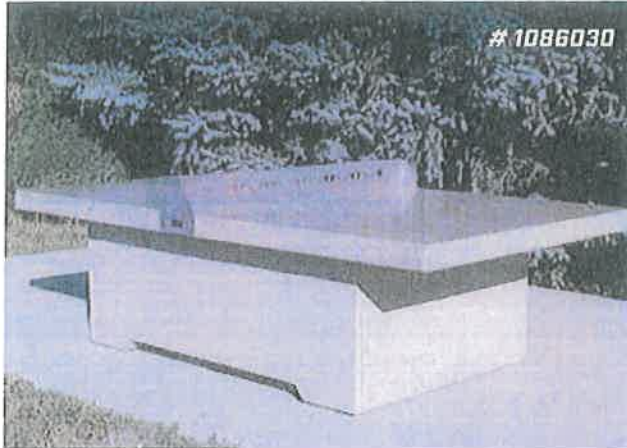
Reinforced concrete

**Request A Quote**

Send an email



# PING PONG / TABLE TENNIS



## CONCRETE AND STEEL PING PONG / TABLE TENNIS

**Regulation Size:** 108" x 60" x 30" H, table top thickness 4"

**Weight:** 2,615 lbs. - 4,034 lbs. (varies per model)

### Table Customization Options

**Net signage.** Aluminum backed signs attach to both sides of the net. Secured with tamper resistant bolts.

**Laser engraved net.** Note: This option is available, but only readable from one side of the table. The opposite side is mirrored.

**Logo** applied to the playing surface at both ends. We use the highest quality concrete paints. Custom colors are available.

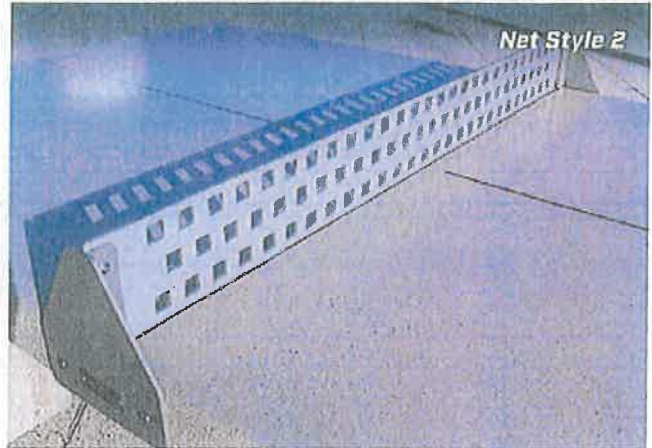
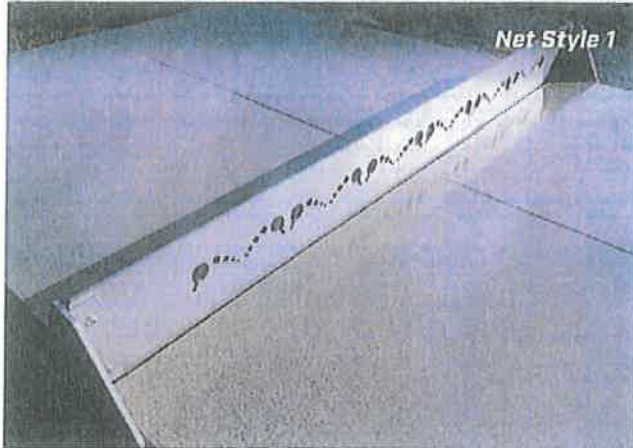
**Contrast Sandblast** wording on vertical edge of the tabletop at both ends.

**Bronze plaques** for donations, dedications or memorials.

**Special Color** table tops & base

For more information about these pieces, call (800) 233-3907

# PING PONG / TABLE TENNIS



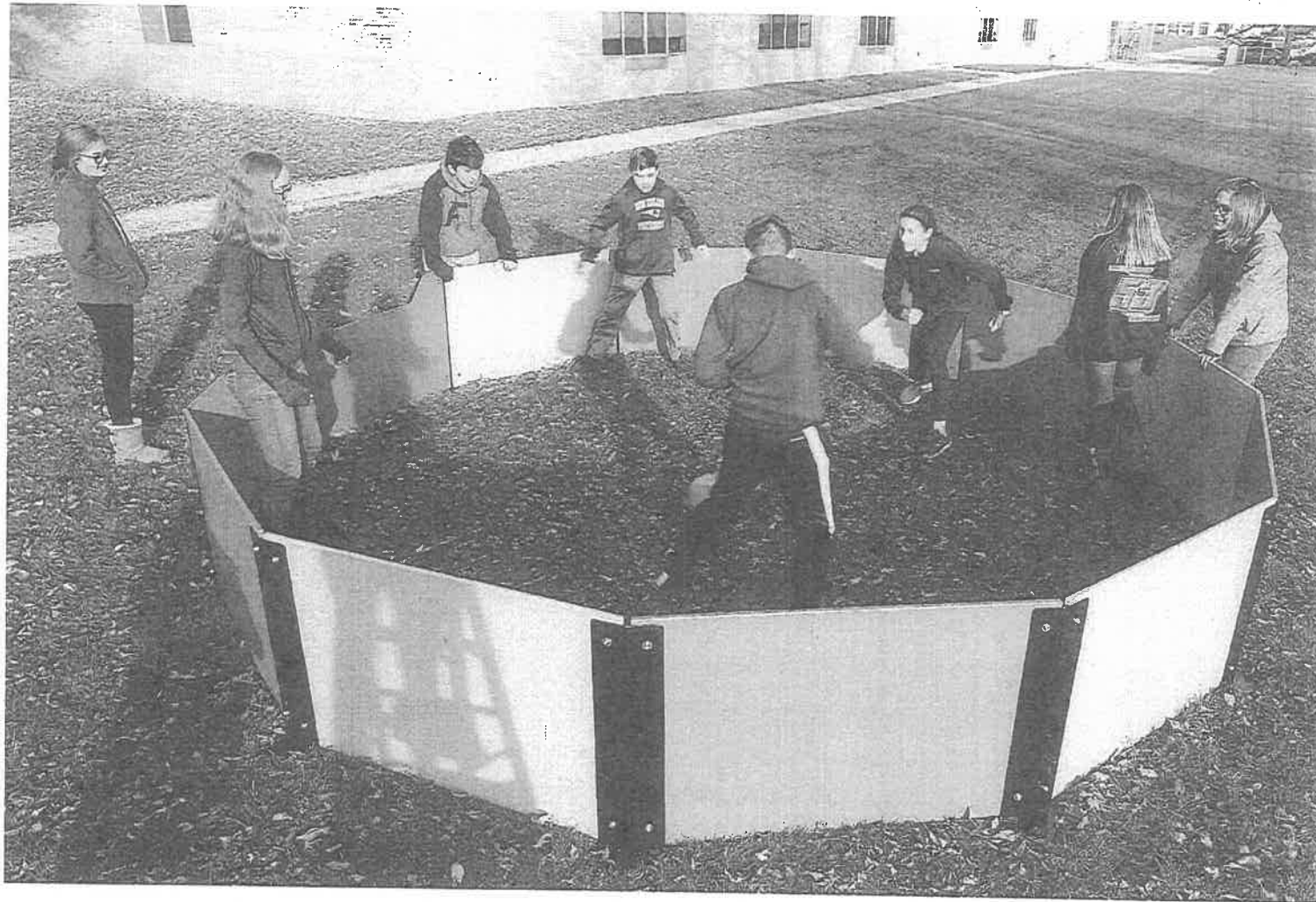
## CONCRETE AND STEEL PING PONG / TABLE TENNIS

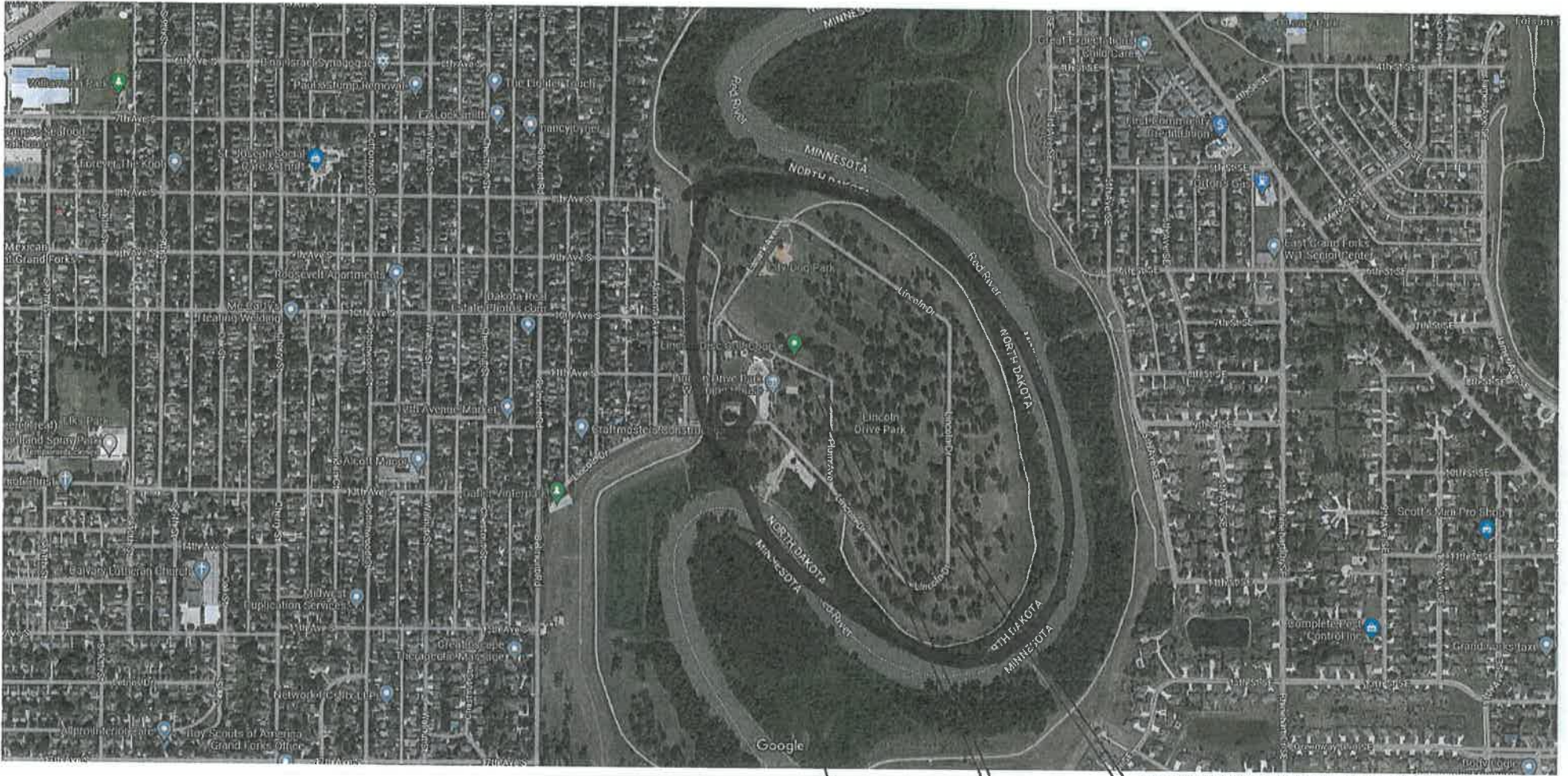
**Regulation Size:** 108" x 60" x 30" H, table top thickness 4"

**Weight:** 2,615 lbs. - 4,034 lbs. (*varies per model*)

### Net Features

- 2 net options available
- Stainless steel & side gussets
- 1/4" thick plate that extends between table tops
- Gusseted stainless steel end supports for added strength
- Tamper resistant assembly screws





Lincoln Drive Park

Family Games Area

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/28/23	<b>Project Name</b> Upham Park Restrooms
<b>Sponsoring Agency Name</b> City of Upham	
<b>Authorized Representative/Title</b> Rachel Takala	
<b>Sponsoring Agency Address</b> 111 C Ave S	
<b>Phone</b> 701-833-3910	<b>Email</b> uphamcity@srt.com
<b>Contact Name for Project</b> same (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> Upham City Park ( C Ave/Fouts)	

**Description of Project Features (if more space is required, please provide separate documentation)**

The city of Upham recently update the play equipment through a cooperative effort with GDCD, Friends of the Upham Fire Protection District, Enbridge, and Farden Construction. In an effort to continue updating the city park we are planning to demolish current restroom building and replace it with a new construction. New facility would be ADA compliant, with separate mens and womens restrooms each to include a shower stall. In addition the structure will have a utility room for heating/cleaning and water heater, and if funds allow we would like to include a laundry area with a set of coin operated washer/dryer. The city park is utilized during the summer by several campers/hunters and these additions would improve our amenities. Currently we have 4 sites that offer electric and water, and 2 full hook-up.

Justification of Project (Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	~200 people would be served, including residents of all ages and demographics.
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ \$40,000.00-\$50,000.00
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ \$10,000.00-\$12,500.00
<b>Applicant's Contribution</b>	\$ \$10,000.00-\$17,500.00
<b>Additional Sources of Funding</b>	
The Friends of the Upham Fire Protection District have donated \$20,000.00 to be used towards this project. The city is also applying for an AARP Community Challenge grant at this time.	



**Federal Funds Utilized** No federal funds have been utilized for this project.

**Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)**

Currently the park has a cinderblock building with a single mens, and single womens restroom. The building has aged and is starting to crack and crumble. Updating the structure would make it ADA accessible and include showers.

**Annual Maintenance Budget** \$ 1000.00

**Maintenance Provided By** City of Upham

I Hereby certify that funds in the amount of \$ 20,000.00 are available for this project.

**Authorized Signature of Sponsoring Agency** SIGN HERE *Rachel Takala*

**Printed Name/Title** Rachel Takala

**Date** 2/28/23

**PROJECT COST ESTIMATES**  
(Include volunteer/in-kind donations and labor)

Item	Units	Estimated Cost
See Attached Sheet		

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

**Upham Park Restroom Estimated Project Costs**

Building 16'x20'	\$ 20,000.00	
Toilets	\$ 500.00	
Sinks	\$ 2,000.00	
Showers	\$ 2,500.00	
TP holders	\$ 100.00	
Dyson hand dryer	\$ 1,800.00	
Electric water heater	\$ 500.00	
Furnace	\$ 2,000.00	
Utility tub	\$ 200.00	
Coin Washer	\$ 1,200.00	
Coin Dryer	\$ 1,200.00	
Demo old Structure	\$ 5,000.00	
In-Kind Labor	\$ 2,000.00	
Electric	\$ 2,000.00	
Plumbing	\$ 2,000.00	
Concrete	\$ 2,000.00	
Misc Exp.	\$ 5,000.00	Apron/Sidewalk
	<u>\$ 50,000.00</u>	



Full Extent



Previous Extent



Next Extent



Search...



Layers



Legend



Export



Print



Share



Map Query



Point Select



Line Measure



Line Markup



Street View



Client Info



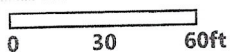
Help



Clear



World St...



Scale 1: 1,128



Go

# APPLICATION


## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 02/15/2023	<b>Project Name</b> Tobacco Gardens Shower/Bathroom House
<b>Sponsoring Agency Name</b> McKenzie County and McKenzie County Park Board	
<b>Authorized Representative/Title</b> Erica Johnsrud, McKenzie County Auditor/Treasurer	
<b>Sponsoring Agency Address</b> 201 5th St NW Suite 543, Watford City, ND 58854	
<b>Phone</b> 701-444-3616x7401	<b>Email</b> ejohnsrud@co.mckenzie.nd.us
<b>Contact Name for Project (if different than above)</b> Peggy Hellandsaas	
<b>Address</b> 4381 Highway 1806 West, Watford City, ND 58854	
<b>Phone</b> 701-842-4199	<b>Email</b> tobaccogardens@ruggedwest.com
<b>Project Location</b> Tobacco Gardens Recreation Area on Lake Sakakawea	

**Description of Project Features (if more space is required, please provide separate documentation)**

Construction of a new shower/bathroom house at Tobacco Gardens Recreation Area to replace an old structure that has black mold and other issues. Old structure will be torn down and removed from site. New structure will be 36 feet by 28 feet and include separate sides for men and women. Each side must contain 2 bathroom stalls, two shower stalls, and a double sink. Entire project must comply with all ADA requirements. Costs are based on one bid that was received for the project (attached). Project currently being bid out as over \$150,000 threshold allowed by law.

Justification of Project (Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	15,000 (all citizens of McKenzie County possible and other surrounding areas)
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 165,000
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 41,250 (25%)
<b>Applicant's Contribution</b>	\$ 123,750 (remainder of costs)
<b>Additional Sources of Funding</b> County General Fund allocation to County Parks	

Federal Funds Utilized	None	
Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)		
Demo of existing facility and replacement with new facility		
Annual Maintenance Budget	\$ 5,000	
Maintenance Provided By	Tobacco Gardens Resort and Marina	
<b>I Hereby certify that funds in the amount of \$ 165,000 are available for this project.</b>		
Authorized Signature of Sponsoring Agency	 <b>Erica Johnsrud</b>	<small>Digitally signed by Erica Johnsrud Date: 2023.02.15 09:59:07 -06'00'</small>
Printed Name/Title	Erica Johnsrud/McKenzie County Auditor/Treasurer	
Date	02/15/2023	

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

**Mail completed application with required documentation to  
Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)**

**MCKENZIE COUNTY  
COUNTY PARK BOARD  
WATFORD CITY, NORTH DAKOTA**

**SPECIFICATIONS FOR ONE SHOWER/BATHROOM HOUSE AT TOBACCO  
GARDENS RECREATION AREA**

This attachment shall be considered a continuation of the call for bids, and by reference made a part thereof.

The Board reserves the right to reject any or all bids as allowed by law, or to accept such bids as may be determined to be in the best interests of the county.

The newly constructed shower/bathroom house must meet the following specifications:

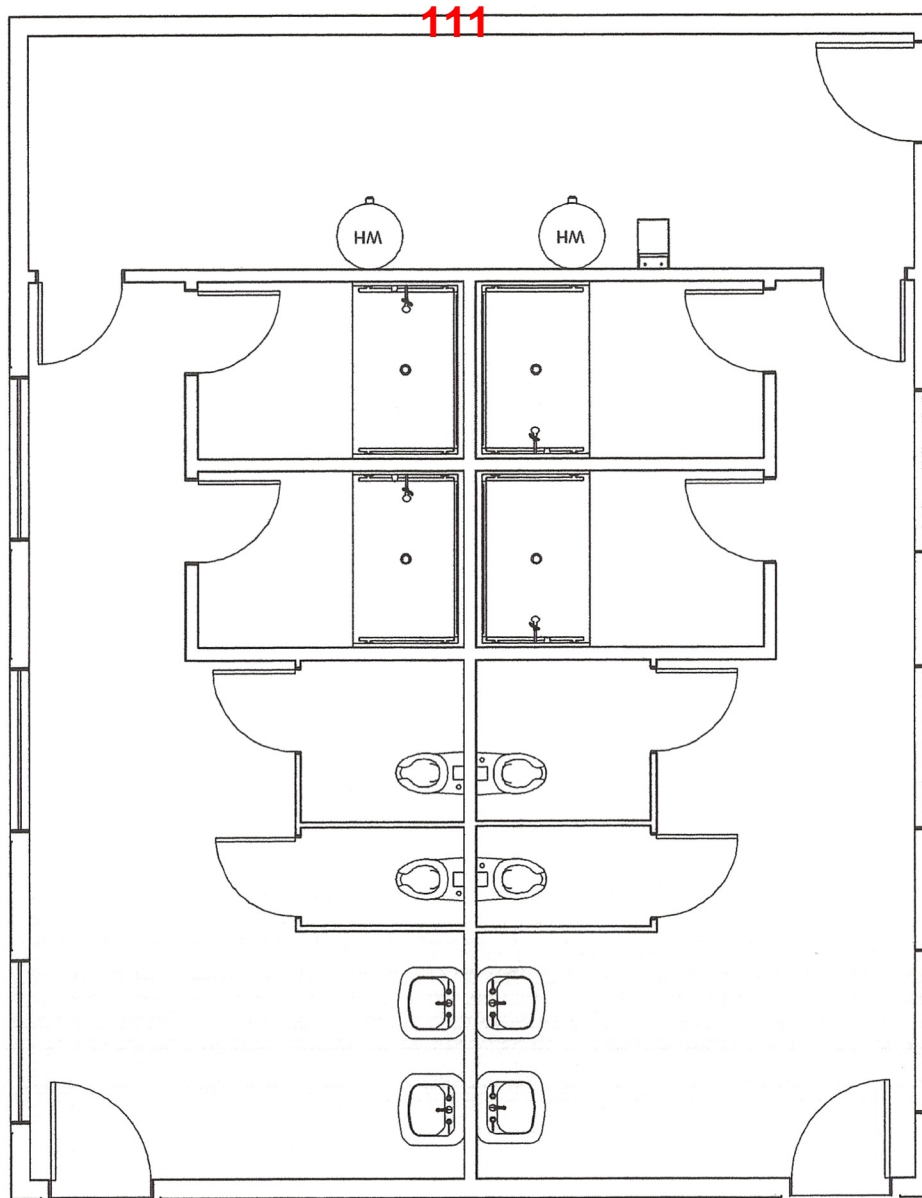
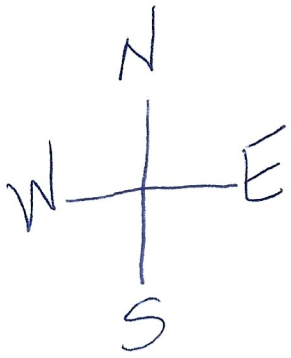
- Building size 36 feet by 28 feet
- Entrance to bathroom to face South
- Entrance on east side to provide access to a utility room
- Building must house separate sides for men and women facilities
- Each side must include two bathroom stalls, two shower stalls, and a double sink
- Building, in its entirety, must comply with all ADA requirements

An example schematic is included on page 2 of this bid package.

Please include a breakout of costs with your bid proposal and certification.

Questions on the project can be directed to:

Peggy Hellandsaas  
Tobacco Gardens Resort & Marina  
4781 Highway 1806 West  
Watford City, ND 58854  
701-842-4199  
[tobaccogardens@ruggedwest.com](mailto:tobaccogardens@ruggedwest.com)



LIVING AREA  
1008 SQ FT

111



13314 68th St NW • Williston, ND 58801 • Phone: 2485636099

Tobacco Gardens

Print Date: 10-11-2022

## Proposal for Tobacco Gardens

Items	Description	Qty/Unit	Price
<b>24.5 x 24.5 Building Demolition</b> 11.1 Pre Construction Demo		600	\$8,970.00
<b>Dump Trailer - Trash Removal</b> 36.2 Trash Removal:36.21 Dumpster Rental		1	\$2,300.00
<b>Rough in and Finish Plumbing , w/ Zurn One Piece Flushometer Toilets, 1.28 Gallons</b> 25.1 Plumbing Materials	Includes 2 exterior hose bibs, Zurn One Piece Flushometer Toilets, 1.28 Gallons	1	\$25,300.00
<b>Pour slab (textured surface)</b> 15.6 Flatwork:15.62 Exterior Concrete	Broom Finish	720	\$11,592.00
<b>Install 6 windows 35" x 23" vinyl sliders</b> 17.1 Windows	American Craftsman 35.75 in. x 23.25 in. 70 Series Low E glass	6	\$2,932.50
<b>In A Corner, Floor Mounted, Phenolic Bathroom Partitions</b> 10.6 Selections	Phenolic Toilet Partitions provide superior vandal and moisture resistance in high abuse environments.	2	\$8,510.00
<b>Install 3 Exterior Steel Doors w/welded frames, push plates and locks</b> 17.4 Exterior Doors	36 in. x 80 in. Fire-Rated Gray Right-Hand Flush Steel Prehung Commercial Door with Welded Frame	3	\$8,763.00
<b>Folding Shower Bench, Left Handed, Phenolic Seat, ADA Compliant</b> 25.2 Plumbing Fixture Allowance		4	\$2,300.00



<b>Spread Footing for 6' building extension</b> 15.1 Spread Footing		36	\$2,898.00
<b>Trench footings for 6' building extension</b> 15.2 Trench Footing	This assumes we can reuse the footings currently in place	36	\$1,656.00
<b>Electrical Rough-in and finish wiring</b> 27.2 Electrical Materials		735	\$8,452.50
<b>Framing Exterior and Interior walls for 24.5' x 30' building</b> 16.3 Wall Framing		735	\$12,678.75
<b>On demand water heater - 2 places</b> 26.2 Temp Heat	oN DEMAND WATER HEATER FOR BOTH MENS AND WOMENS RESWTROOMS	2	\$3,450.00
<b>Roof Framing</b> 16.4 Roof Framing		735	\$10,143.00
<b>Steel Roofing</b> 24.1 Roofing Materials		1,085	\$9,982.00
<b>Siding</b> 19.5 Siding Materials		987	\$6,810.30
<b>Portland Collection Concrete 47 inch semi-recessed double sink</b> 25.2 Plumbing Fixture Allowance	PORTLAND COLLECTION CONCRETE 47 INCH SEMI-RECESSED DOUBLE SINK	2	\$2,760.00
<b>Blown Fiberglass Insulation in Attic</b> 28.1 Insulation Materials	R-49 Minimum	735	\$2,324.44
<b>Wall Insulation with Fiberglass Batts</b> 28.1 Insulation Materials	R-19 minimum	872	\$1,754.90
<b>Trusscore PVC Ceiling panels in White</b> 29.1 Drywall Materials	20' long, 16" wide, 1/2" thick panels (27 pcs.) Trusscore divider snap in kit (10' long-5 pcs.)	1	\$2,310.00
<b>Trusscore PVC wall panels in White</b> 29.1 Drywall Materials		82	\$2,460.00
<b>Install Trusscore PVC panels throughout</b> 29.1 Drywall Materials		1,605	\$3,230.06

<b>Remove existing concrete slab floor</b> 15.6 Flatwork:15.64 Concrete Demo & Hauling	600	\$4,140.00
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<b>Lockey 2000 Series Keyless Entry Double Combination Mechanical Lever Set with Optional Passage Function</b> 17.4 Exterior Doors:17.41 Hardware	2	\$1,320.00
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<b>Epoxy Coating (Garage Type) finish on floor</b> 32.6 Flooring Materials	720	\$8,280.00
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<b>Excavate job site</b> 12.1 Excavation	720	\$4,968.00
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**Total Price: \$160,285.45**

I confirm that my action here represents my electronic signature and is binding.

**Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Print Name:** \_\_\_\_\_

115

Lake  
Sakakawea

4781



Tobacco Gardens

115

22-00-00600

22-20-00500

117

22-20-00600

144

GARDEN  
IN TWIN  
Y TWP



116



4793

4794

4790

4788

4778

22-00-01220

4785

22-00-00160  
4778

4762

HIGHWAY 1806 W

1806

22-00-00800

4701

153N 97W

0-0-1220

22-06-01210

LeFlore County

145  
123 LN  
140  
22-20-01400  
138  
136  
22-20-016134  
132  
132  
22-20-03130  
126  
127  
22-20-039120  
119  
117  
115  
22-20-04100  
114  
113  
109

CACTUS LN  
TOBACCO GARDEN RESORT IN TWIN VALLEY TWP  
BAYWATCH LN  
TOBACCO GARDEN RESORT IN TWIN VALLEY TWP  
DRIETWOOD RD  
PRAIRIEVIEW DR 01  
EVERGREEN LN  
RAFTER LN

Tobacco Gardens

116

# APPLICATION


## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/28/2023	<b>Project Name</b> Butte City Park Update
<b>Sponsoring Agency Name</b> City of Butte	
<b>Authorized Representative/Title</b> Kristen Striha, Auditor	
<b>Sponsoring Agency Address</b> PO Box 261 Butte, ND 58723	
<b>Phone</b> 701-626-1687	<b>Email</b> cityofbuttend@gmail.com
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> Butte, ND	

**Description of Project Features (if more space is required, please provide separate documentation)**

Our city park is in need of some updates and improvements. The city will hold it's All School Reunion in July, an event that happens regularly since the school closed in 2001. We anticipate 300-400 people in town for the activities and would love to show off some much needed improvements. While our town population is small, many residents here have large extended families and utilize the park space regularly. We are looking to install solar lighting around the basketball court, a handicap accessible swing, a bucket swing, frisbee golf, tether ball, and a Funhoop game, as well as replace chains and seats on existing swings, and rubber mats underneath the swingsets.

<b>Justification of Project</b>	
<small>(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)</small>	
<b>Estimated Number of People Served</b>	300-400
<b>Total Estimated Project Cost</b> <small>(Include volunteer/in-kind donations/work)</small>	\$ 3500.00
<b>Assistance Requested</b> <small>(No more than 25% of project cost unless multi-county sponsored)</small>	\$ 875.00
<b>Applicant's Contribution</b>	\$ 2500.00
<b>Additional Sources of Funding</b>	

<b>Federal Funds Utilized</b> none
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b> Current swing sets need to be replaced. Sandy areas will be level and rubber mats will be installed under swings. Brush will be cleared away from basketball court areas and solar lights will be installed to light both ends of court.
<b>Annual Maintenance Budget</b> \$ 100
<b>Maintenance Provided By</b> City Council members & families, volunteer community members
<b>I Hereby certify that funds in the amount of \$ 2500.00 are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b> SIGN HERE 
<b>Printed Name/Title</b> Kristen Striha, Auditor
<b>Date</b> 02/28/2023

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Handicap, saucer & bucket swing, rubber coated chains	1 of each swing	\$1200.00
Funhoop game, Tetherball & Frisbee Golf	1	\$730.00
Rubber mats	6 4x2 foot section	\$300.00
Commercial grade belt swings, rubber coated chains	5 swings	\$405.00
Solar lights for basketball court	2	\$360.00

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org

**Recreation Grant Program**

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**From:** KRISTEN STRIHA <cityofbutte@gmail.com>  
**Sent:** Tuesday, February 28, 2023 7:22 PM  
**To:** Recreation Grant Program  
**Subject:** recreation grant application  
**Attachments:** 2-6-23 minutes.docx; Grant app page 1.pdf; Grant app page 2.pdf

Good evening,

The Butte City Council is looking to make some improvements to our City Park. The school closed in 2001, but the park continues to host families for quick games of basketball, picnics, and swinging in the shade. As we prepare for our upcoming All-School Reunion, we feel like now would be an excellent time to move ahead with some simple improvements.

We estimate about \$500 dollars of in-kind labor will be used in the effort to install several new permanent games, solar lighting on the basketball court, remove and reinstall updated swings.

We thank you in advance for your consideration in helping us with this project!

Kristen Striha  
City of Butte, Auditor

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/28/23	<b>Project Name</b> ARENA ANNOUNCER OFFICE & CONCESSION BUILDING
<b>Sponsoring Agency Name</b> MCLEAN COUNTY FAIR BOARD	
<b>Authorized Representative/Title</b> DIANE SCHELL - PRESIDENT, MCLEAN COUNTY FAIR BOARD	
<b>Sponsoring Agency Address</b> PO BOX 103, UNDERWOOD, ND 58576	
<b>Phone</b> 701-220-3841	<b>Email</b> dschell5596@gmail.com
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> MCLEAN COUNTY FAIRGOUNDS, UNDERWOO, ND	

**Description of Project Features (if more space is required, please provide separate documentation)**

The Fair Board plans to construct a 16'x16', stick built structure, on a concrete slab, that will be used for the horse arena event announcers and score keepers, registration for events at the arena, storage for the Mustang 4H club's equipment and Fair Bd. equipment, and a concession area during events. The building will have metal siding and a metal roof, doors, and windows. The building will be split level with the east half raised for the announcers and score keepers and the west half ground level for event registrations, concessions, and equipment storage. It will replace a small shed, built in 1970. The new building will be placed alongside the outside of the arena fencing closer to the middle of the arena, as requested by the Max Rodeo Association, who handle our events at the arena during the Fair.

Justification of Project	
(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	3,000 people during the Fair, the Mustang 4H group & other 4H event participants
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 27,800.00
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 6,950.00
<b>Applicant's Contribution</b>	\$ 12,285.00
<b>Additional Sources of Funding</b>	
Falkirk Mining Company - \$1,500, Great River Energy - \$1,500, Kyle Giffey Memorials - \$3,565, Rainbow Energy Center - concrete (apprx. - \$2,000) = Total \$8,565.00 donated to the Fair Board	



<b>Federal Funds Utilized</b> No
<b>Describe the Project Site As Is and Proposed Changes</b> (Tree Removal, Drainage Filled, Etc.) The site is located at the McLean County fairgrounds. It is a level area, needing very little dirt work with no trees. Some gravel may be needed around the building after construction is completed.
<b>Annual Maintenance Budget</b> \$ \$500 for gravel around bldg., \$100 for bldg.
<b>Maintenance Provided By</b> McLean County Fair Board
<b>I Hereby certify that funds in the amount of \$</b> 20,850.00 <b>are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b> SIGN HERE <i>Diane Schell - Pres. - McLean Co. Fair Bd.</i>
<b>Printed Name/Title</b> Diane Schell - President, McLean County Fair Board
<b>Date</b> 2/28/2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Construction Material	Garrison Lumber	12,500.00
Construction Labor	Adam Wilcox	4,500.00
Concrete	6 yards - Knife River	2,000.00
Concrete Labor	Schumaier Concrete	3,783.00
Electrical		5,000.00

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org



MINOT • BISMARCK • GREAT FALLS • BILLINGS

MINOT, ND • 701-852-1301  
800-437-8038  
FAX 701-852-8929

BILLINGS, MT • 406-652-3610  
800-548-7170  
FAX 406-652-6375

BISMARCK, ND • 701-223-2212  
800-223-7212  
FAX 701-223-7982

GREAT FALLS, MT • 406-761-7530  
800-847-0125  
FAX 406-761-1416

12,300 -

Garrison  
Lumber  
estimate

24	- 2x4-10'-STD - 6 <sup>79</sup>	163
50	- 2x4-12'-STD - 8 <sup>39</sup>	420
19	- 2x10-20'-STD - 35 <sup>39</sup>	390
45	- 2x4-16'-STD - 11 <sup>69</sup>	527
11	- 2x4-20'-STD - 17 <sup>09</sup>	188
2	- 2x6-16'-STD - 15 <sup>79</sup>	32
2	- 1x6'-L.V.L. - 247 <sup>89</sup>	496
9	- 2x6-8'-STD - 6 <sup>89</sup>	63
4	- 4x8-3/4-C.D.X - 47 <sup>89</sup>	192
5	- 2x6-12'-TR - 13 <sup>89</sup>	70
2	- 2x6-18'-TR - 13 <sup>39</sup>	27
28	- 5/4x6-12'-Decking - 9 <sup>79</sup>	226
4	- 2x12-10'-TR - 30 <sup>19</sup>	121
4	- 4x4-8'-TR - 14 <sup>49</sup>	58
1	- 6° shed Door -	1789
1	- 3° walk Door -	819
8	- 2x4-12'-TR - 12 <sup>29</sup>	163
6	- 5/4x6-12'-TR - 9 <sup>29</sup>	59
45	- 2x2-8'-TR - 5 <sup>29</sup>	239
3	- 3°x3° S.Haug -	2400
2	- 3°x4° - S.Haug -	
1	- 8°x4° - Pic -	
6	- 18'-6" PPII - 79 <sup>39</sup>	479
19	- 16'- PPII - 68 <sup>49</sup>	1236
6	- 14'- PPII - 60 <sup>09</sup>	361

WHOLESALE BUILDING SUPPLY DISTRIBUTORS

25	- J-channel - 12 <sup>09</sup>	302
32	- pcs 1'-soffit - 6 <sup>79</sup>	218
8	- Base mold - 11 <sup>59</sup>	93
4	- Soffit starter - 38 <sup>39</sup>	154
4	- 7/4" Postwrap - 27 <sup>09</sup>	109
6	- 10'-6" Raked corner - 26 <sup>09</sup>	159
4	- 16'-6" Raked corner - 40 <sup>79</sup>	164
2	- 2x6 S.W.C. mold - 19 <sup>79</sup>	40
6	- 1/2 Closure - 2 <sup>00</sup>	12
100	- 4" sill sealer - 130	30
4	- 2x4-11'-TD - 11 <sup>29</sup>	66

**Schumaier Concrete Construction, LLC**

256 2nd St SE  
Garrison, ND 58540

701-463-2218 home  
701-661-0314 cell  
701-500-0672 cell

Date	Estimate #
2/26/2023	2046

Name / Address
McLean County Fair Board

Terms	Project

Description	Qty	Total
Concrete 18'x22'x4" with footings 12"x12"x80' pad	7.25	3,335.00
rebar	28	448.00

This is only an estimate. Any add ons or changes made after initial estimate, will be added to your final bill. If any excavation done not to elevation standards, will be fixed and additional charges will be added to your final bill. All flat work will be bid with 4000 PSI concrete. Fifty percent of total estimate is due when project is started. Any work done after October 1st maybe subject to winter charges.

<b>Total</b>	\$3,783.00
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124

West sidewall

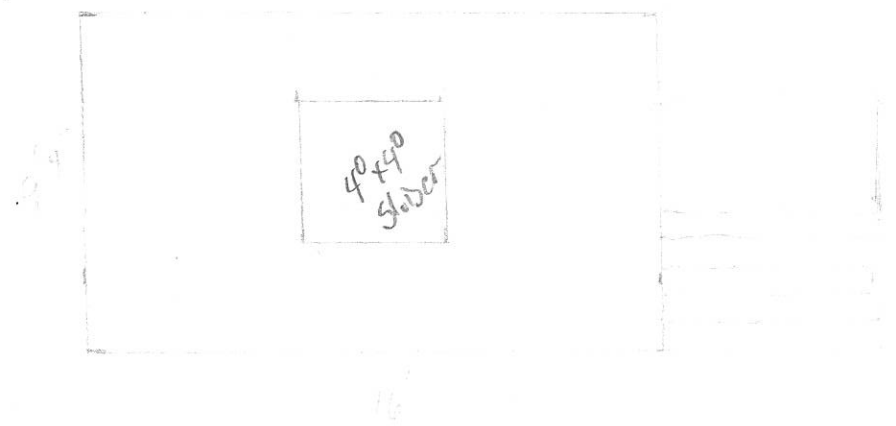
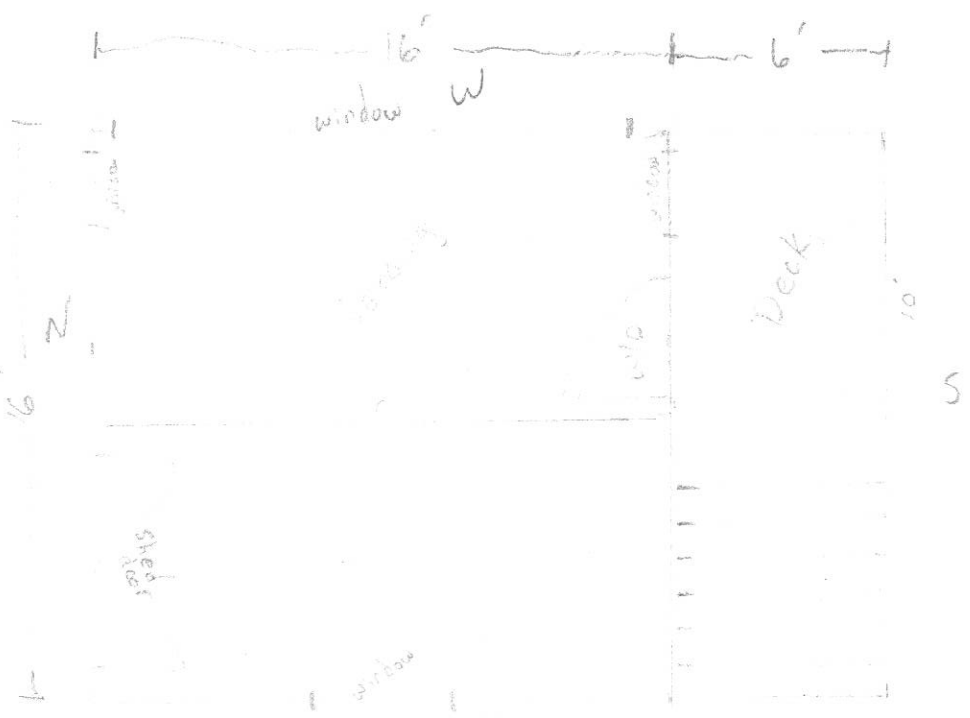
16'

South Side

North Side



Adam Crowds Nest 16'



124

bing maps

Underwood

Population: 771 (2016)

Area: 0.91 sq miles

Type your notes here.

- McLean County Fairgrounds
- Arena



Data from: Wikipedia

**APPLICATION****Garrison Diversion Conservancy District Matching Recreation Grant Program**

<b>Date of Application</b> 2/23/2023	<b>Project Name</b> Nelson Park and Community Garden
<b>Sponsoring Agency Name</b> Washburn Park Board	
<b>Authorized Representative/Title</b> Judy Beaudry, Park Board member by vote	
<b>Sponsoring Agency Address</b> PO Box 551, Washburn, ND 58577	
<b>Phone</b> 701-220-4410	<b>Email</b> jbeaudry@westriv.com
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> 1058 De Mores Avenue, Washburn, ND 58577	

**Description of Project Features (if more space is required, please provide separate documentation)**

The property for this park is 1.8 acres which is a nice size for a recreation equipment on one portion and the Community Garden on another. we will fence 2 sides to allow home sites their privacy. The garden will also be fenced. The park will be open to the street. At this time almost no traffic so it will bne safe for neighborhood children. The Park itself is flat and condusive to a playground. Also it is on the North side of Hwy 83. A newer addition that does not have any recreational spots. We plan to create a summer location to give access to the entire community for music.

**Justification of Project**

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)

**Estimated Number of People Served** 800 on a regular basis and more for special events.


**Total Estimated Project Cost** \$ \$63,750 - \$70,000  
(Include volunteer/in-kind donations/work)

**Assistance Requested** \$ \$17,500  
(No more than 25% of project cost unless multi-county sponsored)

**Applicant's Contribution** \$ \$52,500

**Additional Sources of Funding**

Fund Raise - HAMBURGER FEED, Outdoor Breakfast

<b>Federal Funds Utilized</b> \$0
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b> Childrens Park with a community garden. The lots will be leveled, groomed and prepared for swings and playground equipment, and the garden will be fenced. Some trees will be removed and water lines will be set underground.
<b>Annual Maintenance Budget</b> \$ \$4148.20
<b>Maintenance Provided By</b> Washburn Parks and Rec
<b>I Hereby certify that funds in the amount of \$ \$65,000 are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b> <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 10px;">SIGN HERE</div>  </div>
<b>Printed Name/Title</b> Mark Lelm, Washburn Park Board President
<b>Date</b> 2/25/2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Excavation and tree removal\$		\$7,000.
Playground Equipment, picnic table, curbing		\$26,000
Garden soil, manure, posts, panels and weed mesh		\$10,000
Water system, hydrant on property		\$3,000
Fence,		\$5,000

- APPLICATION MUST INCLUDE THE FOLLOWING:**
1. Authorized signature of sponsoring agency
  2. Resolution or minutes approving the project
  3. City or county plat map of the proposed project location
  4. Breakdown of estimated expenses

**QUESTIONS?**  
 Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

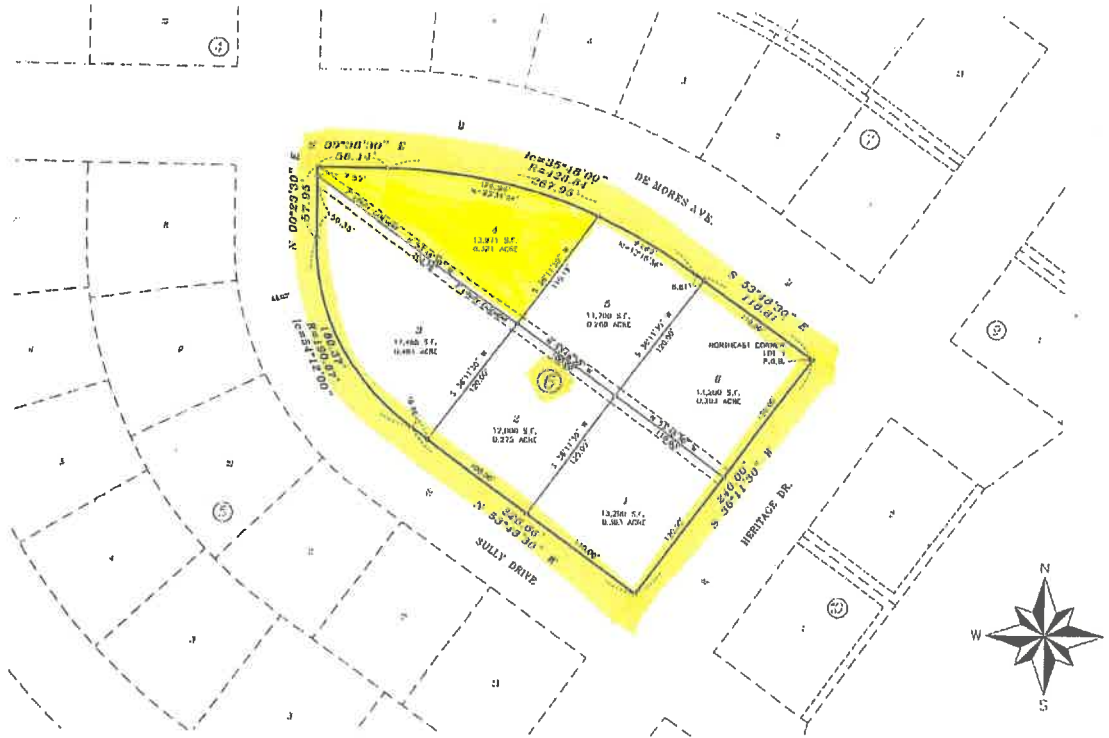
**READY TO SUBMIT?**  
 Mail completed application with required documentation to  
 Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

# HERITAGE HEIGHTS PIONEER ADDITION, BLOCK 6 REPLAT

## WASHBURN, NORTH DAKOTA

A REPLAT OF BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA.

OWNER: HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA.



### PLAT LEGEND

- DEMOTES MONUMENT FOUND
- DEMOTES LOT CORNERS
- - - DEMOTES EASEMENT LINE

### PLAT INFORMATION

6 LOTS - 1 BLOCK  
LOT ACREAGE - 1.872 ACRES  
STREET ACREAGE - 11.000 ACRES  
TOTAL ACREAGE - 1.872 ACRES

### NOTES

EASEMENTS SHOWN HEREIN ARE 7 FEET IN WIDTH AND PARALLEL TO LOT LINES UNLESS OTHERWISE NOTED.



### OWNER'S CERTIFICATE AND DEDICATION

I, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE COPY OF THE PLAT AS IT APPEARS IN THE PUBLIC RECORDS OF McLEAN COUNTY, NORTH DAKOTA, AND THAT THE SAME IS CORRECT AND COMPLETE IN ALL RESPECTS.

STATE OF NORTH DAKOTA, COUNTY OF McLEAN

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

STATE OF NORTH DAKOTA, COUNTY OF McLEAN

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

### OWNER'S CERTIFICATE AND DEDICATION

I, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE COPY OF THE PLAT AS IT APPEARS IN THE PUBLIC RECORDS OF McLEAN COUNTY, NORTH DAKOTA, AND THAT THE SAME IS CORRECT AND COMPLETE IN ALL RESPECTS.

STATE OF NORTH DAKOTA, COUNTY OF McLEAN

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

STATE OF NORTH DAKOTA, COUNTY OF McLEAN

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

### DESCRIPTION

A REPLAT OF BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA. COMMENCING AT THE NORTHWEST CORNER OF SAID BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND PROCEEDING ALONG THE EASTLY LINE OF SAID BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, A DISTANCE OF 11,000 FEET, TO THE POINT OF BEGINNING, THENCE ALONG THE SOUTH AND WEST LINES OF SAID BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, TO THE POINT OF BEGINNING, THENCE ALONG THE WEST LINE OF SAID BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, BLOCK 6, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, A DISTANCE OF 11,000 FEET, TO THE POINT OF BEGINNING.

### SURVEYOR'S CERTIFICATE

I, HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, HEREBY CERTIFY THAT THE ABOVE PLAT IS A TRUE COPY OF THE PLAT AS IT APPEARS IN THE PUBLIC RECORDS OF McLEAN COUNTY, NORTH DAKOTA, AND THAT THE SAME IS CORRECT AND COMPLETE IN ALL RESPECTS.

STATE OF NORTH DAKOTA, COUNTY OF McLEAN

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

### CITY PLANNING AND ZONING COMMISSION

APPROVED BY THE McLEAN COUNTY PLANNING AND ZONING COMMISSION AS A READING MATTER ON THE 15th DAY OF SEPTEMBER, 2008.

ATTEST: COUNTY CLERK

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

STATE OF NORTH DAKOTA, COUNTY OF McLEAN

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

### BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE McLEAN COUNTY BOARD OF COUNTY COMMISSIONERS AS A READING MATTER ON THE 15th DAY OF SEPTEMBER, 2008.

ATTEST: COUNTY CLERK

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

STATE OF NORTH DAKOTA, COUNTY OF McLEAN

ON THIS 15th DAY OF SEPTEMBER, 2008, BEFORE ME PERSONALLY APPEARED HERITAGE HEIGHTS PIONEER ADDITION, NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 13, TOWNSHIP 144 NORTH, RANGE 82 WEST, McLEAN COUNTY, NORTH DAKOTA, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

### CERTIFICATE OF COUNTY AUDITOR

DEVELOPMENT TAXES AND SPECIAL ASSESSMENTS ON INSTALLMENTS IN SAID CASE AND MONUMENTS PAID AND TRANSFERRED THEREON THIS 15th DAY OF SEPTEMBER, 2008.

CURRENT TAXES OR CURRENT SPECIAL ASSESSMENTS OR INSTALLMENTS OF SPECIAL ASSESSMENTS ARE DUE IN THE AMOUNT OF \$0.00.

McLEAN COUNTY RECORDER

FILED FOR RECORD THIS 15th DAY OF SEPTEMBER, 2008 AT McLEAN, NORTH DAKOTA.

McLEAN COUNTY RECORDER





# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/24/2023	<b>Project Name</b> Sportsmens Centennial Park Boat Ramp Reconstruction
<b>Sponsoring Agency Name</b> McLean County	
<b>Authorized Representative/Title</b> Beth A Knutson/Auditor	
<b>Sponsoring Agency Address</b> 712 5th Ave, Washburn ND 58577	
<b>Phone</b> (701) 462-8541	<b>Email</b> baknutson@nd.gov
<b>Contact Name for Project</b> (If different than above) SAME AS ABOVE	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b>	

**Description of Project Features (if more space is required, please provide separate documentation)**

McLean County plans to cooperate with the ND Game & Fish to reconstruct a new poured concrete boat ramp to replace the existing brokenup and deteriorated fly ash/cement ramp at McLean County's Sportsmens Centennial Park at the site shown on the attached ariel photograph NW4 25-148-84. The new ramp will replace the existing concrete ramp and will be constructed utilizing the "Pour and Push" methods shown on the attached plans and specifications. The old ramp will be removed. Site preparation and some fill will be required to prepare the proper 12% slope. The new ramp will be 32' x 200' x 6" top elevation will be 1846 bottom elevation will be 1820. Riprap will be placed along ramp to prevent erosion and undermining.

Justification of Project	
(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	45,000, all ages, this will help keep the park modern and up-to-date
<b>Total Estimated Project Cost</b> (include volunteer/in-kind donations/work)	\$ 100,000
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 6,250.00
<b>Applicant's Contribution</b>	\$ 18,750.00
<b>Additional Sources of Funding</b>	
McLean County also has \$6,500 in donations from Totten Trail gaming that can be used for anything over the county's \$18,750.00 contribution.	

<b>Federal Funds Utilized</b>	\$75,000.00;ND Game and Fish will provide 75% of the Funding-see attached email.	
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	County owned camping park with boat ramp access, the current boat ramp will be removed and replaced.	
<b>Annual Maintenance Budget</b>	\$ ATTACHED	
<b>Maintenance Provided By</b>	McLean County	
<b>I Hereby certify that funds in the amount of \$ 5,000 are available for this project.</b>		
<b>Authorized Signature of Sponsoring Agency</b>	<b>Beth A. Knutson</b>	Digitally signed by Beth A. Knutson Date: 2023.02.24 13:04:41 -06'00'
<b>Printed Name/Title</b>	Beth A Knutson/Auditor	
<b>Date</b>	2/24/2003	

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
ATTACHED		

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to  
**Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org**

## Estimated Costs for Sportsmen Centennial Park New main ramp project 2023

Ramp is 32'x200'

Rock riprap 200yds3

Base material 200yds3

Rock \$10,000

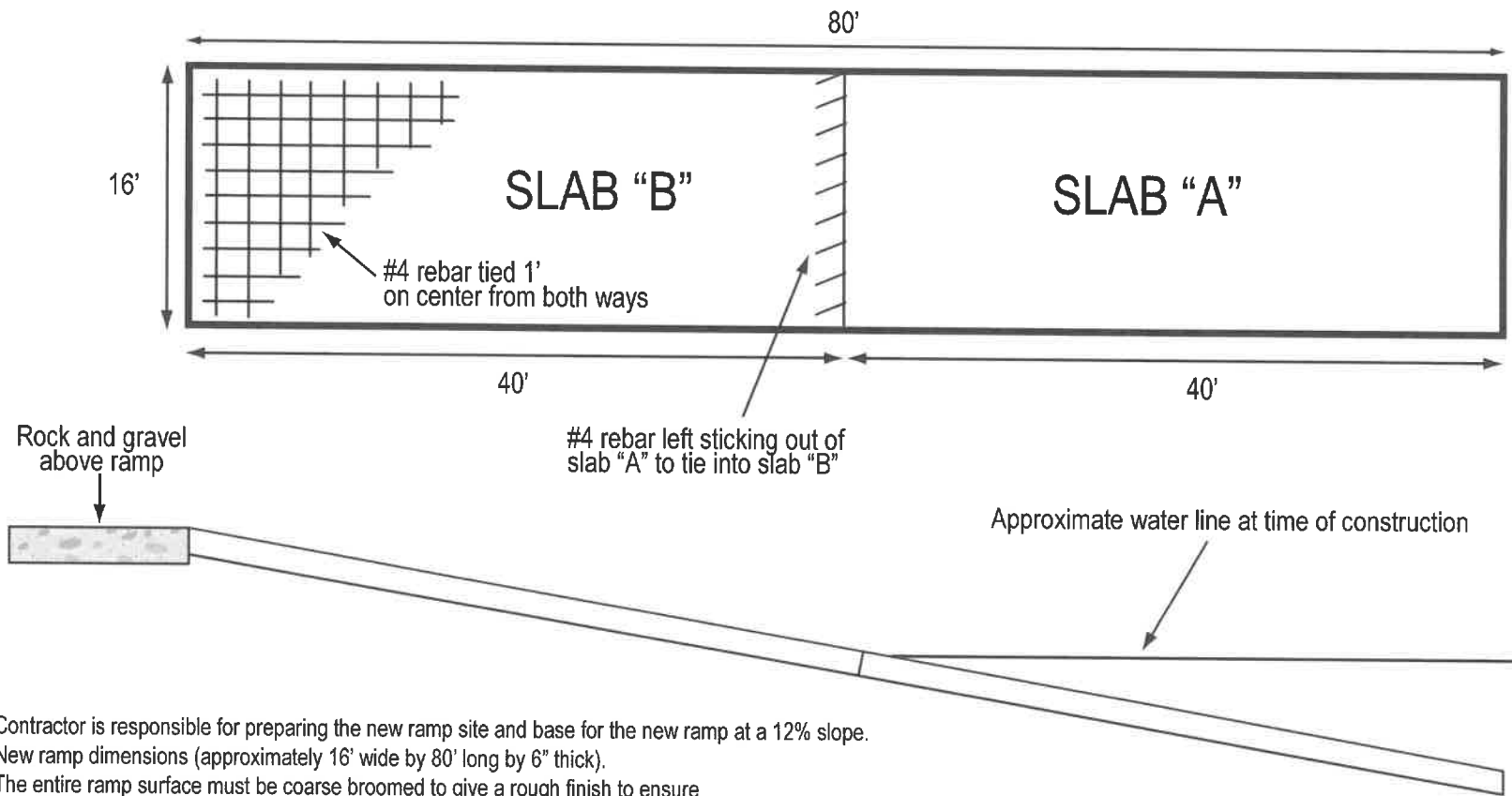
Mobilization \$5,000

Site/bed prep \$5,000

Ramp \$75,000

Base material \$5,000

Grand Total \$100,000



1. Contractor is responsible for preparing the new ramp site and base for the new ramp at a 12% slope.
2. New ramp dimensions (approximately 16' wide by 80' long by 6" thick).
3. The entire ramp surface must be coarse broomed to give a rough finish to ensure vehicular traction.
4. The contractor shall use type 1 cement with a 28 day compressive strength of 4000 lb/sq. inch consisting of a 6-bag mix.
5. Slab "A" will be poured in place on dry ground from the water line upward. After curing, it will be pushed out into the lake using a cat/dozer. Rebar should be left sticking out of the upper end of slab "A" so that slab "B" can be tied together with slab "A" to create one continuous concrete slab.
6. Slab "B" will then be poured in place from the upper end of slab "A", upward to the top of the bank. The top of the ramp must be located above the ordinary high water mark.
7. Class 5 road gravel shall be placed and compacted above the new ramp to provide a consistent and uniform slope and approach and turnaround for the boat ramp.
8. (Optional) Both sides of the ramp shall be rip-rapped the entire length with rock not to exceed 12" in diameter. Rip-rap shall be placed so that it is not higher than the ramp surface. Rip-rap should be bid on a cost per ton basis and listed as a separate item.

<b>Generic Plans - "Pour &amp; Push" Method</b>		
(Boat Ramp Specifications)		DRAWN BY
		REVISED
<b>NORTH DAKOTA GAME AND FISH DEPARTMENT</b>		
DATE	APPROVED BY	DRAWING NUMBER
3/31/08	(not to scale)	1 OF 1

Sportsman Centennial Park  
McLean County

Project Location  
NW4 25 148 84



**APPLICATION****Garrison Diversion Conservancy District Matching Recreation Grant Program**

<b>Date of Application</b> 2/7/2023	<b>Project Name</b> Rugby Jaycees Splashpad
<b>Sponsoring Agency Name</b> Rugby Park Board	
<b>Authorized Representative/Title</b> Tonla Dosch	
<b>Sponsoring Agency Address</b> PO Box 282, Rugby ND 58368	
<b>Phone</b> 701.776.5230	<b>Email</b> toniadosch@hotmail.com
<b>Contact Name for Project</b> Karin Fritel (if different than above)	
<b>Address</b> PO Box 384, Rugby ND 58368	
<b>Phone</b> 701-537-3532	<b>Email</b> karinfritel12@gmail.com
<b>Project Location</b> Rugby Jaycees Park	


**Description of Project Features (if more space is required, please provide separate documentation)**

Rugby Jaycees are applying for this grant to help fund a splashpad, the splashpad will directly benefit the Rugby and surrounding communities and host thousands of people a year. Our goal is to offer a free and fun way to promote a healthy lifestyle by keeping people (ages 0-99) active and outside in the summer months. The splashpad will have a recirculation system in order to recycle water. The location for the splashpad will be added to the Rugby Jaycees Park and plans to be operational June 2023. The splashpad will combine misting, spraying and splashing water and even a slide for fun for everyone. (see attached pictures)

**Justification of Project**

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)

<b>Estimated Number of People Served</b>	3000 people annually from Rugby and surrounding areas for people aged 0-99
<b>Total Estimated Project Cost</b> (include volunteer/in-kind donations/work)	\$ 360,806.53
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 75,000.00
<b>Applicant's Contribution</b>	\$ 200,000.00
<b>Additional Sources of Funding</b>	
Jaycee State Foundation Grant - \$10,000.00	

<b>Federal Funds Utilized</b>	
Describe the Project Site As Is and Proposed Changes (Trees Removal, Drainage Filled, Etc.) Project site will need a 50X80 spot leveled and fill brought in for sloped areas; trees will be removed/transplanted	
Annual Maintenance Budget	\$ 2,000.00 to 5,000.00
Maintenance Provided By	Rugby Park Board
I Hereby certify that funds in the amount of \$ 200,000.00 are available for this project.	
Authorized Signature of Sponsoring Agency	 <b>SIGN HERE</b>
Printed Name/Title	Tonia M. Dosch / Park Board Chairperson
Date	2-14-2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Q & R Structure Quote (attached)		\$148,342.00
Waterplay Quote (attached)		\$212,464.53
B& J Excavating - level & fill		no quote submitted yet
Rugby Park Board - tree removal/transplanting		

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org



**QUOTE**

**Q & R Structures, LLC**

2715 Lincolnton Hwy  
 980.240.3542  
 robinhollar@qrstructures.com

INVOICE # NO.1130  
 DATE: 09.13.2022

EXPIRATION DATE 12.22.22

TO Rugby Park District  
 223 S Main Ave  
 Rugby, ND 58368

Sourcewell Rugby Park District Account Number: 223227  
 Sourcewell Waterplay Solutions Corp. Contract #010521-WTR

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
Robin Hollar	Rugby Park Splash Pad	50% upon acceptance, 25% due at concrete pour, net due upon completion	

QTY	DESCRIPTION	UNIT PRICE	LINE TOTAL
1	Installation of recirculating splash pad to include dirt work, excavation for tank and recirculation cabinet, leveling bases, plumbing from filter cabinet to features, from drains to holding tank, from recirculation cabinet to holding tank low voltage wiring, granular back fill, rebar, concrete with a light broom finish	\$148,342.00	\$148,342.00
	Any additions or change orders are not included in this quote and would be handled on an individual basis.		
	**Rock that cannot be excavated through, poor soil conditions, water and unforeseen site conditions may incur additional charges.		
	50% Deposit \$85,501.75 25% At Concrete Pour \$42,750.88		
	Subtotal	\$148,342.00	
		SALES TAX	
		TOTAL	\$148,342.00

Quotation prepared by: Robin Hollar

This is a quotation on the goods named, subject to the conditions noted below: Describe any conditions pertaining to these prices and any additional terms of the agreement. You may want to include contingencies that will affect the quotation.

To accept this quotation, sign here and return:

**THANK YOU FOR YOUR BUSINESS!**

# QUOTE



**Waterplay Solutions Corp.**  
**805 Crowley Ave**  
**Kelowna, British Columbia**  
**V1Y 7G6 Canada**

**Phone:** 1.250.712.3393  
**Fax:** 1.250.861.4814  
**Toll Free:** 1.888.890.6257 (USA & CAN)  
**Website:** www.waterplay.com

**Prepared For:** Bruce Pudwill  
**Quote No:** QUO-07438  
**Revision:** 4  
**Title:** Rugby Splash Pad, Rugby, ND Quote v.4  
**Quote Date:** 12/13/2022  
**Expiry Date:** 3/13/2023  
**Sales Rep:** Evelyn Hernandez  
**Email:** evelyn.hernandez@makrgroup.com

### Customer Information

**Customer:** Midwest Playscapes  
**Telephone:** 800-747-1452  
**Payment Terms:** 50%O 50%S (50% to order/50% to ship)  
**Currency:** USD  
**Project Name:** Rugby Splash Pad  
**Freight Terms:** FCA-Origin Kelowna BC  
**PO Number:**  
**Notes:**  
 Sourcewell Quote:  
 Rugby Park District, ND member ID# 223227  
 Waterplay Solutions Corp. contract # 010521-WTR

**Bill To:** Midwest Playscapes  
 8632 Eagle Creek Circle  
 Savage MN  
 55378 USA  
**Main Freight Quoted To:** Bruce Pudwill  
 Midwest Playscapes  
 Rugby ND  
 58368 USA  
**Pre-ship Freight Quoted To:** Bruce Pudwill  
 Midwest Playscapes  
 Rugby ND  
 58368 USA

### LINE ITEMS

Part ID	Qty	Description	Pre-ship	MSRP	Extended Price
0010-9095	1.00	Mini Series K100	N	\$63,700.00	\$63,700.00
0010-6350	1.00	Mini Series 100 Graphics	N	\$2,655.00	\$2,655.00
0010-0377	1.00	FS Spiral Tunnel (4 Pc) (8x playPHASE, 4x Jig 0010-5570)	N	\$11,630.00	\$11,630.00
0010-0485	1.00	FS Fun-Brella	N	\$1,240.00	\$1,240.00
0010-9815	1.00	GS Team Effect Mini	Y	\$3,710.00	\$3,710.00
0010-0507	11.00	playPHASE Base	Y	\$580.00	\$6,380.00
0010-7474	1.00	GS Buttercup	Y	\$745.00	\$745.00
0010-7482	2.00	GS Split Spurt	Y	\$745.00	\$1,490.00



## QUOTE

## FUN BUILDS

**Waterplay Solutions Corp.**  
**805 Crowley Ave**  
**Kelowna, British Columbia**  
**V1Y 7G6 Canada**

**Prepared For:** Bruce Pudwill  
**Quote No:** QUO-07438  
**Revision:** 4  
**Title:** Rugby Splash Pad, Rugby, ND Quote v.4

## LINE ITEMS

LINE	QTY	DESCRIPTION	UNIT	PRICE	TOTAL
0010-7491	3.00	GS Lily Pad Solo Spurt nozzles x3 Graphic required: Choose a Standard Graphic from our Collection, free of charge. (Purchase 3 or more Lily Pads and receive a 5% discount)	Y	\$1,080.00	\$3,240.00
0010-7479	3.00	GS Misty Mountain	Y	\$745.00	\$2,235.00
0010-7477	1.00	GS Fountain Mountain	Y	\$745.00	\$745.00
0010-5847	1.00	PP Geyser Low Flow Kit	N	\$265.00	\$265.00
0010-7489	3.00	GS Tulip	Y	\$745.00	\$2,235.00
0010-1854	1.00	Activator Power Post	N	\$2,055.00	\$2,055.00
0010-5570	4.00	Jig Emb Install 83.75 CC	Y	\$105.00	\$420.00
0010-2244	1.00	16 Output Expansion Add On (Ships to Vak Pak)	Y	\$1,440.00	\$1,440.00
0010-2248	1.00	Controller WTS by Others Ships to Vak Pak (Surge Protection Panel 0002-1113 recommended)	Y	\$7,215.00	\$7,215.00
0010-2614	1.00	Manifold 12V 4 Header 4 Port (Ships to Vak Pak)	Y	\$8,935.00	\$8,935.00
DRA-00007	2.00	Drain 12in square 6in Outlet Grey	Y	\$355.00	\$710.00
FREIGHT-US	1.00	Freight USA Vak Pak Ship - Manifold & Controller (Price will be re-quoted at time of Order)	Y	\$1,500.00	\$1,500.00
FREIGHT-US	1.00	Freight USA Pre Ship- Embeds (Price will be re- quoted at time of Order)	Y	\$1,150.00	\$1,150.00
FREIGHT-US	1.00	Freight USA Main Ship- Features (Price will be re- quoted at time of Order)	N	\$5,375.00	\$5,375.00



# QUOTE

# FUN BUILDS

**Waterplay Solutions Corp.**  
**805 Crowley Ave**  
**Kelowna, British Columbia**  
**V1Y 7G6 Canada**

**Prepared For:** Bruce Pudwill  
**Quote No:** QUO-07438  
**Revision:** 4  
**Title:** Rugby Splash Pad, Rugby, ND Quote v.4

**LINE ITEMS**

VP-1000	1.00	Vak Pak WTS Price includes freight (ships directly from manufacturer)	N	\$114,218.55	\$114,218.55
VIP-ACTIVITY TOWER	1.00	Promotion - Activity Tower	N	\$-2,818.73	\$-2,818.73
VIP-LILYPADS	1.00	Promotion - Lily Pads	N	\$-127.17	\$-127.17

<b>MSRP:</b>	<b>\$240,342.65</b>
<b>Discount:</b>	<b>\$27,878.12</b>
<b>Total MSRP:</b>	<b>\$212,464.53</b>
<b>Deposit Required (50%):</b>	<b>\$106,232.27</b>

Waterplay has partnered with Marlin Capital Solutions to provide flexible product financing options to our customers, moving your project from a capital cost to an operational expense.

If interested in financing your aquatic play project, please visit our website at [www.waterplay.com/en/marlin-financing-options/](http://www.waterplay.com/en/marlin-financing-options/) and click the "Calculate a Finance Quote" button to view quote estimates and submit a preliminary application. Our financing expert will get in touch with you to discuss financing details and next steps. Once approved, Marlin will provide the documentation for you to sign with the agreed-upon monthly payment and term. It's really that easy!

**WATERPLAY EQUIPMENT DOES NOT INCLUDE**

Unless otherwise specified, Waterplay equipment DOES NOT include the following:

- Engineered drawings;
- Installation of equipment or other site amenities;
- Specialty fittings, flex couplers or other similar types of joining;
- Field piping/plumbing, double check valves, in-line strainer;
- Power supply, electrical conduit, wiring, connection fittings;
- Electronic solenoid valves (only included with the purchase of a Waterplay manifold).

**COMPLIANCE WITH CODES AND STANDARDS**

Waterplay Solutions Corp. is an equipment manufacturer. We participate in ASTM panels for the aquatics industry and make every effort to ensure that our product will meet or exceed the ASTM standards. Waterplay also aims to ensure that most of our features are ADA compliant but some structures will fall outside of this compliance. It is the Customer's responsibility to ensure that any requirements to meet ADA compliance are duly noted prior to placing the order.

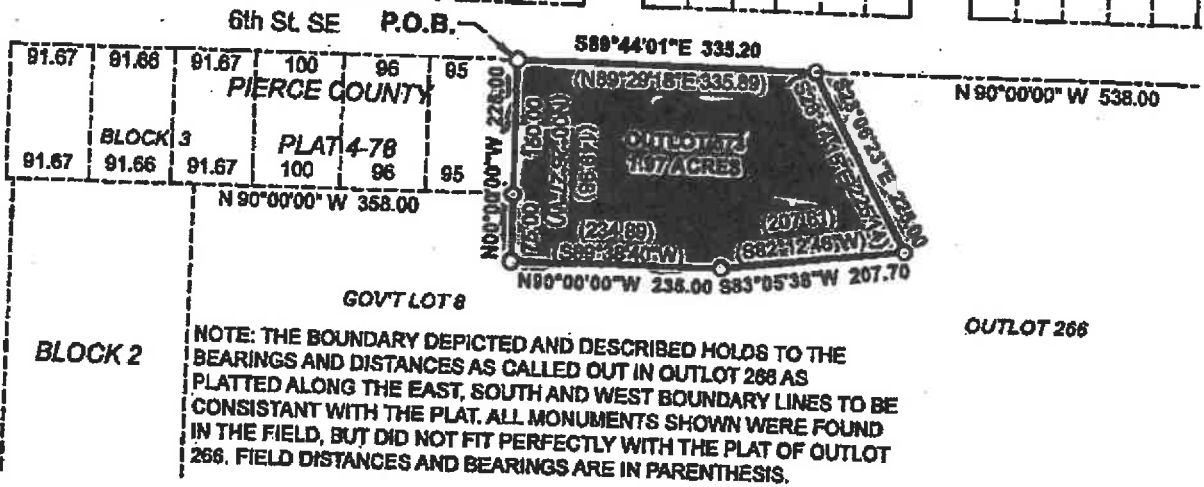
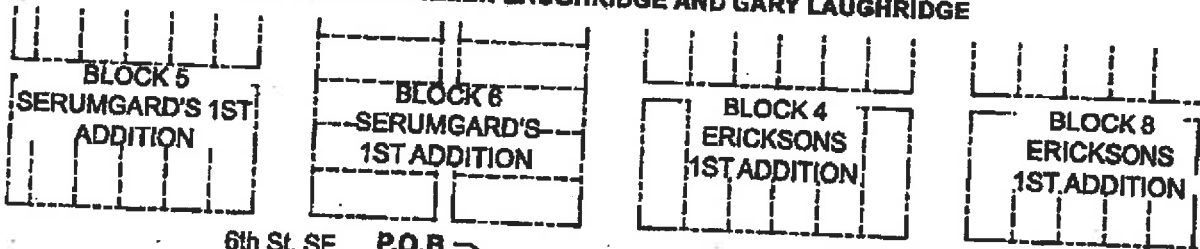
Waterplay products are purchased and installed all over the world; unfortunately it is not possible for Waterplay to







PART OF GOVERNMENT LOT 8,  
SECTION 1, TOWNSHIP 156 NORTH, RANGE 73 WEST  
PIERCE COUNTY, NORTH DAKOTA  
PROPRIETORS: HELEN LAUGHRIDGE AND GARY LAUGHRIDGE



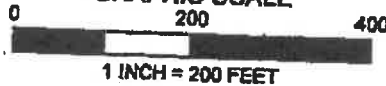
DESCRIPTION OF OUTLOT 573:

A part of Government Lot 8, Township 156 North, Range 73 West of the 5th P.M., Pierce County, North Dakota described as follows:  
Beginning at the Northeast corner of Lot 6, Block 3, Pierce County Plat 4-78; thence S89°44'01"E along the South line of 6th St. SE a distance of 335.20; thence S28°06'23"E along the boundary line of Outlot 266 a distance of 225.00 feet; thence S83°05'38"W along said boundary line a distance of 270.70 feet; thence N90°00'00"W along said boundary line a distance of 235.00 feet; thence N00°00'00"W along said boundary line a distance of 225.00 feet to the point of beginning. Contains 1.97 acres, more or less. Subject to all valid easements, restrictions, and reservations.



NORTH

GRAPHIC SCALE



- FOUND MONUMENT
- BOUNDARY LINE FIELD
- LOT LINE
- RIGHT OF WAY LINE
- FIELD BRG./DIST.



I, David K. Hovendick, a duly Registered Land Surveyor in the State of North Dakota, do hereby certify that a field survey was conducted by me, or under my direct supervision, that monuments were placed in the ground as shown, and that all bearings and distances are correct to the best of my knowledge.

David K. Hovendick Date

FEB 27 2023

**APPLICATION****Garrison Diversion Conservancy District Matching Recreation Grant Program**

<b>Date of Application</b> 02/22/23	<b>Project Name</b> Mohall Splashpad Phase II
<b>Sponsoring Agency Name</b> Mohall Park District/City of Mohall	
<b>Authorized Representative/Title</b> Cheryl Overby, Mohall Park District Clerk	
<b>Sponsoring Agency Address</b> PO Box 476	
<b>Phone</b> 701-756-6464	<b>Email</b> cityhall@srt.com
<b>Contact Name for Project</b> (if different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> Mohall City Park	

**Description of Project Features (if more space is required, please provide separate documentation)**

The Mohall Splashpad Phase II project includes the need for a 2" waterline to be installed to service the new splashpad. The existing 1.5" waterline at the location will not provide the amount of water needed to make the bathhouse and splashpad function simultaneously. The most cost-efficient option is to bore a new 2" line from the water main to the manifold cabinet of the splashpad and will only be used to supply the splashpad.

**Justification of Project**

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)

<b>Estimated Number of People Served</b>	696
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 27,500.00
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 6,875.00
<b>Applicant's Contribution</b>	\$ 20,700.00
<b>Additional Sources of Funding</b> Fundraisers, donations and grants for the entire project.	



<b>Federal Funds Utilized</b> None
<b>Describe the Project Site As Is and Proposed Changes</b> (Tree Removal, Drainage Filled, Etc.) The baby pool was removed in October 2022 to prepare the ground for the splashpad installation which is projected for May 2023.
<b>Annual Maintenance Budget</b> \$ 6,000.00
<b>Maintenance Provided By</b> Mohall Park Board and park staff
<b>I Hereby certify that funds in the amount of \$ 220,500.00 are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b> <div style="display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 5px; font-size: 8px;">SIGN HERE</div> </div>
<b>Printed Name/Title</b> Cheryl Overby, Mohall Park District Clerk
<b>Date</b> 2/22/23

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Kemper Construction/waterline to supply splashpad		\$27,500.00

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to  
**Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org**

# KEMPER CONSTRUCTION COMPANY

*Municipal/Heavy Contractors Since 1907*

P.O. BOX 8, 3305 4<sup>th</sup> Ave. NW  
Minot, North Dakota 58702-0008  
Email: [kemper@kemperconstruction.com](mailto:kemper@kemperconstruction.com)

Office: 701/838-1733

To: Arlyn Johnson

Email: [mohallpublicworks@srt.com](mailto:mohallpublicworks@srt.com)

Project: Water Service to New Splash Pad - Mohall, ND

Bid Date: 2/15/2023

We are pleased to provide you a Budget Estimate for the above referenced project:

ITM	QTY	UN	DESCRIPTION	UNIT PRICE	TOTAL PRICE
1	1	LS	Work Described Below	\$27,500.00	\$27,500.00

**Conditions of quote:**

1. This Estimate is valid for 15 days to hold material pricing. Material pricing is unpredictable.
2. This Estimate is based off photo provided by Arlan Johnson.
3. This Estimate DOES NOT include bonding.
4. Kemper Construction would perform work as per common installation practices.
5. Estimate includes traffic control.
6. Estimate includes mobilization, labor, materials, and equipment to perform the work.
7. Estimate includes gravel and pavement patch at current asphalt pricing.

Submitted By:

KEMPER CONSTRUCTION COMPANY

By: *Dwane Haugen*

Date: 2/15/2023

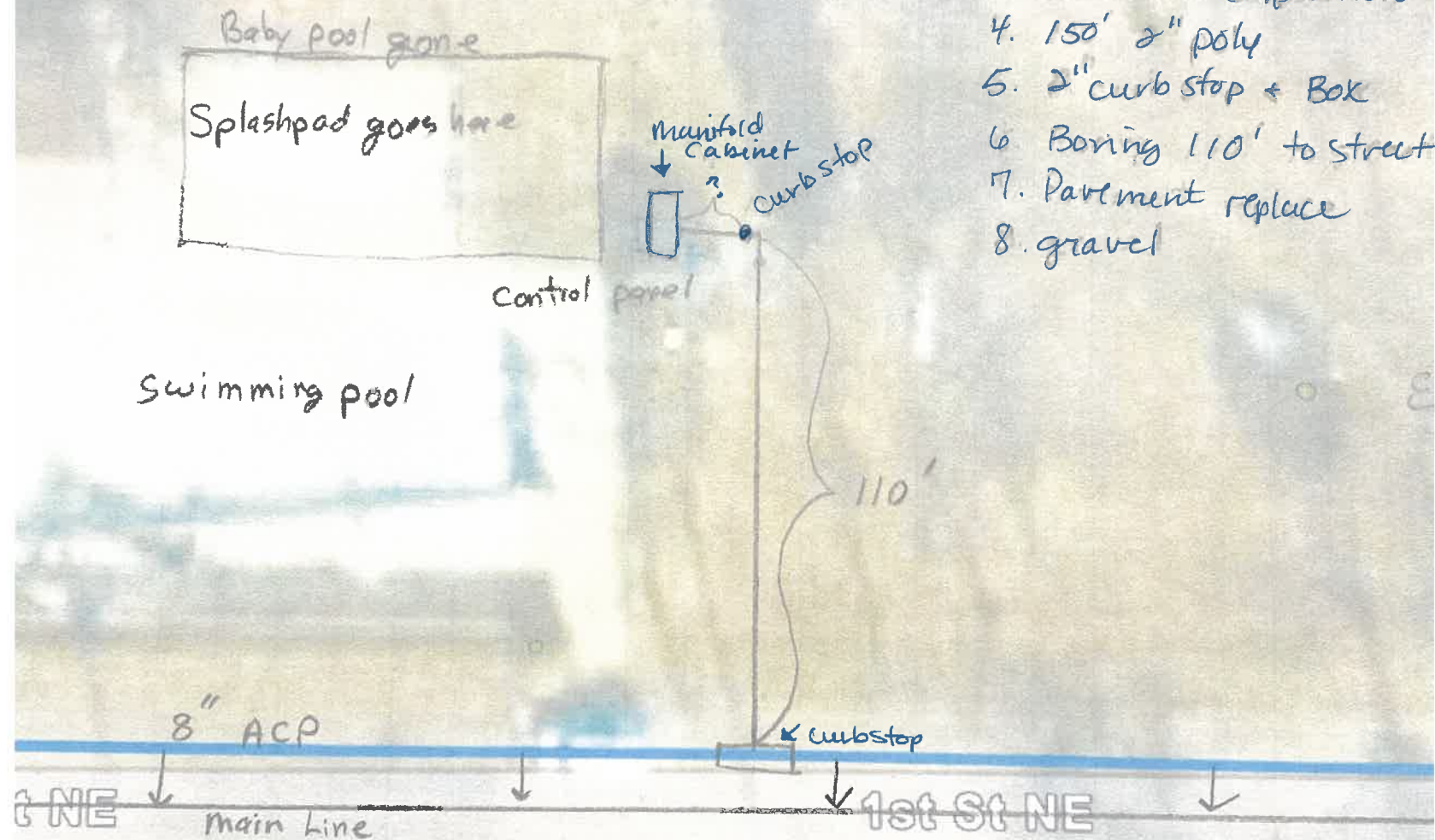
Accepted By:

Firm: \_\_\_\_\_

Signed: \_\_\_\_\_

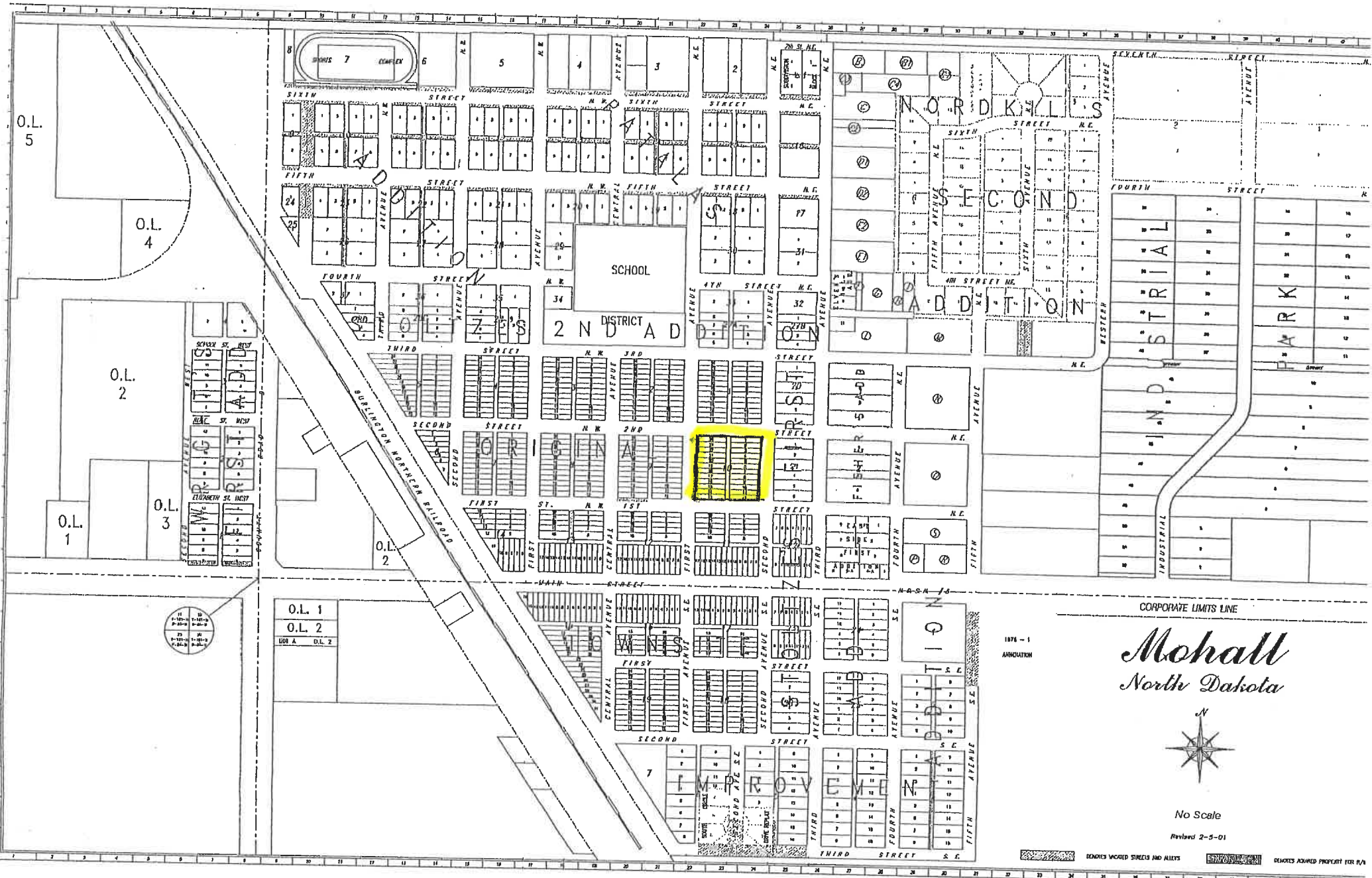
Date: \_\_\_\_\_

147



1. Dig to main
2. 2 Romax, -8" pvc pipe
3. Saddle + corporation
4. 150' 2" poly
5. 2" curb stop + Box
6. Boring 110' to street
7. Pavement replace
8. gravel

147



O.L. 5

O.L. 4

O.L. 2

O.L. 1

O.L. 3

O.L. 1

O.L. 2

FOR A. O.L. 2

CORPORATE LIMITS LINE

1876 - 1  
ANNEXATION

*Mohall*  
North Dakota



No Scale

Revised 2-5-01

DARKER WOOD STREETS AND ALLEYS      DARKER SHADING PROPERTY FOR R/A

MAR 02 2023

## APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

Date of Application 2-22-23	Project Name Fairmount Park Playground Project 2023
Sponsoring Agency Name Fairmount Park Board	
Authorized Representative/Title Brenda Adolf / President	
Sponsoring Agency Address P.O. Box 254 Fairmount, ND 58030	
Phone 701-474-5717	Email bladolf59@gmail.com
Contact Name for Project (If different than above) Brenda Adolf	
Address P.O. Box 123 Fairmount, ND 58030-0123	
Phone 701-474-5717	Email bladolf59@gmail.com
Project Location Between 4 <sup>th</sup> St N. and 6 <sup>th</sup> St N. and Main Ave. and 3 <sup>rd</sup> Ave. N. Parcel lots # 60, 61, 62 and N 2/3 of lot 63 and 37-46.	


## Description of Project Features (if more space is required, please provide separate documentation)

Install new free standing play system items to replace unsafe items that have been removed for the safety of every child that uses our playground for recess, before or after school functions, and sports activities. Co-op activities such as Baseball, Softball, midgets, T-Ball and Football bring visiting families and provide activities for non-participating siblings, that are fun and safe.

## Justification of Project

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)

Estimated Number of People Served	The park serves families from Fairmount, Campbell-Tintah, MN, and Rosholt, SD, and families from visiting teams.
Total Estimated Project Cost (Include volunteer/in-kind donations/work)	\$ 39,000.00
Assistance Requested (No more than 25% of project cost unless multi-county sponsored)	\$ 9,750.00
Applicant's Contribution	\$ 16,000.00 (plus \$13,250 in Donations and fund-raising)
Additional Sources of Funding	Fairmount Fire Dept. / Farmers Union Oil-Store / Land-O-lakes / Horizon Milling / Cargill / Fairmount School / Red River Communications / ND Community Foundations / Co bank

<b>Federal Funds Utilized</b>	—
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	We will relocate one play system item to make more room in the play area for these new systems for user safety.
<b>Annual Maintenance Budget</b>	\$ 4,000.00
<b>Maintenance Provided By</b>	Fairmount Park Board and Maintenance Personnel
<b>I Hereby certify that funds in the amount of \$ 16,000.00 are available for this project.</b>	
<b>Authorized Signature of Sponsoring Agency</b>	 Brenda Adolf
<b>Printed Name/Title</b>	Brenda Adolf / President
<b>Date</b>	2-24-23

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Proposal - 11-11-22 (see attached)		
Estimated Job Cost: Equipment & Inst. Labor		\$ 38,000.00
Relocation of one playsystem item, with area preparation, pea rock, misc.		\$ 1,000.00
<b>Total</b>		<b>\$ 39,000.00</b>

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project *will e-mail*
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

1

# MY TURN PLAYSYSTEMS



1606 4th Ave NW Suite B  
West Fargo, ND 58078

**Toll Free: 855-268-PLAY**  
Fax: 855-268-7529  
info@myturnplaysystems.com  
www.myturnplaysystems.com

MAR 02 2023

## PROPOSAL

November 11, 2022

**Bill To & Delivery: Fairmount Park Board**  
Address: PO Box 228  
City, State, Zip: Fairmount, ND 58030

**Contact: Brenda**  
Phone: 701-474-5717  
E-Mail: bladolf59@gmail.com  
Estimated by: Brandon Clouse  
Delivery Date: 2022

QTY	ITEM #	ITEM DESCRIPTION	UNIT PRICE	10% DISCOUNT	EXTENSION
1	PC 2485-C	NEUTRON CAROUSEL	\$9,579	\$957	\$8,622
1	PC 2488	TIDAL WAVE	\$11,415	\$1,141	\$10,274
1	PC 1390	DUAL DINO SPRING RIDER	\$2,729	\$272	\$2,457
		FREIGHT			\$2,700
		TURNKEY INSTALLATION BY A CERTIFIED PLAYGROUND SAFETY INSPECTOR TO INCLUDE: - INSTALLATION OF ALL NEW PLAYGROUND EQUIPMENT - CONCRETE COSTS FOR ALL FOOTINGS - ANY APPLICABLE USE TAXES			\$13,947
<b>TOTAL ESTIMATED JOB COST</b>					<b>\$38,000</b>

**\*\* Please Email Completed and Signed TAX EXEMPTION Form**

- \*\* Proposal good for 30 days**
- \*\*Site must be level and ready prior to installation unless otherwise specified**
- \*\* Owner may be required to unload equipment**
- \*\*Owner required to locate all private utilities**
- \*\*40% payment due before ordering playground equipment**
- \*\*Invoice issued upon completion of project due NET 15 days remaining balance**

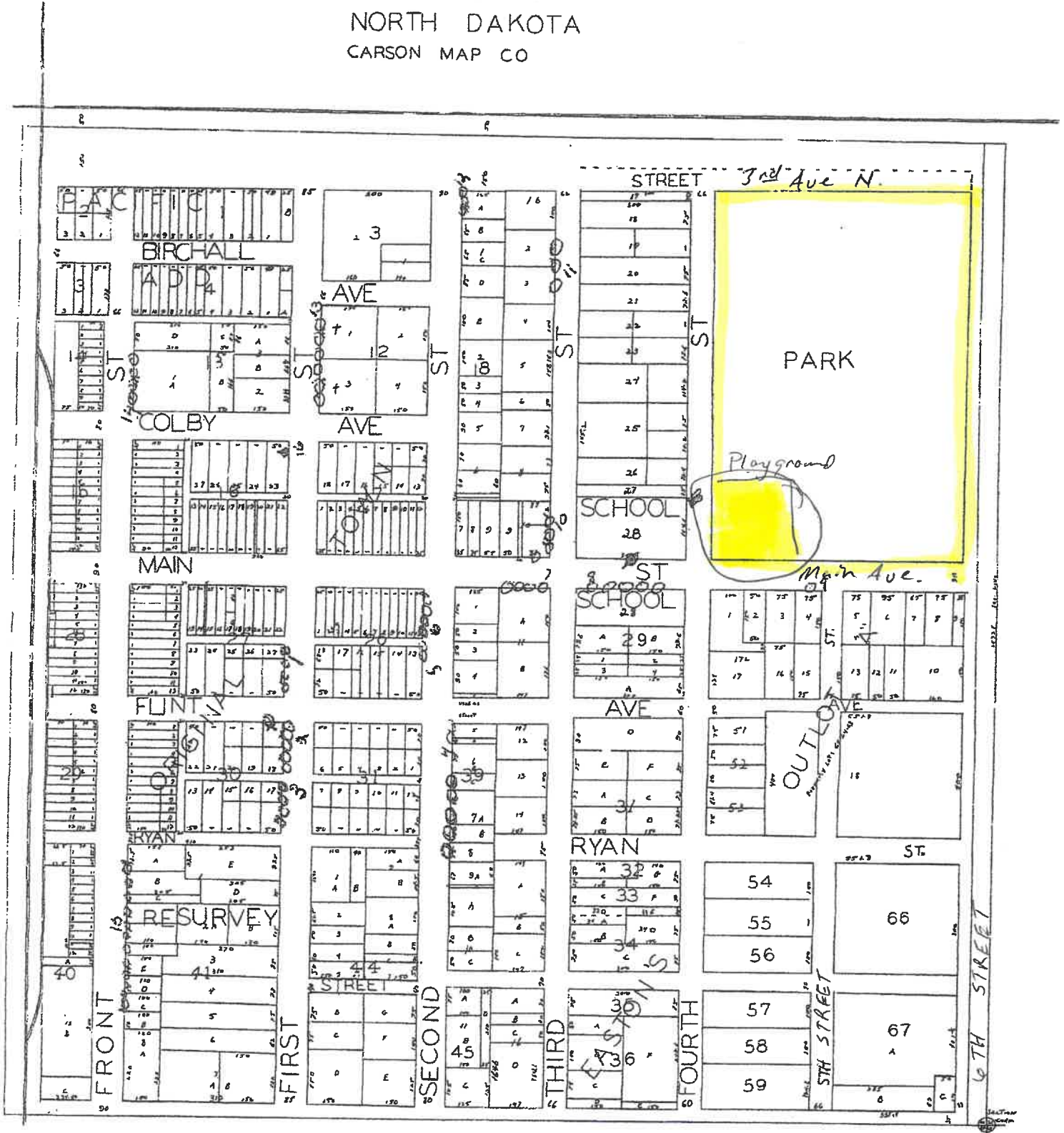
**If you agree to the terms and conditions above,**

SIGNATURE

DATE

Office Use Only: SO# \_\_\_\_\_ PO# \_\_\_\_\_ INV# \_\_\_\_\_ FFSO# \_\_\_\_\_ FFPO# \_\_\_\_\_ FFINV# \_\_\_\_\_

FAIRMOUNT  
NORTH DAKOTA  
CARSON MAP CO





# APPLICATION


## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/10/2023	<b>Project Name</b> Main Street Pocket Park
<b>Sponsoring Agency Name</b> City of Forman	
<b>Authorized Representative/Title</b> Sara Dux/City Coordinator	
<b>Sponsoring Agency Address</b> 349 Main Street, Forman, ND 58032	
<b>Phone</b> 701-388-2287	<b>Email</b> edc@formannd.com
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> 316 Main Street, Forman ND	

**Description of Project Features (if more space is required, please provide separate documentation)**

Formans downtown hang-out spot was created in 2019 with help from funds provided by AARP ' s Green Space Grant. Paige Cary, former City Coordinator for the City of Forman, worked with downtown business and the Forman Community Club to make the space a special place to relax and to create a gathering place that the community can utilize during functions held downtown. The City of Forman is committed to its downtown green space. By expanding the offerings at our current location, Forman residents can further enjoy the Main Street Pocket Park. Conveniently located between Central Grocery and the Sargent County Health District buildings, the park currently lacks ample shade, welcoming bright colors, sufficient seating and a " completed " atmosphere.

Justification of Project	
(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	up to 500 annually
<b>Total Estimated Project Cost</b> <small>(Include volunteer/in-kind donations/work)</small>	\$ 8850
<b>Assistance Requested</b> <small>(No more than 25% of project cost unless multi-county sponsored)</small>	\$ 2000
<b>Applicant's Contribution</b>	\$ 2000
<b>Additional Sources of Funding</b> A summer fundraising event may be held to raise funds to complete the project.	

<b>Federal Funds Utilized</b> 0
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b> Currently, the pocket park has few amenities and is mostly a partially empty dirt lot. Additions to the park would include some type of gazebo/shelter, more seating, and informational placards with historical and other Forman facts.
<b>Annual Maintenance Budget</b> \$ 100
<b>Maintenance Provided By</b> City of Forman maintenance staff
<b>I Hereby certify that funds in the amount of \$ 2000 are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b> SIGN HERE 
<b>Printed Name/Title</b> Sara Dux/ Forman City Coordinator
<b>Date</b> 2/10/23

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
gazebo/shelter for shade to create picnic area at pocket park	1	\$4750
'walking history' placards/informational panels	3	\$2300
rock/gravel for ground cover	20yds	\$1800

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

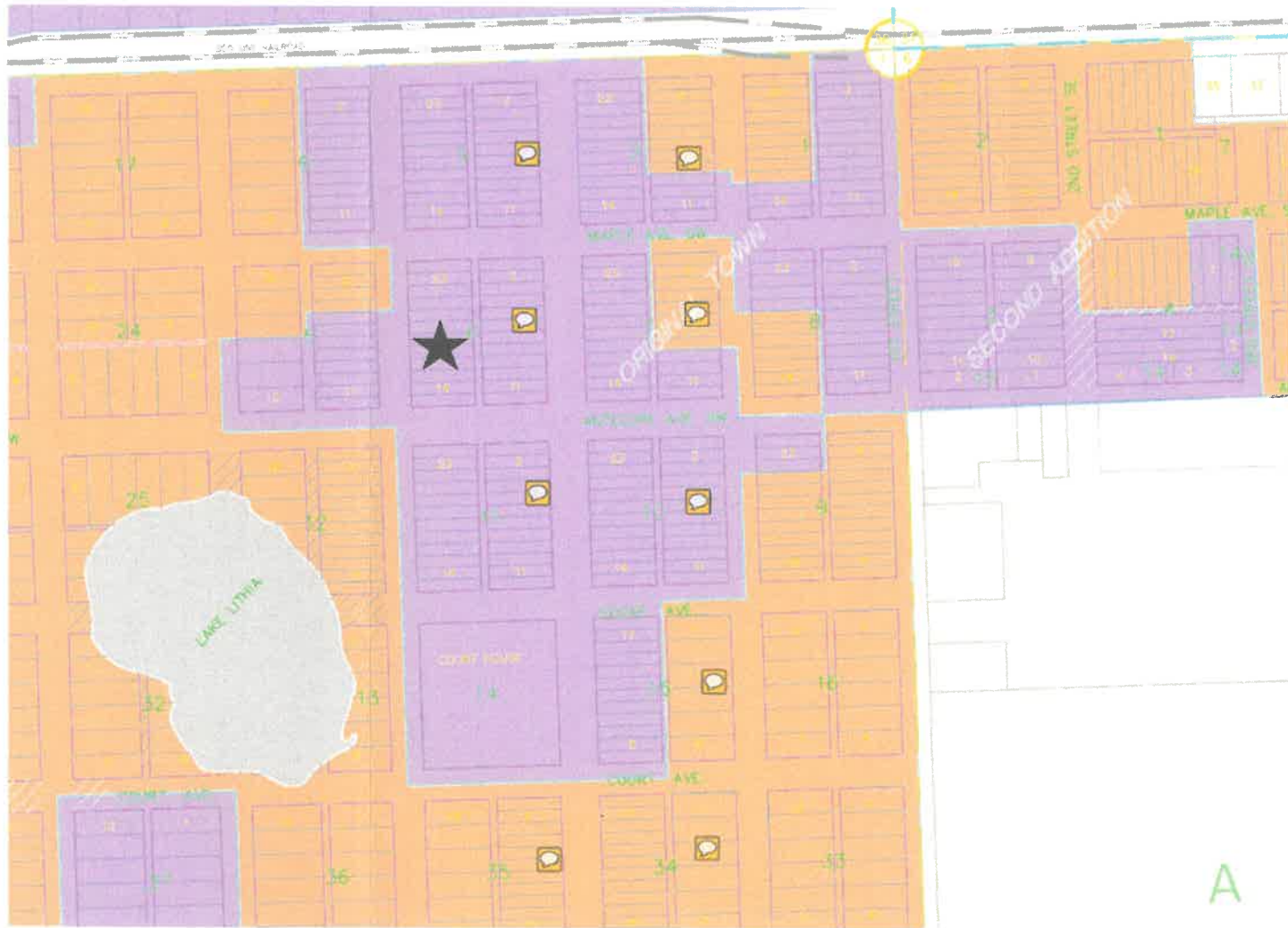
**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org

★ Forman's Main Street Pocket Park is located at Block 7, Lot 18, Forman Original Townsite



## APPLICATION

### Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 02/27/23	<b>Project Name</b> Finley Park Playground Equipment Replacement Project
<b>Sponsoring Agency Name</b> CITY OF FINLEY PARK DISTRICT	
<b>Authorized Representative/Title</b> CHAD ABERLE/TREASURER	
<b>Sponsoring Agency Address</b> PO BOX 381, FINLEY, ND 58230	
<b>Phone</b> 701.789.1291	<b>Email</b> caberle@bravera.bank
<b>Contact Name for Project</b> (If different than above) Laurie Tuite - Steele County JDA Coordinator	
<b>Address</b> PO Box 451, Finley, ND 58230	
<b>Phone</b> 701.524.2645	<b>Email</b> steelejda@mlgc.com
<b>Project Location</b> 206 Park Avenue S in Finley, ND	


**Description of Project Features (if more space is required, please provide separate documentation)**

The purpose of this project is to remove and replace any barriers that currently exist with the City Park and playground that makes it inaccessible to children/parents who are handicapped or have limited mobility. We will remove the old equipment and install new ADA compliant playground equipment and have the layout such that all equipment is in one area and easily accessible. A ramp will also be added to allow for easier navigation from vehicle to the park/playground. Our goal for this project is to provide our community members and visitors a safe place to play/relax/recreate that has no barriers or limitations. We want it so all children, parents, etc. have equal opportunity to enjoy the outdoors and participate in park activities when they occur.

**Justification of Project**

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)

<b>Estimated Number of People Served</b>	Approximately 500 people with a primary focus on children and youth.
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 110,000
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 13,750
<b>Applicant's Contribution</b>	\$ 26,250
<b>Additional Sources of Funding</b>	
\$55,000 Land and Water Conservation Grant, \$10,000 Patron Donation (granddaughter is handicapped), \$5,000 Finley Community Endowment Fund. Will continue to seek other funding to reduce applicant contribution and cover overages.	

<b>Federal Funds Utilized</b>	We have been awarded but not yet received a \$55,000 from LWCF through State Park & Rec.	
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	Minimal site work. Will landscape to make contiguous and more functional. No trees removed or drainage altered.	
<b>Annual Maintenance Budget</b>	\$ 10,000. Will be included as part of the overall park repairs & maintenance budget.	
<b>Maintenance Provided By</b>	CITY OF FINLEY PARK DISTRICT	
<b>I Hereby certify that funds in the amount of \$ 96,250 are available for this project.</b>		
<b>Authorized Signature of Sponsoring Agency</b>	 SIGN HERE	
<b>Printed Name/Title</b>	CHAD ABERLE/ TREASURER	
<b>Date</b>	2/27/2023	

PROJECT COST ESTIMATES		
(Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
SITE WORK		\$5,000
DEMOLITION AND REMOVAL		\$1,000
EQUIPMENT		\$62,045
INSTALLATION OF EQUIPMENT		\$22,000
MISCELLANEOUS/CONTINGENCIES		\$19,955

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

steelejda@mlgc.com

Subject: FW: [EXTERNAL]RE: Finley Park 1



Chad Aberle  
Regional President

Bravera Bank  
Ph. 701-524-1921

[bravera.bank](http://bravera.bank)

From: Ken Follman [mailto:ken@dakotaplayground.com]  
Sent: Friday, July 15, 2022 7:38 AM  
To: Chad Aberle <caberle@bravera.bank>  
Subject: Finley Park 1

CAUTION: The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin.

Hello Chad,

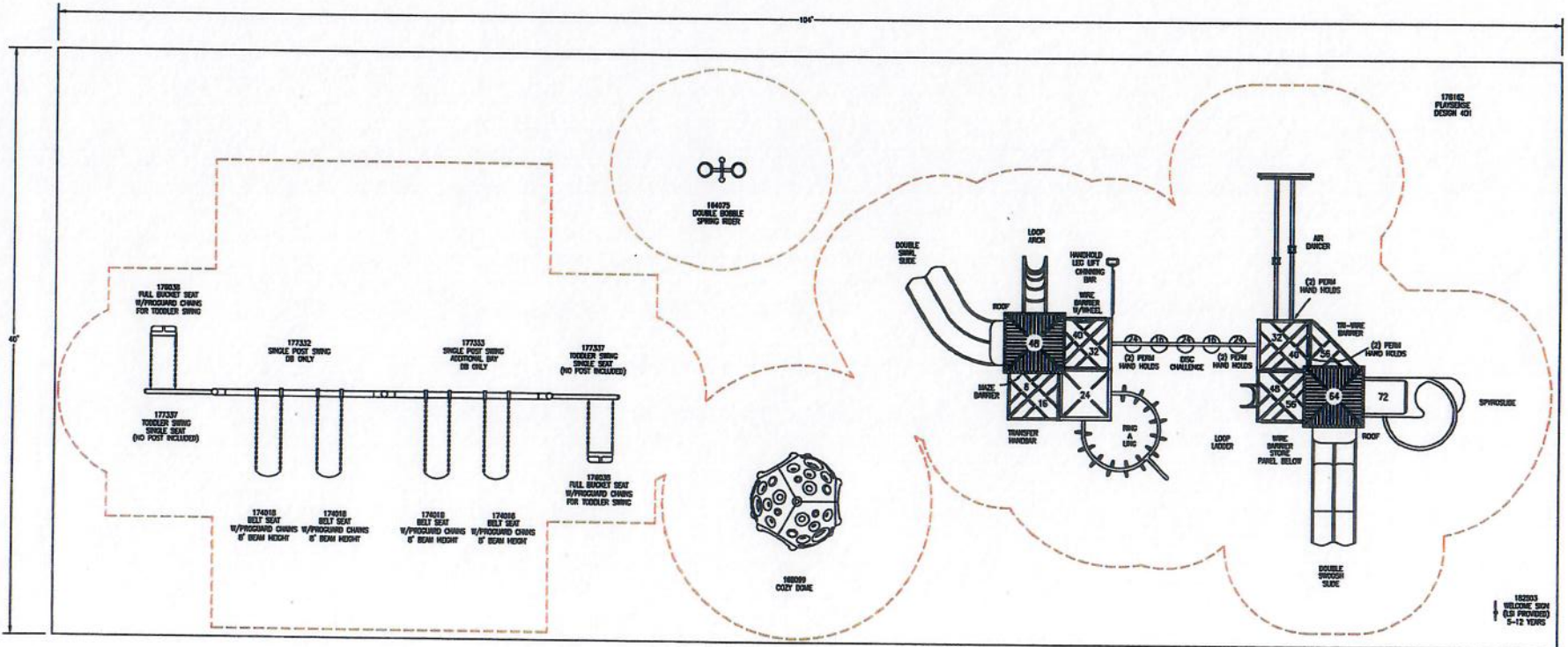
Here is a design that I came up with for your park. We would need to verify the dimensions, but I think this would fit within the space you have available after removing the items we discussed. The cost for the equipment shown would be \$62,045.00 materials delivered. The bordering would be \$4,660.00, that includes a full ADA ramp, same type of bordering that you currently have around the equipment, black poly. You would need about 175-185 cubic yards of engineered wood fibers, the cost for that delivered would be approximately \$6,500.00. These costs for the bordering and wood fibers are based on current pricing, I added a little to them to try to cover the for 2023 increases, but once it gets closer to the time of purchase we would need to make sure all costs are updated, I think for grant purposes this should be fine. The good thing about the structure I used is that it comes in 2 phases, so if all the money wasn't available at one time we could do all the other work and leave the right side open for expansion and then once funding became available we could add phase 2. The structure total is \$44,562.00, phase 1 is \$18,165.00 and phase 2 is \$26,397.00. Like I said, the prices I gave you are inflated to reflect 2023 prices, this could change but overall I think you are safe to use these as budgetary numbers. When writing grants I tell everyone to add 30% to the materials costs to account for installation. The supervisory option for 1 day is \$1,765.00, if you had 10-12 good volunteers you could get close to knocking this out in 1 day, whatever would be left to do, like the bordering and surfacing and maybe some finishing work wouldn't require a supervisory to be on site, he would leave you with the knowledge to finish up. Obviously we can discuss all this in more detail, I wanted to get you over some preliminary numbers and a design to look at to get your boards feedback. Hope this helps, call or email me with questions.

Have a great weekend!!!!

Ken Follman  
Director - Playground Sales

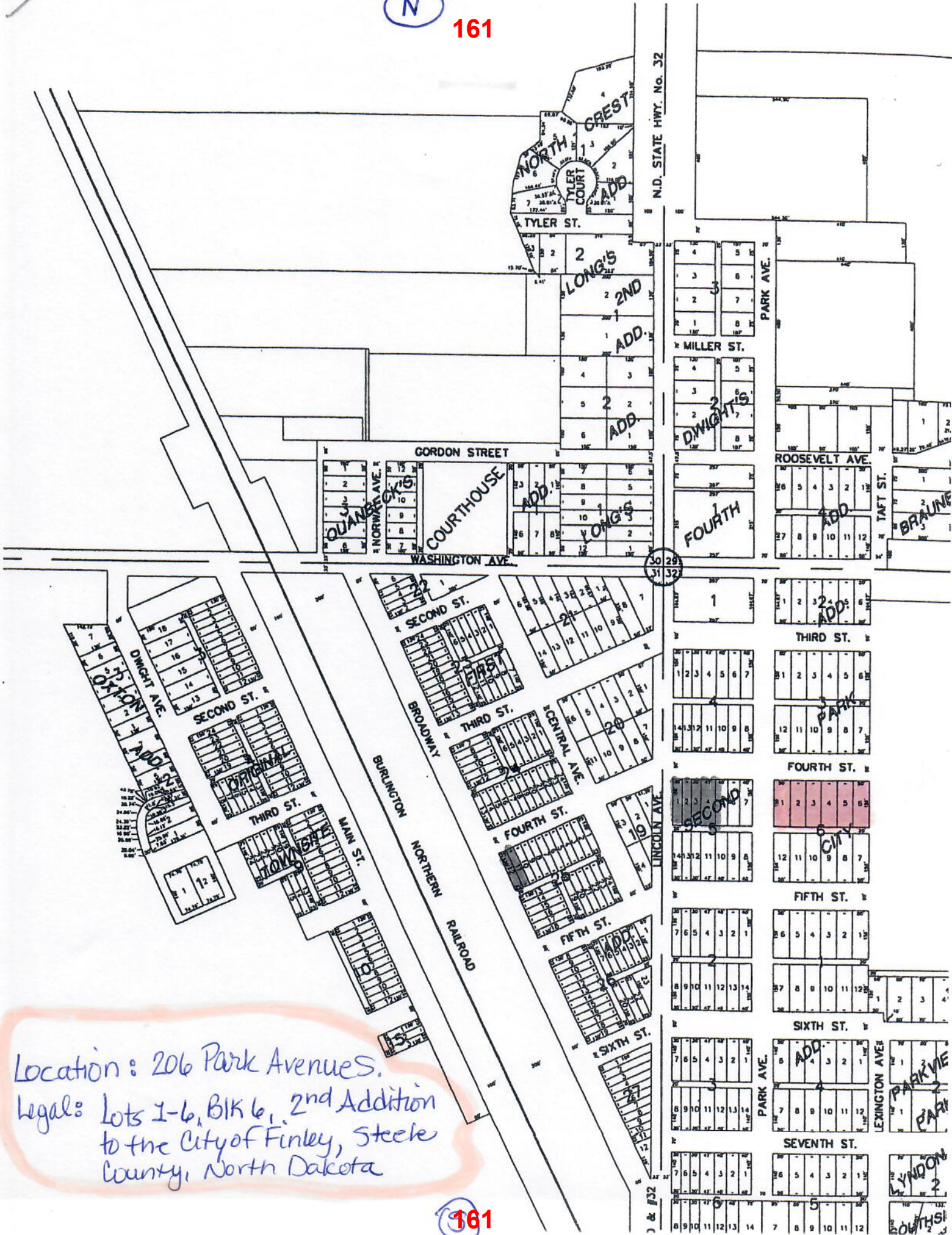
Direct: 701.476.8536  
Cell: 701.541.0817  
Dakotaplayground.com  
2131 16<sup>th</sup> St N | Fargo, ND 58102

62,045	-	Playground Equipment
22,000	-	Labor/Installation
5,000	-	Sitework
1,000	-	Demo + Removal
4,660	-	border + Ramp (misc)
6,500	-	Wood fibers for fill (misc)
8,795	-	Contingencies
<hr/>		
19,955	<	158,000









Location: 206 Park Avenues.  
 Legal: Lots 1-6, Blk 6, 2nd Addition  
 to the City of Finley, Steele  
 County, North Dakota

162



Approximate location  
of ADA Compliant  
Ramp



Aerial Photo of City Park

Latitude: 47d30m44s N

Longitude: 97d50m02s W

Area outlined in yellow is the approximate location for the new playground equipment.

162

## APPLICATION

### Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/18/2023	<b>Project Name</b> 4-H Horse Arena Improvement Project
<b>Sponsoring Agency Name</b> Stutsman County Fair Board	
<b>Authorized Representative/Title</b> Deb Hatlewick, Member	
<b>Sponsoring Agency Address</b> PO Box 757, Jamestown, ND 58401	
<b>Phone</b> 701-320-6293	<b>Email</b> hccdeb@daktel.com
<b>Contact Name for Project</b> Kali Lauth (If different than above)	
<b>Address</b> 7945 36th St SE, Jamestown, ND 58401	
<b>Phone</b> 701-320-9671	<b>Email</b> kalimae81@gmail.com
<b>Project Location</b> South end of the Stutsman County Fairgrounds	

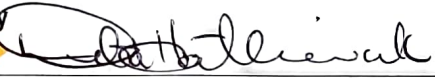
#### Description of Project Features (if more space is required, please provide separate documentation)

If funding is received it will be used to install poles, lights, power, and sound in the horse arena located on the Stutsman County Fairgrounds. Currently, there are no lights, power, or sound in the horse arena. This will allow for evening events such as clinics, shows and practices for 4-H and FFA members as well as the Circle Cross Riding Club. It will also make the arena safer for the horses and participants by removing foreign materials that have worked up over the years and provide sand in the arena.

#### Justification of Project

(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)

<b>Estimated Number of People Served</b>	680+ youth (under 18), 540+ adults (over 18)
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 35370.71
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 8842.68
<b>Applicant's Contribution</b>	\$ 26528.03
<b>Additional Sources of Funding</b> Fundraising by the Circle Cross Riding Club, Stutsman County Fair Board donations, In-kind labor	

Federal Funds Utilized 0	
Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.) Currently, the arena is covered by dirt and rocks and surrounded by a metal fence. There is no lighting, power, or sound. This would add 4 power poles with lights and sound, improve footing for the horses and increased access.	
Maintenance Provided By	Northern Plains Electric Cooperative, Stutsman County Fair, Circle Cross members
I Hereby certify that funds in the amount of \$ 26528.03 are available for this project.	
Authorized Signature of Sponsoring Agency	
Printed Name/Title	Debra Hatlewick
Date	2-23-23

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Poles and lights including installation	4	3000.00
Underground power including materials and installation	1	5696.29
Sound - speakers and underground cables	1	3887.42
Debris removal and sand	1	22787.00

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.


**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

**Cando Office**  
PO Box 608 • 609 Fourth Avenue  
Cando, ND 58324-0608  
PHONE: 701-968-3314  
FAX: 701-968-1747

**165**  
**NORTHERN  
PLAINS** *Electric Cooperative*

**Carrington Office**  
PO Box 180 • 1515 West Main  
Carrington, ND 58421-0180  
PHONE: 701/652-3156  
FAX: 701/652-1854

Your Touchstone Energy Cooperative   
1-800-882-2500 E-Mail: [justask@nplains.com](mailto:justask@nplains.com)  
Web: <http://www.nplains.com>

## Contract Agreement for Electrical Service Extension/Modification

### Northern Plains Electric Cooperative

Agreement made this \_\_\_\_ day of \_\_\_\_\_, 2023, between \_\_\_\_\_ of \_\_\_\_\_ County of \_\_\_\_\_, State of North Dakota, herein referred to as "Owner", and Northern Plains Electric Cooperative of the City of Carrington, County of Foster, State of North Dakota, herein referred to as the "Cooperative".

**The owner and the Cooperative agree as follows:**

The Cooperative will perform line work at the following location:

The NE ¼ of Section 23, T140N, R64W, Stutsman County, North Dakota

The Cooperative will perform the following line extension/modification:

Install 4 poles with LED lights

The line work performed by the Cooperative as described above has a cost of \$3,000.00.

The member will be required to extend secondary wiring to the security light. In this case, the security light remains the property of the Cooperative while the pole and secondary wiring are the property of the member. In the event the pole needs to be replaced in the future, an additional security light installation charge will be required.

The Owner will be responsible for locating and identifying all private underground facilities that are not covered by North Dakota One Call. This would include, but not limited to, drain tile, water lines, sprinkler systems, secondary electrical lines, gas/propane distribution lines, etc. The Cooperative will not be responsible for damage to the private underground facilities that have not been located prior to construction.

Print Name \_\_\_\_\_

Signature \_\_\_\_\_

Phone \_\_\_\_\_

Cooperative Representative \_\_\_\_\_

*"An equal opportunity provider and employer"*



**QUOTATION**



Billing Address  
 PO Box 880  
 Hewitt, TX 76643  
 Phone: 888-256-4112  
 Fax: 254-698-2037

**Bill to:**  
 Kali  
 North Dakota, 58401  
 United States

**Ship to:**  
 Kali  
 North Dakota, 58401  
 United States

**Quote Proposal** Q10.88580-1  
**Date of Proposal** Feb 23, 2023  
**Proposal valid until** Mar 23, 2023 ( 28 days )

Shipping Method
<b>Quote Shipping Proposal</b> Fixed Shipping - \$107.47

Image	Product name	SKU	QTY	Price	Subtotal
	Pure Resonance Audio S10 10" 70V Compact 2-Way Full-Range 90° x 90° All-Weather Coaxial Loudspeaker with 10" LF 8 Ohm 70V 100V	PRA-S10	4	\$499.99	\$1,999.96
	Pure Resonance Audio RMA500BT 5-Channel 500W Commercial Rack Mount Mixer Amplifier with Bluetooth 4 Ohm/70V	PRA-RMA500BT	1	\$899.99	\$899.99
	Vertical Cable 209-2324/DB High Strand UV Rated, Direct Burial 12AWG, 2 Conductor Audio Wire - Black (500ft)	VC-209-2324/DB	2	\$440.00	\$880.00

**Sales Engineer's Notes:**

Kali -

This is a 2nd quote. These speakers will be back in stock in late April but this is a much more budget friendly solution for your installation.

Please let me know if you have any questions.

Respectfully, Merry Grant – Senior Sales Engineer Merry@proacoustics.com  
 254-651-6909

<b>Subtotal</b>	\$3,779.95
<b>Shipping &amp; Handling (Excl. Tax)*</b>	\$107.47
<b>*Shipping cost are subject to change</b>	
<b>Grand Total (Excl. Tax)</b>	\$3,887.42
<b>Tax</b>	\$0.00
<b>Grand Total (Incl. Tax)</b>	\$3,887.42

Thank you for choosing Pro Acoustics. We look forward to working with you.



**Advantage Electric Inc.**

Residential, Commercial, Industrial, Farm

8227 33rd ST SE

Jamestown, ND 58401

(701) 952-7600

advantageelectric@daktel.com

# Estimate

Date	Estimate #
2/21/2023	2468

Name / Address
Stutsman Country Fair Association Inc. PO Box 757 Jamestown, ND 58402

Terms	Project
Net 30	Riding Arena

Description	Qty	Rate	Total
10/2 UF Wire (Per Foot)	500.00	2.34	1,170.00
12/2 UF Wire (Per Foot)	150.00	0.90	135.00
Trenching (Per Foot)	500.00	2.25	1,125.00
1/2" Bell Weatherproof Junction Box (1 Gang) (5 Hole)	4.00	8.63	34.52
(1) 20 Amp GFI Receptacle NEMA 3R Midwest Box	1.00	76.16	76.16
3/4" Rigid PVC Conduit (Schedule 40) (Per Foot)	5.00	1.70	8.50
PVC 3/4" Conduit Connector	5.00	0.65	3.25
Rigid 1 Hole 3/4" Conduit Strap	10.00	0.75	7.50
3/4" EMT Conduit (Per Foot)	30.00	1.75	52.50
EMT 3/4" Compression Connector	4.00	1.47	5.88
EMT 3/4" Conduit Compression Coupling	5.00	1.49	7.45
3/4" Aluminum LB Fitting	1.00	8.85	8.85
EMT 1 Hole 3/4" Conduit Strap	8.00	0.21	1.68
10 AWG THHN Stranded Copper Wire (Per Foot)	120.00	0.50	60.00
Labor (Hours)	30.00	100.00	3,000.00
Thank You For Your Business!!!!	<b>Total</b>		\$5,696.29

Proposal Submitted To: Stutsman County Fairgrounds Attn: Dennis Mickelson PO Box 757 Jamestown, ND 58402	Proposal Date: February 22, 2023 Bid Date: February 22, 2023 Job Name: Repairs to Horse Arena Job Location: Jamestown, ND
--	--

DESCRIPTION	TOTAL
We hereby submit specifications and estimates for: Labor and Materials To: Construct the Following:  Work To Include:  Mobilization of crews and equipment - Lump Sum. Strip, remove and dispose of the top 4" of sand in horse arena - Approx 100' x 150'. Regrade existing base utilizing on site material - Approx 100' x 150'. Provide, deliver and place approx. 6" of new screened sand - Lump Sum.  <p style="text-align: center;"><b><u>Project Total = \$22,787.00</u></b></p>	
Notes: Permits, fees, testing, surveying, erosion control, traffic control, sweeping and restoration not included. Work to be done during normal business hours. Proposal assumes no load/road/weight restrictions in place at time of delivery Proposal assumes no winter/freezing conditions at time of delivery. Proposal assumes full semi loads. All Items Tied. Please call Tom Morehouse (General Manager) @ 701.840.1133 with any questions.	

Proposal only valid upon approved credit. Payment due upon completion. Payment terms are net 30 days from invoice date, past due invoices will be charged a finance charge of 1.5% per month or 18% annual rate. Credit card payments must be made within 7 days of invoice date. Credit card payments more than 7 days past invoice date will be charged an additional 2% processing fee. All work to be done to standard practices. All conditions in above proposal contingent upon, strikes, accidents or delays beyond our control. Our workers are fully covered by Workers Compensation Insurance. Additional work to be done to be billed on a time and material basis. Proposal valid for 30 Days.

Total =	\$22,787.00
Tom Morehouse - General Manager	
_____ Authorized Signature	

**Acceptance of Proposal**

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work specified.

Signature: \_\_\_\_\_ Date Accepted: \_\_\_\_\_  
*General Contractors (All types of Concrete Work, Excavation Site/Demolition work & Truck Hauling)  
 Road and Fill Gravel, Heavy Equipment Rental*





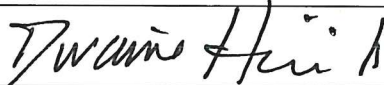

## APPLICATION

### Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2-23-23	<b>Project Name</b> Jamestown Pedestrian Bridge Replacement Project
<b>Sponsoring Agency Name</b> City of Jamestown	
<b>Authorized Representative/Title</b> Dwaine Heinrich, Mayor	
<b>Sponsoring Agency Address</b> 102 3rd Ave SE, Jamestown, ND 58401	
<b>Phone</b> 701-252-5900	<b>Email</b> dheinrich@jamestownnd.gov
<b>Contact Name for Project</b> (If different than above) Tyler Michel	
<b>Address</b> 102 3rd Ave SE, Jamestown, ND 58401	
<b>Phone</b> 701-252-5900	<b>Email</b> tmichel@jamestownnd.gov
<b>Project Location</b> Jamestown, ND: Klaus, McElroy and Nickeus Parks	

<b>Description of Project Features (if more space is required, please provide separate documentation)</b>
See attachment.

Justification of Project	
(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	16,000 +
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 2,087,916.61
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 75,000
<b>Applicant's Contribution</b>	\$ 1,087,916.61 (Citywide Special Assessment)
<b>Additional Sources of Funding</b>	

<b>Federal Funds Utilized</b>	80.93% of Project Cost up to \$1,000,000 Transportation Alternatives Grant	
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	See attached.	
<b>Annual Maintenance Budget</b>	\$ 30,000	
<b>Maintenance Provided By</b>	Jamestown Park and Recreation District	
<b>I Hereby certify that funds in the amount of \$ 1,087,916.61 are available for this project.</b>		
<b>Authorized Signature of Sponsoring Agency</b>		
		
<b>Printed Name/Title</b>	Dwaine Heinrich, Mayor	
<b>Date</b>	2-23-23	

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Construction Costs	1	\$1,609,135
Design, Wetland Delineation, Archaeological, Geotechnical	1	\$274,000
Construction Engineering	1	\$193,781.61
Utility Relocation	1	\$10,000
Right of Way Acquisition/Easement	1	\$1,000

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to  
 Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

## Garrison Diversion Conservancy District Recreation Grant Additional Project Information

### Description of Project:

This project is being sponsored by the City of Jamestown, but future maintenance will be done by the Jamestown Park and Recreation District. The City of Jamestown and the Jamestown Park and Recreation District have entered into a Joint Powers Agreement in order to construct, maintain and address future expenses. A copy of the JPA is attached.

Our project will address replacement of the pedestrian bridges that span the James River at Klaus, Nickeus and McElroy parks. In all three situations the bridges connect City of Jamestown right of way to Jamestown Parks and Recreation land. The bridges are beyond their lifespan and action needs to be taken to replace the bridges and renovate the adjoining pathways to ensure they are accessible and can be used by all community members. Not only do these bridges provide an entry point to the parks for recreation but they also serve as important pedestrian routes that community members may use to travel to essential services such as schools, grocery stores, pharmacies, and medical providers.

This project would remove the old bridges and replace all the existing abutments on the projects and install a prefabricated pedestrian bridge. All three of these sites have poor or nonexistent abutments. All sites also lack proper ADA access across the bridges. These bridges would provide a safe and lighted path for pedestrians. In addition, the current bridges are low and could potentially exacerbate conditions in a flood situation due to obstructing the water flow and holding floating debris or ice. The selected bridges will be designed and installed to meet the requirements for regulatory floodway and the projects would improve the hydraulics of the river at these intersections. The Klaus Park bridge will require significant work on the East access point to ensure compliance with ADA standards and provide a scenic pedestrian overlook that will be installed on the existing riverbank that encompasses the view of Klaus Park.

While not preferred, due to efficiency, this project could be broken down into phases. There is significant cost savings to the project by mobilizing contractors and supplies all at one time. Priority of installation of new bridges are as follows:

1. Klaus Park
2. Nickeus Park
3. McElroy Park

### Current Sites:

The three project sites all have varying issues. It is unlikely the bridges meet ADA requirements. The new bridges will all be designed and built with ADA rules in mind.

The Klaus Park bridge enters from Fourth Street Southwest and crosses the James River into the east edge of Klaus Park. The bridge has sidewalk feeding it, but the area is overgrown with vegetation, unlit, and is generally unkempt. The bridge itself is past its useful life. The abutments have been eroded by the James River during numerous high-water events over the years. The new bridge would be placed above the floodplain and with input from the Army Corps of Engineers and Bureau of Reclamation to

ensure viability. The entrance would be lit, vegetation would be cleared and landscaped, and would be more welcoming to all users.

The Nickeus Park Bridge has many of the same issues as Klaus. The bridge spans from the Right of Way at the intersection of First Ave North and Eighth Street North and crosses the James River into the south portion of Nickeus Park. There are multiple sidewalks in the area that connect to this bridge. The entrance is dark and unwelcoming. The bridge is low and a catch point for large items such as trees and other debris floating down the river during high water events. The new bridge will be well lit, outside of the floodplain, and landscaped and cleaned up to become a more inviting presence. The new bridge would also be constructed with input from the Army Corps of Engineers and Bureau of Reclamation.

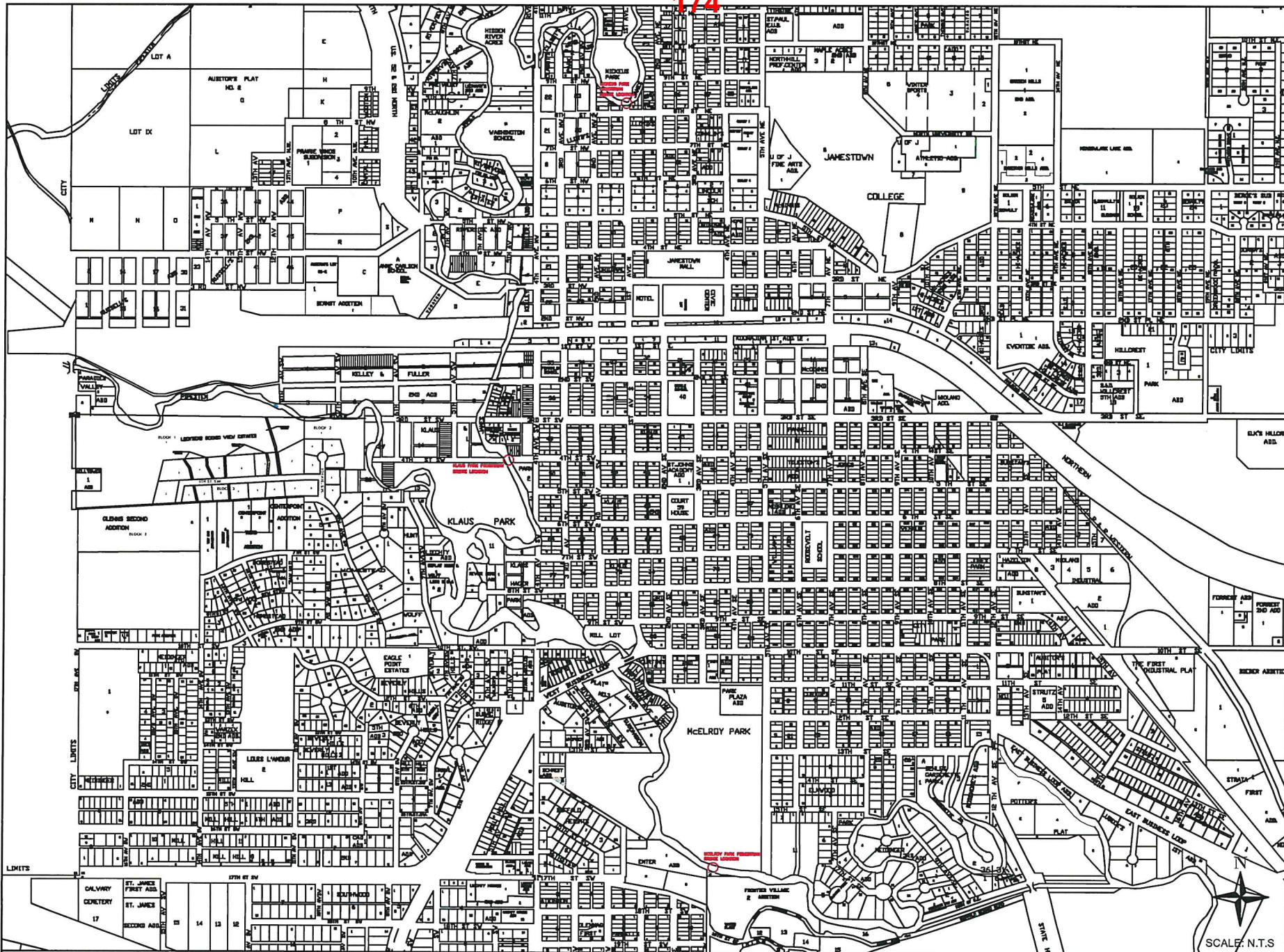
The McElroy Park Bridge is a somewhat newer bridge. It was remodeled sometime during the late 1990s or early 2000s. It is a wooden bridge that sees quite a bit of bicycle traffic, as it accesses the trail system to the south of the James River. The bridge connects the south end of McElroy Park to a large piece of City of Jamestown owned property that contains bicycle and walking trails, as well as access to the back side of the Frontier Village in south Jamestown. The area is well lit and sees quite a bit of activity. The new bridge would include improved lighting and landscaping. Once again, the new bridge would be constructed with input from the Army Corps of Engineers and Bureau of Reclamation.

#### Supporting Data:

In 2015 *Forward Jamestown: A Community-Based Land Use and Transportation Plan* (LUTP) was developed “as a plan for the future, of how a city can move forward in new ways, while maintaining the qualities and values in which it takes both pride and comfort”. In Chapter Ten of the LUTP it lists as part of the Active Transportation Priorities a new bridge in Klaus Park to create a complete east-west pedestrian and bicycle connection. This bridge replacement is part of the overall transportation plan to connect the west central side of Jamestown with the remainder of the city. As per Chapter 6 of the LUTP existing park facilities are disconnected and provide a challenge to creating a fully connected system. Replacing these bridges, in alignment with current accessibility standards, will improve active transportation in the community and serve as progress towards the goal of a fully connected community. The attached Bridge Access Maps indicate that by providing the bridges and accessible pathways through the parks significant time and distance will be saved by pedestrians. The entire report can be accessed here [2015-LUTP.pdf \(jamestownnd.gov\)](#).

#### Attachments:

1. Garrison Diversion Conservancy District Recreation Grant Application
2. Additional Project Information
3. Map with locations of bridges to be replaced in red
4. Minutes showing resolution of grant approval from North Dakota Department of Transportation-Transportation Alternatives grant
5. Minutes showing resolution to apply for grant through Garrison Diversion Conservancy District
6. Joint Powers Agreement between the City of Jamestown and the Jamestown Park and Recreation Department



City of  
**JAMESTOWN**  
NORTH DAKOTA

ENGINEERING  
DEPARTMENT

City of Jamestown  
Pedestrian Bridge Location Map

DRAWN BY:  
TJM  
DATE:  
2-14-23

SHEET  
1/1

FILENAME: W:\WORK\GIS\GIS\WORKING\GIS\23-19-23\Map\Map\_174\_231231.dwg

## JOINT POWERS AGREEMENT

**THIS JOINT POWERS AGREEMENT** (“JPA,” or “Agreement”) is entered into this 7<sup>th</sup> day of February, 2023 (hereinafter referred to as the “Effective Date”), by and between the City of Jamestown (hereinafter referred to as the “City”) whose post office address is 102 3rd Ave SE, Jamestown, ND 58401 and City of Jamestown-Board of Parks Commissioners a/k/a Jamestown Parks and Recreation District (hereinafter referred to as the “Park”) whose post office address is 1002 2<sup>nd</sup> Ave SE, Jamestown, ND 58401, collectively referred to as the “parties”.

WHEREAS, City and Park recognize pedestrian bridges located on City property and Park property are in need of repair or replacement. In particular these bridges are located in McElroy, Klaus and Nickeus parks, hereinafter Bridges;

WHEREAS, the parties desire to jointly participate in obtaining a Preliminary cost estimate, bidding and repair or replacement of the bridges, hereinafter the Project;

WHEREAS, the parties recognize that at this early stage it is unknown the amount of work needed to repair or replace the Bridges. The costs of repair and replacement are also unknown;

WHEREAS, the parties also recognize one or more of the bridges may not ultimately be repaired as contemplated by this Agreement;

WHEREAS, the parties contemplate the need to determine costs of the work and develop a plan for construction consisting of 4 phases as follows:

**Phase 1:** Cost Estimate and Funding. City shall pay the costs of hiring the necessary professionals to conduct a preliminary assessment of the work to be completed on the Bridges and the preparation of a preliminary cost estimate of the work to the parties. City agrees to act as the main point of contact for any professionals hired and act as the fiscal agent of Park only for purposes of this JPA. The parties will jointly participate in applying for and securing funding for the Project.

**Phase 2:** Requests for Bids. Upon formal written approval, of the work to be completed, the cost estimate, and project funding, City shall prepare bid specifications with the assistance of Park and seek out bids for the work. City shall be responsible for conducting the bid opening. Both parties shall concur in awarding of the contract(s). Upon acceptance of the bid by all successful bidders, the JPA will enter Phase 3.

**Phase 3:** Construction. Upon formal approval by both parties, City shall act as the fiscal agent of Park for the collection and dissemination of funds to contractors. Progress reports shall be provided to both parties. Any change in contract price or date of completion shall require approval of both parties. Upon final completion of the project, the JPA shall enter Phase 4.

**Phase 4:** Maintenance. The parties shall jointly own the Bridges. Park shall be solely

responsible for routine maintenance and repair of the Bridges.

Now Therefore, the parties agree as follows:

1. Recitals. The Recitals above are incorporated into this agreement as if fully set forth herein.
2. Subject property. The parties agree that the pedestrian bridges located in the following parks shall be the Subject Property as follows:

McElroy Park, Klaus Park, and Nickeus Park in Jamestown, Stutsman County, North Dakota, hereinafter Bridges.

The parties also recognize the Bridges are affixed to property owned or managed by the City.

3. Fiscal sponsor and depository of funds. The parties agree City will act as the fiscal sponsor and the depository of all funds. City shall be responsible for ensuring proper payment is made to the respective contractors or professionals retained as part of the JPA. Park shall also authorize City to act as its fiscal sponsor for any and all agreements or other financing mechanisms which the parties may utilize in order to pay for the costs of the Project.
4. Project timeline. The parties agree that the timeline of the project shall consist of 5 phases as outlined in the recitals but as more particularly described below:
  - a. **Phase I:** Cost Estimate. The parties shall jointly select and City shall engage any necessary professionals to conduct a preliminary assessment of the project scope. City agrees to pay for the costs of the selected professionals who shall consult with both Park and City in determining the needs of both parties for the preparation of a preliminary cost estimate. City shall act as the main point of contact for any professional engaged. The City shall also act as the fiscal agent of Park in ensuring proper payment is made to the appropriate engaged professionals. When a preliminary cost estimate has been completed, a presentation of the preliminary cost estimate shall be given to both parties. This presentation may occur in a joint meeting or separately as the parties' desire. At or after this presentation either party may request changes to the project scope or the work to be done as proposed by the engaged professional. After all comments have been obtained, the engaged professional shall make a final presentation of the preliminary cost estimate to both parties. The parties will jointly participate in applying for and securing funding for the Project. Upon the parties' written agreement as to the project scope, cost estimate, and the securing of funding, this Agreement shall enter Phase II.



- b. **Phase II:** Request for bids. Upon the signing of the allocation of cost by both parties, City or any retained professional shall prepare bid specifications in accordance with the City's bid process unless more stringent requirements are necessary to comply with any funding assistance. Both parties shall approve of the bid specifications prior to the commencement of the bidding process. The bid opening shall be conducted by the City. Presentation of the bids shall be presented to both parties, who shall give concurrence in the awarding of the contracts to the lowest responsible bidder. In the event that the collective cost of the project is higher than the project estimate, and any allocated contingencies, the parties shall jointly determine if they will re-bid the project, if they will accept the bids as presented; reject all bids and re-bid the Project or portion of the Project, or reject all bids and terminate the Project.
  - c. **Phase III:** Construction. Upon formal written approval of the contracts by both parties and successful bidders, the Project shall proceed to construction as set forth in the construction agreements. At this time, Park shall deposit with the City any and all funds, if any, necessary to make payment to the contractors. City shall act as the fiscal agent of Park for the collection and dissemination of funds to the contractors. However, progress reports shall be provided to both parties. Any change in the contract price or date of completion shall require written approval of both parties. Upon substantial completion of the project, a project report shall be provided to both parties prior to the dissemination of any retainage. Upon final completion or closeout of project, the JPA shall enter Phase IV.
  - d. **Phase IV:** Maintenance: Upon completion of the Project, the parties shall jointly own the Bridges. Park shall be solely responsible for routine maintenance and repairs of the Bridges. City shall have no further obligation to repair or replace any bridges not ultimately included in the Project. Nothing in this Agreement shall prevent the parties from entering into a new JPA if a need arises to conduct substantial repairs or replacements in the future.
5. **Project Scope.** Nothing in this Agreement shall subsequently obligate either party to make repairs to a bridge or bridges which was not ultimately included in the project scope other than for routine maintenance and repairs.
  6. **Assignment.** Parties may not transfer or assign this JPA, nor any rights or obligations under this JPA, without the express written consent of the other parties.
  7. **Amendments.** No amendment, modification, or waiver of any condition, provision, or term of this JPA will be valid or of any effect unless made in a writing signed by the party or parties to be bound, or a duly authorized representative, and specifying with particularity the extent and nature of such amendment, modification, or waiver. Any waiver by any party of any default of another party will not affect or impair any right arising from any subsequent default. Except as expressly and specifically stated

otherwise, nothing herein will limit the remedies and rights of the parties thereto under and pursuant to this JPA.

- 8. **Governing Law.** This JPA will be controlled by the laws of the State of North Dakota. Any action brought as a result of any claim, demand, or cause of action arising under the terms of this JPA must be brought in an appropriate venue in the State of North Dakota.
- 9. **Merger Clause.** This JPA and its exhibits constitute the entire agreement by and between the parties, and any other prior representations or agreements are deemed merged herein, and those not specified herein do not represent any agreements, promises, covenants, or representations on the part of either party hereto.
- 10. **Severability Clause.** Each provision, section, sentence, clause, phrase, and word of this JPA is intended to be severable. If any provision, section, sentence, clause, phrase, or word hereof is held by a court of competent jurisdiction to be illegal or invalid for any reason whatsoever, such illegality or invalidity will not affect the legality or validity of the remainder of this JPA so long as the rights and obligations of either party are not materially affected thereby.
- 11. **Grammatical Construction.** Whenever the singular number is used herein, the same will include the plural where appropriate, and the words of any gender will include any other genders where appropriate.
- 12. **Agreement Binding on Successors Survival.** This JPA shall survive the completion of the project and will be binding upon and inure to the benefit of the parties hereto and their respective personal representatives, successors, and assigns.
- 13. **Headings.** Headings in this JPA are for convenience only and will not be used to interpret or construe its provisions.
- 14. **Authority.** The parties agree that they have the authority to enter into this Agreement. By signing below, the individual signing agrees that they were given the authority to sign on behalf of their respective entity.

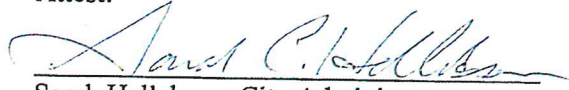
IN WITNESS WHEREOF, the parties executed this JPA on the Effective Date:

CITY OF JAMESTOWN

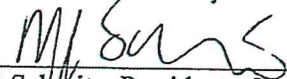


Dwaine Heinrich, Mayor of the City of Jamestown

Attest:

  
Sarah Hellekson, City Administrator

CITY OF JAMESTOWN-BOARD OF PARKS COMMISSIONERS  
A/K/A: JAMESTOWN PARKS AND RECREATION DISTRICT

By:   
Mindi Schmitz, President of the Board of  
Park Commissioners

Attest:

  
Amy Walters, Park Director

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 02.28.2023	<b>Project Name</b> Lakeside Campground Improvements
<b>Sponsoring Agency Name</b> Stutsman County Park Board	
<b>Authorized Representative/Title</b> Karl Bergh- Park Superintendent	
<b>Sponsoring Agency Address</b> 511 2nd Ave SE	
<b>Phone</b> 701.368.1365	<b>Email</b> kbergh@stutsmancounty.gov
<b>Contact Name for Project</b> (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> 8341 32nd St SE, Jamestown, ND 58401	

**Description of Project Features (if more space is required, please provide separate documentation)**

We plan on installing new signage at the entrance to the campground. That would replace the gov't looking signage that was part of the Bureau of Reclamation. Also planned are 3 elevated tent pads with electricity and water to the sites. The other part of this project would be to add 5 electrical pedestals to add easier access to 5 RV sites where many campers find it hard to make connections. These pedestals would carry 30 amp in two sites and 30-50 amps in 3 sites.

The signage to the entrances would be much more visible and will include trail maps and other information from the area the campers would find useful.

Justification of Project (Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	5500 per year
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 21,500.00
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 5,375.00
<b>Applicant's Contribution</b>	\$ 16,125.00
<b>Additional Sources of Funding</b>	Jamestown Tourism

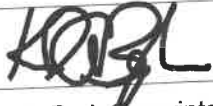
**Federal Funds Utilized** 0

**Describe the Project Site As Is and Proposed Changes** (Tree Removal, Drainage Filled, Etc.)  
 The site is an established campground. The job will just include trenching for wire and a few water lines. After those are installed, releveling and reseeding.

**Annual Maintenance Budget** \$ 500.00

**Maintenance Provided By** Employees of Stutsman County Park Board

**I Hereby certify that funds in the amount of \$** 16,125.00 **are available for this project.**

**Authorized Signature of Sponsoring Agency**   
 SIGN HERE

**Printed Name/Title** Karl A Bergh-Stutsman County Park Superintendent

**Date** 03.28.2023

PROJECT COST ESTIMATES (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Signs	2	12,500.00
Electrical for pedestals and 1 sign		7795.00
Raised tent sites	3	2000.00

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org

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MARTIN JOOS MEMORIAL PARK

Jamestown Reservoir Beach

Lakeside Campground

Campground Improvement Area

Overlook Trail Trailhead

Park Office

Building

ondo's Hideaway

182

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program

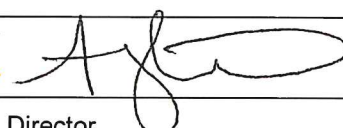
<b>Date of Application</b> 2/27/2023	<b>Project Name</b> Lawrence "Trapper" Softball Field Lighting Project
<b>Sponsoring Agency Name</b> Jamestown Parks and Recreation District	
<b>Authorized Representative/Title</b> Amy Walters, Executive Director	
<b>Sponsoring Agency Address</b> 1002 2nd Ave SE, Jamestown, ND 58401- PO Box 2014	
<b>Phone</b> 701-252-3982	<b>Email</b> amy@jamestownparksandrec.com
<b>Contact Name for Project</b> Same as above (If different than above)	
<b>Address</b>	
<b>Phone</b>	<b>Email</b>
<b>Project Location</b> Lawrence "Trapper" Softball Field- 502 15th St SE, Jamestown ND 58401	

**Description of Project Features (if more space is required, please provide separate documentation)**

This project will include updates and renovations to Lawrence "Trapper" Softball Field at McElroy Park in Jamestown, ND. The updates will include the addition of lighting and accompanied fencing revisions at the only competitive fast pitch softball field in the community.

See attached for additional information.

Justification of Project	
(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	See attached for additional information
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 297,575
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 50,000
<b>Applicant's Contribution</b>	\$ 98,787
<b>Additional Sources of Funding</b>	
ND Parks and Recreation Land and Water Conservation Fund- \$148,788, Jamestown Parks and Recreation Capital Outlay Fund- \$23,787, and Private donors-\$75,000	

<b>Federal Funds Utilized</b>	The ND Parks and Recreation Land and Water Conservation Funds	
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	See attached for additional information.	
<b>Annual Maintenance Budget</b>	\$ 20,000	
<b>Maintenance Provided By</b>	Jamestown Parks and Recreation	
<b>I Hereby certify that funds in the amount of \$ 247,575 are available for this project.</b>		
<b>Authorized Signature of Sponsoring Agency</b>	 <span style="background-color: orange; color: white; padding: 2px;">SIGN HERE</span>	
<b>Printed Name/Title</b>	Amy Walters, Executive Director	
<b>Date</b>	2/27/2023	

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Musco Sports Lighting and Installation		\$230,000.00
Ottertail Power		\$8,500.00
Fencing		\$7,430.00
Engineering, Architectural and Design Fees		\$24,593
Contingency 10%		\$27,052

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to  
**Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org**



**Garrison Diversion Conservancy District Matching Grant Program  
Lawrence "Trapper" Softball Field Lighting Project**

**Description of Project:**

Updates and revisions to Lawrence "Trapper" Softball Field at McElroy Park in Jamestown, ND. The updates will include the addition of lighting and accompanied fencing revisions at the only competitive fast pitch softball field in the community. Currently there are no lights on any fast pitch softball fields in the community. This would be the first-time teams would be able to play past sunset. Stakeholder groups including, Jamestown Public Schools, University of Jamestown, Jamestown "Outlaws" Frontier Fastpitch Softball, Jamestown Men's Softball Association and Jamestown Women's Slow Pitch Softball were consulted in the development of this plan.

The physical improvements at the field will include the installation of LED lights with concrete bases, galvanized steel poles, remote electrical component enclosures, pole length wire harnesses and factory-aimed and assembled luminaries. Additional improvements will include the required electrical service of 480V/3 phase power to the site, a new electrical transformer, and necessary movement and reinstallation of fencing on the first and third baseline to the outfield.

**Audience Intended to be Served:**

Currently the facility serves the following constituents as detailed below.

- 120 local players age 5-18 registered in Outlaws youth fast pitch programs
- 40 middle school and high school players (some duplication with the above)
- 30 University of Jamestown players
- 12,000 visits to Trapper Field and McElroy Park softball fields seasonally
- Host to several state and regional tournaments to include the NDHSAA Class A and B fast pitch softball yearly. Host all State Amateur tournaments for 3 divisions.

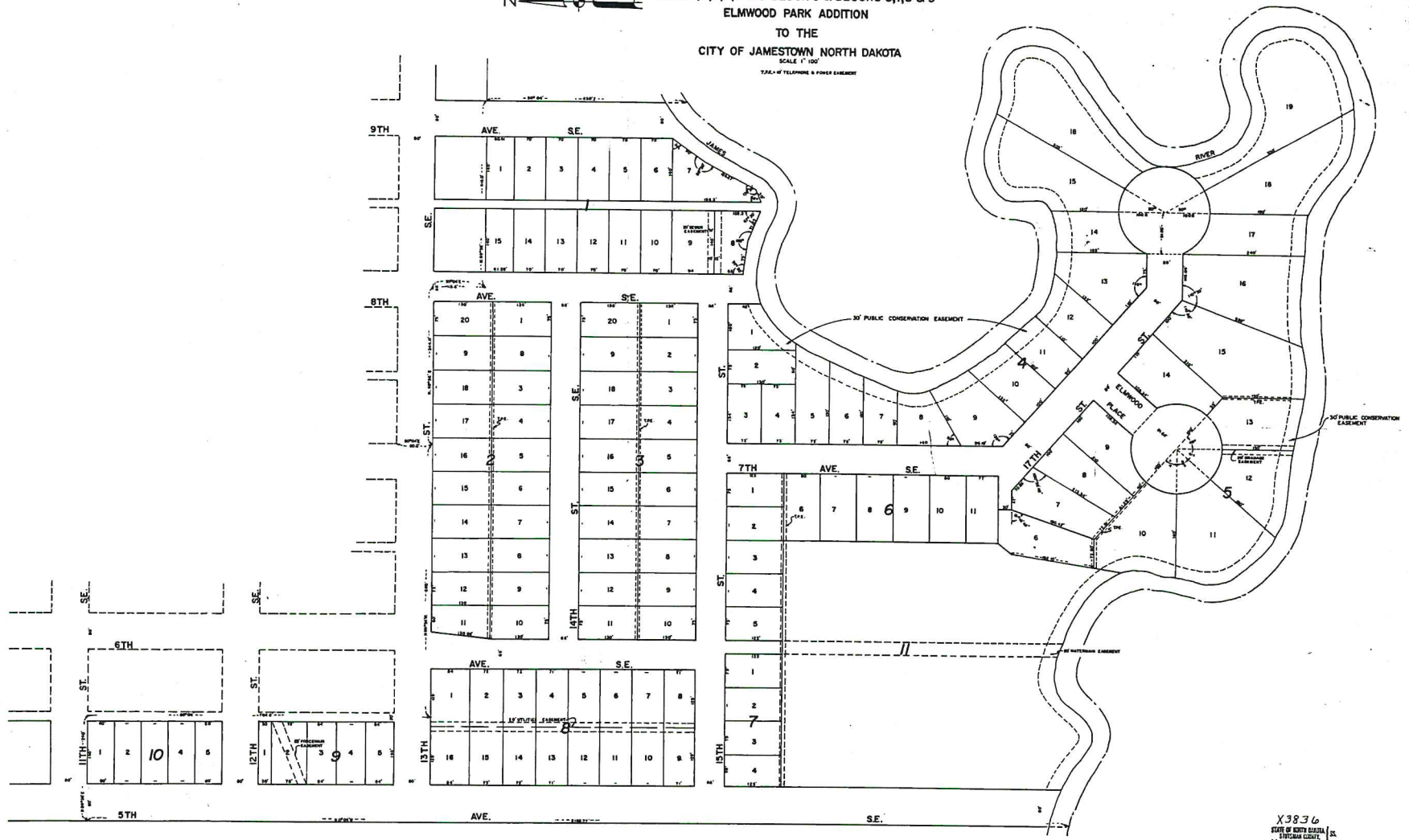
By adding lighting to Trapper Field it extends the "playable" hours of the facility. This is especially critical in the Spring and Fall seasons as sunset occurs earlier. Having extended playable hours will impact all user groups, both adult and youth, as well as competitive and recreational leagues. Currently the number of teams in recreational leagues are limited based upon the number of games that can be played each day. In addition, lighting and fence realignment will improve safety for the players. With the new lighting system Trapper Field will be in compliance with facility requirements for hosting state and regional tournaments.

**Describe Project Site As Is and Proposed Changes:**

The site is currently a fast pitch softball field located within McElroy Park. The proposed changes would include the installation of lighting and revisions to the first and third baseline fencing that would be disrupted due to the required location of the light poles.



REPLAT OF  
 LOTS 1,2,3,4,5 & 6 BLOCK 5 & BLOCKS 6,7,8 & 9  
 ELMWOOD PARK ADDITION  
 TO THE  
 CITY OF JAMESTOWN NORTH DAKOTA  
 SCALE 1" = 100'  
 TALK. W/ TELEPHONE & POWER EASEMENT



X3836  
 STATE OF NORTH DAKOTA  
 COUNTY OF BURNING WOOD  
 I hereby certify that the within plat is  
 true and correct.  
 30 DEC 16 1963  
 Notary Public for North Dakota  
 J. H. [Name]

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MAR 02 2023

**Garrison Diversion Conservancy District  
Matching Recreation Grant Program  
Application**

**Date of Application:** 2/27/2022

**Agency Name:** North Dakota State Fair

**Point of Contact:** Craig Rudland, Assistant General Manager

**Address:** PO Box 1796, Minot, ND 58702

**Phone Number:** 701-857-7620

**Name of Project:** Upgrading Full-Service Camping to Include More Full-Service Hookups

**Project Locations:** Minot, ND State Fairgrounds

**Description of Project Features:**

The North Dakota State Fair would like to provide our full-service camping area, which is primarily used by campers that stay for long periods of time, including but not limited to fair volunteers, fair staff, fair vendors, Nodak Speedway Racers, Norsk Hostfest staff and vendors, and much more, direct water and sewage to better accommodate them for the amount of time they are with us. These full-service spaces will not only service North Dakota State Fair Staff, but staff for other events such as Motor Magic, Norsk Hostfest, Nodak Speedway, and any other event being held at the fairgrounds that requires full-service camping or campers simply coming to the city of Minot to visit. These full-service camping spaces will account for fewer campers filling water and pumping sewage which will ultimately provide a more convenient stay. During the ND State Fair and our other large events held at the fairgrounds, this will open up time slots to accommodate other campers staying in other camping lots in a timelier manner. These full-service camping spaces will also provide a worry-free stay for campers staying with us for long periods of time with the hope to bring in additional camping for people visiting the city of Minot and the state of North Dakota throughout the summer months.

**Estimated Number of People Served:**

These full-service camping spaces will accommodate fair volunteers, fair staff, fair vendors, Nodak Speedway Racers, Norsk Hostfest staff and vendors, and anyone who visits the city of Minot and camps at the ND State Fairgrounds. The ND State Fairgrounds sees anywhere from 4,000 to 5,000 campers each year. Some of these campers stay for over a month.

**Total Estimated Project Cost:** \$50,000

**Assistance Requested:** \$25,000

**Applicant's Contribution:** \$25,000

**Additional Sources of Funding:** There will be no additional sources of funding or financial assistance for this project.

**Federal Funds Utilized:**

There will be no federal funds utilized for this project.

**Describe the Project Site As Is and Proposed Changes:**

Currently, this full-service campsite is full-service electric and requires a water truck to fill with a sewage dump on location. We would like to provide each camping spot with their own water and sewage lines to better accommodate those staying for long periods of time.

**Annual Maintenance Budget:** \$313,275

**Maintenance Provided By:** North Dakota State Fair Association

**I Hereby certify that funds in the amount of \$50,000 are available for this project.**

**Project Cost Estimates:**


Item	Units	Estimated Cost
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**Attachments –**

- Proposal of Estimated expenses
- Fair Capital Improvement Budget
- Annual meeting Budget Approval
- Full-Service Camping Map

  
 \_\_\_\_\_  
 Authorized Signature of Sponsoring Agency

  
 \_\_\_\_\_  
 Printed Name/ Title

  
 \_\_\_\_\_  
 Date

DAVIDSON CONSTRUCTION, INC.

3000 SUNSET RIDGE RD SE  
Minot, ND 58701-8071

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Phone – 838-1768  
Fax – 839-2067

ESTIMATE

**Proposal Submitted To:**

North Dakota State Fair  
2005 Burdick Expy E

Date: 11/7/2022

**Proposal submitted by:**

Clay Burns  
Davidson Construction, Inc  
Minot, ND 58701

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We hereby submit specifications and estimates for: **Sewer Line**

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For new sewer main, and lines for camper drops on east lot of the midway

No permits in this price, and must be approved by the City

This is an Estimate only, prices may change by spring.

Total **\$42,750.00**

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**FAIR 2022-2023 CAPITAL IMPROVEMENTS**

	DESCRIPTION	
Asphalt	Patch	\$80,000
Bathroom	West park	\$750,000
Commercaill 3	Bathroom Upgrade	\$75,000
East lot Power	Camping	\$6,000
Grandstand	Add Power to stage area	\$3,200
Hand Dryers	Replacements	\$9,000
Land		\$1,000,000
Lighting	West Park	\$50,000
Magic Place Lights upgrade	If we receive grant	\$20,000
Security Cameras	SFC / Grounds	\$30,000
Sewer Dump	Full Service Camping	\$50,000
SFC Paging	Update	\$15,000
Shop Ceiling Fans / Lighting		\$1,500
Shop roof repair		\$10,000
Street Light Upgrade	LED	\$10,000
Undergroud Sprinklers	Grounds	\$6,000
<b>Total</b>		<b>\$2,115,700</b>

# APPLICATION

## Garrison Diversion Conservancy District Matching Recreation Grant Program



<b>Date of Application</b> 1/20/2023	<b>Project Name</b> Talbott Court - Disc Golf
<b>Sponsoring Agency Name</b> Ward County Parks	
<b>Authorized Representative/Title</b> Travis Schmit, Asst. Co. Engineer	
<b>Sponsoring Agency Address</b> 200 72nd St SE, PO Box 5005, Minot, ND 58702-5005	
<b>Phone</b> 701.418.3615	<b>Email</b> Travis.Schmit@co.ward.nd.us
<b>Contact Name for Project</b> Travis Schmit (If different than above)	
<b>Address</b> Same	
<b>Phone</b> Same	<b>Email</b>
<b>Project Location</b> Talbott Court Park - 1900 72nd St NW, Minot, ND	

**Description of Project Features (if more space is required, please provide separate documentation)**

Ward County Parks will be purchasing nine (9) disc golf baskets in the Mach 5 Series to create a nine (9) hole disc golf course at one of our newest park areas in Ward County. In addition, we will be purchasing four (4) rectangular mesh metal picnic tables to complete this part of the park.

Justification of Project	
(Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	10,000+
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 9,859.75
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 2,464.94
<b>Applicant's Contribution</b>	\$ 7,394.81
<b>Additional Sources of Funding</b> Ward County Parks also plans to submit grant requests to Enbridge and Verendrye Electric for these park improvements.	



<b>Federal Funds Utilized</b> 0.00
<b>Describe the Project Site As Is and Proposed Changes</b> (Tree Removal, Drainage Filled, Etc.) The project site use to be home to a trailer park before the property was acquired for flood mitigation purposes. No trees and/or fill removal or placement will take place as part of this project. The site has quite a few old trees and is
<b>Annual Maintenance Budget</b> \$ 160,000
<b>Maintenance Provided By</b> Ward County Parks
<b>I Hereby certify that funds in the amount of \$</b> 7,394.81 <b>are available for this project.</b>
<b>Authorized Signature of Sponsoring Agency</b>   Travis L Schmit 2023.01.20 09:47:01 -06'00'
<b>Printed Name/Title</b> Travis Schmit, PE, CFM; Asst. Co. Engineer
<b>Date</b> 1/20/2023

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
6-Foot Mesh Metal Rectangular Picnic Table	4	\$4,665.40
DGA Mach 5 Standard Disc Golf Baskets	9	\$5,194.35

**APPLICATION MUST INCLUDE THE FOLLOWING:**

1. Authorized signature of sponsoring agency
2. Resolution or minutes approving the project
3. City or county plat map of the proposed project location
4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to recreation@gdcd.org

# WARD COUNTY PARKS

PO Box 5005, Minot, ND 58701

E-Mail: Parks@co.ward.nd.us

## Letter of Transmittal

Date: January 20, 2023  
Re: Garrison Diversion Cons. Dist. Matching Recreation Grant Program

To: Garrison Diversion Conservancy District  
PO Box 140  
Carrington, ND 58421


From: Travis Schmit, PE, CFM  
Asst. Co. Engineer  
  
Ward County Highway Department  
PO Box 5005  
Minot, ND 58702-5005

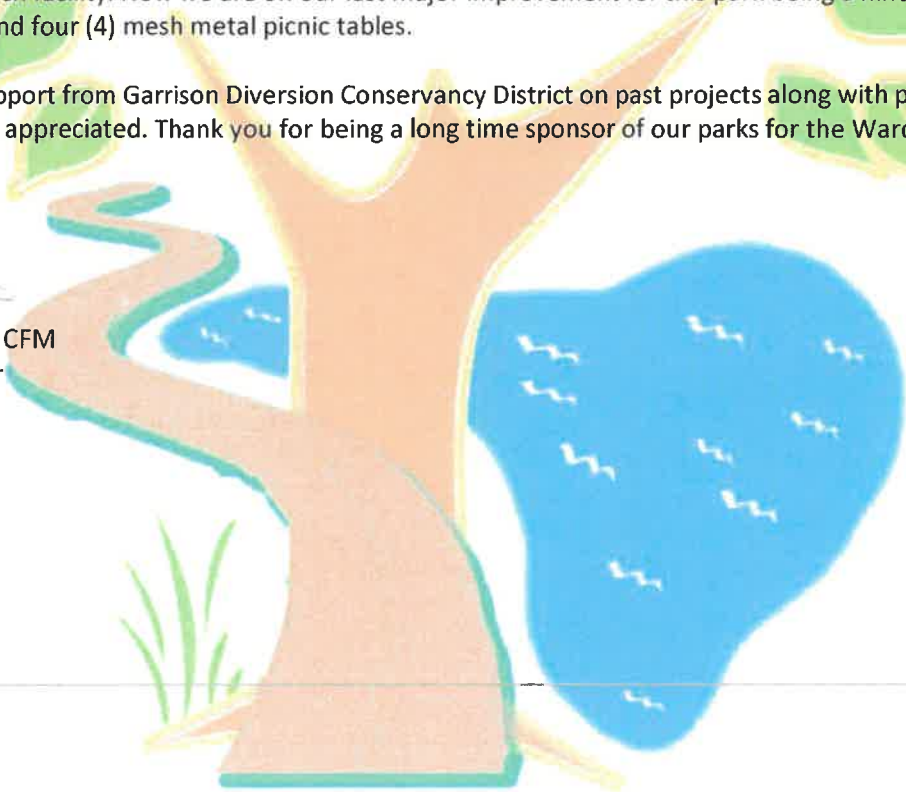
Dear Garrison Diversion Conservancy District ,

Ward County Parks is excited to continue project improvements at one of its newest parks in Ward County. Talbott Court use to be a nursery back in the early years and then it was a mobile home park for many years prior to the flood of 2011. Since the flood, the property has been purchased as a mitigation site and is now a park for Ward County. The old road network has been preserved and is used as a walking trail. In prior submittals, the purchase of park benches and trash receptacles have been installed, along with a canoe/kayak launch facility. Now we are on our last major improvement for this park being a nine (9) hole disc golf course and four (4) mesh metal picnic tables.

As always, the support from Garrison Diversion Conservancy District on past projects along with proposed projects is always appreciated. Thank you for being a long time sponsor of our parks for the Ward County community.

Sincerely,

  
Travis Schmit, PE, CFM  
Asst. Co. Engineer





ROAD_CLASS	AGENCY	
Major Collector	City	State of ND
<b>All Roads with street names</b>	Federal	Township
Outside County	Ward County	Unconfirmed
	WC_Sections	

Map Created By:  
Travis Schmit

# APPLICATION

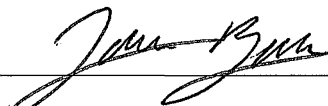
## Garrison Diversion Conservancy District Matching Recreation Grant Program

<b>Date of Application</b> 2/24/2023	<b>Project Name</b> Williston Water World
<b>Sponsoring Agency Name</b> Williston Parks and Recreation District	
<b>Authorized Representative/Title</b> Joe Barsh/ Executive Director	
<b>Sponsoring Agency Address</b> PO Box 1153 / Williston, ND 58802	
<b>Phone</b> 701-770-9767	<b>Email</b> joeb@wprd.us
<b>Contact Name for Project (If different than above)</b> Amanda Colebank	
<b>Address</b> PO Box 2720 / Williston, ND 58802	
<b>Phone</b> 406-489-0250	<b>Email</b> amanda.colebank@leesuess.com
<b>Project Location</b> Williston, ND	

**Description of Project Features (if more space is required, please provide separate documentation)**

Please see attached.

Justification of Project (Estimated Number of People Served, Age Categories Which May Benefit, Description of Integration Into a Comprehensive Recreation Plan, Etc.)	
<b>Estimated Number of People Served</b>	35,000+
<b>Total Estimated Project Cost</b> (Include volunteer/in-kind donations/work)	\$ 9,471,446
<b>Assistance Requested</b> (No more than 25% of project cost unless multi-county sponsored)	\$ 75,000
<b>Applicant's Contribution</b>	\$ 400,500
<b>Additional Sources of Funding</b> Please see attached.	

<b>Federal Funds Utilized</b>	None	
<b>Describe the Project Site As Is and Proposed Changes (Tree Removal, Drainage Filled, Etc.)</b>	The project site as is an empty lot. The proposed changes would include planting trees and grass, along with site dev.	
<b>Annual Maintenance Budget</b>	\$ 688,966	
<b>Maintenance Provided By</b>	Williston Parks and Recreation District	
<b>I Hereby certify that funds in the amount of \$ 4,912,015.23 are available for this project.</b>		
<b>Authorized Signature of Sponsoring Agency</b>	 <div style="border: 1px solid black; padding: 2px; display: inline-block; margin-top: 5px;">SIGN HERE</div>	
<b>Printed Name/Title</b>	Joe Barsh/ Executive Director	
<b>Date</b>	3-1-23	

<b>PROJECT COST ESTIMATES</b> (Include volunteer/in-kind donations and labor)		
Item	Units	Estimated Cost
Please see attached.		

**APPLICATION MUST INCLUDE THE FOLLOWING:**

- ✓ 1. Authorized signature of sponsoring agency
- ✓ 2. Resolution or minutes approving the project
- ✓ 3. City or county plat map of the proposed project location
- ✓ 4. Breakdown of estimated expenses

**QUESTIONS?**

Questions may be directed to the Garrison Diversion Conservancy District at 652-3194 or the District director from the applicant's county.

**READY TO SUBMIT?**

Mail completed application with required documentation to Garrison Diversion Conservancy District, PO Box 140, Carrington, ND 58421 or email to [recreation@gdcd.org](mailto:recreation@gdcd.org)

Williston Community Builders  
Williston, ND

## CURRENT

### Construction Cost Estimate - Phase One

Leisure Pool	\$	2,084,880
Waterslide Package A	\$	625,000
Spray/Play Feature Allowance	\$	184,000
Miscellaneous Site Work	\$	1,519,718
Buildings & Canopy's	\$	1,980,698
<b>Phase One Subtotal</b>	<b>\$</b>	<b>6,394,296</b>

Preconstruction Fee (0.5%)	\$	31,971
Construction Contingency (5.0%)	\$	321,313
Escalation to 2nd Qtr 2023	\$	168,690
CMAR Fee (4.28%)	\$	273,676
<b>Construction Fee's + \$ Carried</b>	<b>\$</b>	<b>795,650</b>
<b>Total GMP (Phase One)</b>	<b>\$</b>	<b>7,189,946</b>

A/E Fees	\$	360,000
Soft Costs		
Soil Investigation	\$	-
Site Survey	\$	15,000
Reimbursable Expenses	\$	6,500
Operational Costs (3 Years)	\$	1,500,000
Owner Contingency (5%)	\$	250,000
FF&E	\$	150,000
<b>Total Estimated Soft Costs</b>	<b>\$</b>	<b>2,281,500</b>

<b>Total Project Costs (Phase One)</b>	<b>\$</b>	<b>9,471,446</b>
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<b>Fundraised To</b>	<b>\$</b>	<b>4,830,953</b>
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<b>Need to Raise</b>	<b>\$</b>	<b>(4,640,493)</b>
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Prepared by:  
Emily Kreil, Project Designer  
EAPC Architects Engineers, PC



**Counsilmann · Hunsaker**  
AQUATICS FOR LIFE

Williston, ND  
Expense Analysis  
January, 2023

# Capacity

- Training capacity – 5 swimmers per lane per session
- Daily training – 3 sessions per day
- Recreation holding capacity (RHC)
- Shallow water – 25 ft<sup>2</sup> per person
- Deep water – 100 ft<sup>2</sup> per person
- Daily recreation capacity – 2.5 x RHC
- Program holding capacity – 32 ft<sup>2</sup> per person
- Health code capacity numbers will be higher than what is shown.

## Williston Water Park

### WET-SIDE CAPACITY

#### Training (Available 25-Yard Lanes)

Outdoor Lap	6
<b>Total</b>	<b>6</b>

Estimated Training Holding Capacity	30
Daily Training Capacity	90

#### Recreation (Surface Area Sq. Ft.)

Outdoor Lap	4,128
Outdoor Leisure	5,019
<b>Total</b>	<b>9,147</b>

Shallow Water	8,232
Deep Water	915

Estimated Recreation Holding Capacity	338
Daily Recreation Holding Capacity	846
Program Holding Capacity	286

Total Capacity	368
<b>Total Daily Facility Capacity</b>	<b>936</b>





# Expenses – Staffing

201

- Full time includes overhead
- Brian – Assistant Manager
  - ½ Salary to Aquatic Center
- Additional Maintenance Sup
  - ½ Salary to Aquatic Center
- Custodial absorbed by PARD
- Lifeguards
  - \$15.20/hr. + 20% overhead
  - 2 LG from 8 - 10 AM
  - 9 LG from 10 AM – 12 PM
  - 13 LG from 12 – 8 PM
- Pool Manager
  - \$17/hr. + 20% overhead
  - 1 Pool Manager from 8 AM – 8 PM
- Estimated Part Time FTEs – 29.83

## CHART Direct Facility Expense Budget Aquatic Research Tool Williston Water Park

### Facility Staff

Maintenance Salaries	\$45,000
Food Service Manager	Not Included
Aquatic Coordinator	Not Included
Recreation Coordinator	Not Included
Custodians	Not Included
Full Time Benefits	\$18,000
Part-Time Management	\$26,928
Lifeguard Personel	\$252,806
Cashiers/Concessions/Attendants	\$50,688
Part-Time Maintenance	Not included
Personnel Equipment Cost	\$10,739
Training	\$12,000
<b>Total Labor</b>	<b>\$416,162</b>

**Estimate Current as of: 1/3/2023**

**Source: Counsilman-Hunsaker**



201

# Utilities

## Assumptions

- Electricity - \$0.10/kWH
- Water/Sewer - \$4.88
- Gas - \$.69/ Therm

## Pool Heating

- Heating May – Sept
- Average pool temp - 84 °

**CHART** Direct Facility Expense Budget  
AQUATIC RESEARCH TOOL  
**Williston Water Park**


Utilities	
HVAC	\$7,837
Electricity	\$30,983
Pool Heating	\$35,833
Data/Communications	\$1,728
Trash Service	\$3,120
Water & Sewer	\$14,796
<b>Total Utilities</b>	<b>\$94,297</b>

**Estimate Current as of: 1/3/2023**  
**Source: Counsilman-Hunsaker**



# Direct Facility Expenses <sup>203</sup>

- Insurance – Quotes from Rob Osborn
  - WC - \$5.37 per \$100 of payroll
- Landscaping - \$25 K per acre
- CC Fees
  - Mem/Daily swims – 35,156
  - Programming – Not included
- Chemicals – \$2 per lb
- Advertising - \$0.10 per attendee

 <b>Direct Facility Expense Budget</b> <b>Williston Water Park</b>	
<b>Direct Facility Expenses</b>	
Insurance	\$32,318
Repair and Maintenance	\$20,300
Landscaping	\$41,082
Credit Card Fees	\$12,219
Operating Supplies	\$12,180
Chemicals	\$9,362
Advertising	Not Included
<b>Direct Expenses</b>	<b>\$127,460</b>
<b>Estimate Current as of: 1/3/2023</b>	
<b>Source: Counsilman-Hunsaker</b>	



# Expense Summary

204

- Includes Food and Beverage
  - 60% of estimated revenue
  - Revenue - \$0.50 per cap
- Capital Replacement Fund
  - Budgeted annually for future capital improvement projects

**Total Operating Expenses - \$648,466**

**W Cap Improvement - \$688,966**

Facility Staff	
Full Time Employment	Not Included
Maintenance Salaries	\$45,000
Food Service Manager	Not Included
Aquatic Coordinator	Not Included
Recreation Coordinator	Not Included
Custodians	Not Included
Full Time Benefits	\$18,000
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Water & Sewer	\$14,796
<b>Total Utilities</b>	<b>\$94,297</b>

Programs	
Program Supplies	Not Included
LG Class Materials	Not Included
Food and Beverage	\$10,547
Part-Time Program Staff	Not Included
<b>Total Programs</b>	<b>\$10,547</b>

<b>Total Operating Expenses</b>	<b>\$648,466</b>
Capital Replacement Fund	\$40,500
<b>Total Expense</b>	<b>\$688,966</b>

Estimate Current as of: 1/3/2023  
Source: Counsilman-Hunsaker



204

# Expense Summary

205



Facility Staff	
Full Time Employment	Not Included
Maintenance Salaries	\$45,000
Food Service Manager	Not Included
Aquatic Coordinator	Not Included
Recreation Coordinator	Not Included
Custodians	Not Included
Full Time Benefits	\$18,000
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<b>Total Operating Expenses</b>	<b>\$648,466</b>
Capital Replacement Fund	\$40,500
<b>Total Expense</b>	<b>\$688,966</b>
Estimate Current as of:	1/3/2023
Source: Counsilman-Hunsaker	



#### Description of Project Features:

We would like to build an outdoor pool for our community of close to 30,000 people that we believe will also bring in families from all of Williams County looking for a family-oriented excursion. Williston is a community that has experienced rapid growth and change due to the oil and gas industry. Families have moved in for job opportunities not offered in other parts of the state/country, and we believe an outdoor pool is just one way to provide a higher quality of living for those who call Williston home. We have been gifted a parcel of land with an existing parking lot from the City of Williston, we have raised close to \$5 million dollars in funds towards the project, we are partnering with other community stakeholders, and we are confident that we can create an outdoor recreation area for people of all ages to enjoy. This project will create jobs for youth, will provide young people with a healthy, active outlet for summer months and will give families a place to gather and recreate.

Williston Water World will consist of a leisure pool with a zero depth entry (also known as "beach-entry pool or walk-in pool") to allow easy access for every age and ability. The leisure pool will include spray and play features ideal for young children. It will then lead to a deeper area and a lazy river. The lazy river will also include spray and dump features for even more fun!

We have secured funding for two large waterslides, they will be 26 feet tall, stand alone run out slides.

We will build a pool building including a front office for check-in, lifeguard room, men's and woman's locker rooms, family changing rooms, concessions and the necessary pump and utility rooms. We have designs for storage lockers outside to save on cost and expedite the time it takes to get to jump into the pool! Also, due to extreme demand, we will include two party rooms for things like birthday parties. These rooms will significantly contribute to financial feasibility of the facility.

Marvene Larvick	1,160,000.00
Cleo Erickson	500,000.00
Williston Industrial	500,000.00
Williston Community Builders	400,500.00
American Legion 37 Edgar M Boyd	360,000.00
Williston Convention and Visitor Bureau	250,000.00
First State Bank and Trust	150,000.00
Kathy Lynn Vestal	125,000.00
Rich Vestal	125,000.00
Calfrac Well Services Corporation	100,000.00
N. J. & A., Inc.	100,000.00
ONEOK	100,000.00
Empire Oil Company	75,000.00
Western Cooperatvie Credit Union	75,000.00
First International Bank & Trust	56,800.00
John Kasmer	50,600.00
Basin Brokers	50,000.00
Bringston Electric (in kind)	50,000.00
Dean Aafedt	50,000.00
MDU Resouces Foundation	50,000.00
David & Bridget Kjorstad	40,000.00
Lewis and Clark	37,548.43
Jason & Kalliann Arnson	30,000.00
Janet Skadeland	27,000.00
American State Bank	25,000.00
CCP Properties, LLC	25,000.00
James Powers	25,000.00
Tom and Cheryl Powers Family Fund	25,000.00
Triangle Electric, Inc.	20,000.00
Busy Bee's Hot Oil, Inc.	17,000.00
Roger & Paula Cymbaluk	15,000.00
The Aafedt Foundation, Inc.	15,000.00
Interstate Engineering (in-kind)	13,000.00
Manger Insurance, Inc.	10,800.00
Carol Jenson	10,000.00
Enbridge Grant	10,000.00
Noble Casing Inc	10,000.00
Paulette Seaton	10,000.00
Walmart Grant	10,000.00
Josh Otteson Memorial	9,000.00
Expanse Electrical	8,000.00
Coca-Cola of Williston	7,500.00
Prairie Winds Services, LLC	7,500.00
Richard & Suzanne Lasch	7,500.00
Sioux Energy Services, LLC	7,000.00
Messer Dental, PC	6,000.00
Scenic Sports Little Lot, Inc.	5,386.92

Aafedt-McCabe Family Fund	5,000.00
American Engineering Testing, Inc. (in kind)	5,000.00
Christopher Jundt	5,000.00
First Lutheran Church	5,000.00
G&G Rx Inc. dba G&G Pharmacy	5,000.00
Marilyn M Geyerman	5,000.00
Mike & Lori Erickson	5,000.00
Thomas & Dina Archipley	5,000.00
Williams County Abstract Company	5,000.00
Stacy and Kelly Gunlikson	4,350.00
Cash Raised at Fundraiser	3,191.00
Connie J Ferrell	3,000.00
DC Power Tong, LLC	2,800.00
ASB Innovation Academy	2,685.00
BoDo's Appliance & Outdoor Living	2,500.00
David & Linda McAdoo	2,500.00
Mark & Kari Kringen	2,500.00
Cash Raised at Fundraiser	2,478.63
Lee Suess, LLC	2,200.00
Cash Raised at Fundraiser	2,132.07
Dorothy Westphal	2,000.00
Robert & Debora Kemp	2,000.00
Cash Raised at Fundraiser	1,886.00
Susan Helstad	1,500.00
Cash Raised at Fundraiser	1,498.00
Furuseth Olson and Evert, PC	1,400.00
Interstate Engineering	1,400.00
Ryan & Sarah Senderhauf	1,400.00
Scotty and Kristen Rehak	1,400.00
Cade Dorval	1,300.00
Billie Pippenger	1,250.00
Summer Nights on Main Dunk Tank	1,053.00
Ackerman-Estvold	1,000.00
All Clean	1,000.00
Automotive Hail Specialist, LLC	1,000.00
Brigston Contracting LLC dba Brigston Electric	1,000.00
Clarke & Associates, PC	1,000.00
Crowley Fleck, PLLP	1,000.00
Damien Allen	1,000.00
David & Sharon Kupper	1,000.00
Dean Darby	1,000.00
Dr. Tony Fisher, Orthodontist	1,000.00
Gabriel Gratz	1,000.00
Gary & Patsy Levang	1,000.00
Green Thumb Weed Servics, LLC	1,000.00
Greyson Mill	1,000.00
Grondahl Recreation, Inc.	1,000.00



Kent & Sandi Blikre	1,000.00
Land Shark Services, LLC	1,000.00
Live in Motion	1,000.00
M&H Well Service	1,000.00
Nemont Telephone Cooperative	1,000.00
Pacific Steel & Recycling	1,000.00
RGD Trucking, Inc.	1,000.00
Spark Monkey Fab & Design LLC	1,000.00
Spartan Alert, LLC	1,000.00
Western Skies Hot Shot & Transport	1,000.00
Williston Basin Eyecare	1,000.00
Williston State College Foundation	1,000.00
Annette Sluder	889.56
Wayco Construction, LLC	840.00
Arkota Energy, Inc.	800.00
B Safety Consulting and Training	800.00
Mchale & Brooke Maristuen	800.00
Nodak Oilfield Services	800.00
Red Rock Ford	800.00
Western Veterinary Clinic	800.00
Western Veterinary Clinic	800.00
Amanda Colebank	770.00
MRK Funancial Solutions, Inc	750.00
Bambinos, LLC	700.00
Boss Ladies	700.00
Lana Bracher	700.00
Glenn Olsen Golf Team	600.00
Kent Reirson	600.00
Basin Cruzers	550.00
Howard Klug	550.00
Oasis Petroleum	550.00
All Source Plumbing, LLC	500.00
Big Game Investments, LLC	500.00
Callie Zeibarth	500.00
Dakota Fence	500.00
David & Lori Geltel	500.00
EAPC Architects Engineers	500.00
Frank and Karen Weisz	500.00
Gerald & Kim Gratz	500.00
Karen Smith	500.00
Mountrial Williams Electric Coop	500.00
Neil and Paula Hagen	500.00
Richard & Janey Tangedal	500.00
Sabin Metal West Corp	500.00
Williston Parks & Rec	484.50
Ashley Weisz	445.53
Ramage Geltel Law Firm	400.00

Rick Albert	400.00
Curtis A. Hansen	350.00
Gloria Jordan	350.00
Caffeinated	300.00
Chris Burke	300.00
Kerry & Carol Hoffman	300.00
Rick & Lori Lee	300.00
GNLCC Summer After School Program	251.00
Cash Raised at Fundraiser	250.00
Jer Bears Sno Shack	250.00
Jer Bears Sno Shack	250.00
Phyllis Sylte	250.00
Susie Qs Ice Cream Truck, LLC	250.00
TruWealth Financial	250.00
Windsong Contracting, LLC	250.00
Jason Slater	240.00
Amanda Kosior	200.00
Christrpher & Lisa Bean	200.00
Connie Rueb	200.00
Cynthia Aafedt	200.00
Eric Fee	200.00
Gene & Tamara Johnson	200.00
Kent Reirson	200.00
Leslie Bieber	200.00
Richard (Ian) & Jessica Vestal	200.00
Sharlo Halvorson	200.00
Anonymous	195.00
Cash Raised at Fundraiser	160.00
Leslie and Mabel Colebank	150.00
Colby and Tarren Rehak	100.00
Credence Energy & Shift Services	100.00
Jaime Tamez	100.00
Jessica Bimgemanvestal	100.00
Joe Barsh	100.00
Michael & Holly Tkachyk	100.00
Pam Ramage	100.00
Paula & Russell Schilke	100.00
Sandy Blinke	100.00
Shawn Wenko	100.00
Cash Raised at Fundraiser	96.00
Cash Raised at Fundraiser	52.00
Beth Hokanson	50.00
Bridgette D Washington	50.00
Cash Raised at Fundraiser	50.00
Dan Weber	50.00
Jeabs Thai Food LLC	50.00
JoAnne Colebank	50.00

Kassie Gorder	50.00
Ken Kjos	50.00
Meri Lombardi	50.00
Ronelle Gravgaard	50.00
Lonnies Road House	37.28
Darcy Olsen	29.31
Kayla Wilson	25.00
Slaters	25.00
Tarren Rehak	25.00
Gage & Brianna Clem	20.00
Greg Everson	20.00
Dawn Hustad	15.00
Lacey Hendrickson	10.00
Paige Monzon	10.00
Steph	5.00
Cash Raised at Fundraiser	1.00

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4,912,105.23

Other Grants Pending:

2023 Walmart Annual Grant  
 Farm Credit Services Grant  
 STAR Grant Fund  
 Marathon Oil Grant  
 Englestad Foundation Grant  
 Outdoor Heritage Fund Grant  
 Williams Country Grant  
 Land and Water Conversation Fund Grant

# AAFEDT ADDITION

## TO THE CITY OF WILLISTON NW1/4 SW1/4, SECTION 14, TOWNSHIP 154 NORTH, RANGE 101 WEST WILLIAMS COUNTY, NORTH DAKOTA

### DESCRIPTION OF SUBDIVISION

A PARCEL OF LAND LOCATED IN THE NORTHWEST 1/4 OF THE SOUTH-WEST 1/4 OF SECTION 14, TOWNSHIP 154 NORTH, RANGE 101 WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF WILLISTON, WILLIAMS COUNTY, NORTH DAKOTA.

MORE PARTICULARLY DESCRIBED AS FOLLOWS: HAVING A BASIS OF BEARING OF S 0°06'12" E FROM THE WEST-NORTHWEST CORNER OF BLOCK 2 OF THE LONGVIEW ADDITION TO THE CITY OF WILLISTON TO THE NORTHWEST CORNER OF BLOCK 4 OF SAID LONGVIEW ADDITION, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT SAID WEST-NORTHWEST CORNER OF BLOCK 2 OF THE LONGVIEW ADDITION; THENCE S 0°06'12" E, ON AND ALONG THE WEST LINE OF SAID BLOCK 2 OF THE LONGVIEW ADDITION, A DISTANCE OF 546.82 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 9TH AVENUE NORTH; THENCE N 53°00'15" W, ON AND ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF 9TH AVENUE NORTH, A DISTANCE OF 560.57 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 2 AND 85 (aka: WEST DAKOTA PARKWAY); THENCE N 43°27'53" E, ON AND ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 2 AND 85, A DISTANCE OF 648.97 FEET TO A POINT ON THE WEST LINE OF SAID LONGVIEW ADDITION; THENCE S 0°04'01" E, ON AND ALONG SAID WEST LINE OF SAID LONGVIEW ADDITION, A DISTANCE OF 261.53 FEET TO THE POINT OF BEGINNING, CONTAINING 180,694 SQUARE FEET (4.148 ACRES) MORE OR LESS. THIS PARCEL IS SUBJECT TO ALL EXISTING EASEMENTS AND IS TO BE KNOWN AS "AAFEDT ADDITION" TO THE CITY OF WILLISTON, LOCATED IN THE NORTHWEST 1/4 OF THE SOUTH-WEST 1/4 OF SECTION 14, TOWNSHIP 154 NORTH, RANGE 101 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, WILLIAMS COUNTY, NORTH DAKOTA.

### APPROVAL OF CITY COMMISSION

BY VIRTUE OF ORDINANCE NO. 574 PASSED JUNE 9, 1981 THE CITY COMMISSION OF THE CITY OF WILLISTON, NORTH DAKOTA, HAS APPROVED THIS DIVISION OF LAND SHOWN HEREON; HAS ACCEPTED THE DEDICATION OF ALL STREETS, ALLEYS AND OTHER PUBLIC WAYS SHOWN HEREON LYING WITHIN THE CORPORATE LIMITS OF THE CITY OF WILLISTON; HAS ACCEPTED THE DEDICATION OF ALL PARKS AND OTHER AREAS SHOWN HEREON EXCEPT THOSE PUBLIC AREAS SPECIFICALLY DEDICATED TO OTHER PUBLIC BODIES PERTAINING TO THE "AAFEDT ADDITION" LOCATED IN THE NORTHWEST 1/4 SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 154 NORTH, RANGE 101 WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF WILLISTON, WILLIAMS COUNTY, NORTH DAKOTA

*E. Ward Koester*  
E. WARD KOESTER, PRESIDENT, CITY COMMISSION

*John Kautzman*  
JOHN KAUTZMAN, CITY AUDITOR

STATE OF NORTH DAKOTA } S.S.  
COUNTY OF WILLIAMS

BE IT KNOWN ON THIS 30th DAY OF December, 2002, BEFORE ME PERSONALLY APPEARED E. WARD KOESTER, PRESIDENT OF THE CITY COMMISSION AND JOHN KAUTZMAN, CITY AUDITOR AND ACKNOWLEDGED THE EXECUTION AND SIGNING OF THE ABOVE.

MY COMMISSION EXPIRES: 10/25/03

*John Kautzman*  
NOTARY PUBLIC  
WILLIAMS COUNTY, NORTH DAKOTA

### PLANNING COMMISSION APPROVAL

THE "AAFEDT ADDITION", IN THE NW1/4 SW1/4 OF SECTION 14, T154N-R101W, AS SHOWN HEREON HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WILLISTON ON THIS 16th DAY OF December, 2002, IN ACCORDANCE WITH THE LAWS OF THE STATE OF NORTH DAKOTA, ORDINANCE OF THE CITY OF WILLISTON, AND REGULATIONS OF SAID PLANNING COMMISSION.

*Glenn Boyeff*  
GLENN BOYEFF, PRESIDENT

STATE OF NORTH DAKOTA } S.S.  
COUNTY OF WILLIAMS

BE IT KNOWN THAT ON THIS 27th DAY OF December, 2002, BEFORE ME PERSONALLY APPEARED GLENN BOYEFF KNOWN TO ME TO BE THE PERSON DESCRIBED IN THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME.

MY COMMISSION EXPIRES: 10/25/03

*Elaine Smead*  
ELAINE SMEAD, Notary Public  
Williams County, North Dakota  
My Commission Expires: 10/25/03  
STATE OF NORTH DAKOTA  
NOTARY PUBLIC SEAL

### OWNER'S CERTIFICATE

WE, THE UNDERSIGNED, BEING THE OWNERS AND MORTGAGE HOLDERS OF THE LANDS PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DO DEDICATE THE STREETS, ACCESS EASEMENTS, ALLEYS, PARKS AND PUBLIC GROUNDS AS SHOWN THEREON, INCLUDING ALL SEWERS, CULVERTS, BRIDGES, WATER DISTRIBUTION LINES, SIDEWALKS, GROUNDS, WHETHER SUCH IMPROVEMENTS ARE SHOWN OR NOT, TO THE PUBLIC USE FOREVER.

WE AGREE NOT TO VACATE ANY PORTION OF THIS PLAT WITHOUT CONSENT OF THE PLANNING COMMISSION AND THE CITY OF WILLISTON. WE ALSO HEREBY DEDICATE EASEMENTS, TO RUN WITH THE LAND, FOR WATER, SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER PUBLIC UTILITY LINES OR SERVICES UNDER, ON OR OVER THOSE CERTAIN STRIPS OF LAND DESIGNATED HEREON AS "UTILITY EASEMENTS" OR "ACCESS EASEMENTS".

*Ardean O. Aafedt*  
ARDEAN O. AAFEDT

*Colleen Aafedt*  
COLLEEN AAFEDT

STATE OF North Dakota } S.S.  
COUNTY OF Williams

BE IT KNOWN THAT ON THIS 24th DAY OF December, 2002, BEFORE ME PERSONALLY APPEARED ARDEAN O. AAFEDT AND COLLEEN AAFEDT, KNOWN TO ME TO BE THE PERSONS DESCRIBED IN THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

MY COMMISSION EXPIRES: 2/14/2003

*Paul Engeman*  
NOTARY PUBLIC  
COUNTY OF Williams  
STATE OF North Dakota

### SURVEYOR'S CERTIFICATE

I, LEO J. HORGAN, REGISTERED LAND SURVEYOR DO HEREBY CERTIFY THAT THE SURVEY PLAT SHOWN HEREON WAS MADE BY ME OR UNDER MY DIRECTION FROM NOTES TAKEN IN THE FIELD ON 12-19, 2002, AND THAT THE SAME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Leo J. Horgan*  
LEO J. HORGAN,  
REGISTERED LAND SURVEYOR NO. 2843  
STATE OF NORTH DAKOTA

STATE OF NORTH DAKOTA } S.S.  
COUNTY OF WILLIAMS

BE IT KNOWN THAT ON THIS 19th DAY OF December, 2002, BEFORE ME PERSONALLY APPEARED LEO J. HORGAN, REGISTERED LAND SURVEYOR AND ACKNOWLEDGED TO ME THE EXECUTION OF THE ABOVE.

MY COMMISSION EXPIRES: Jul 13 2005

*Shirley Hest*  
NOTARY PUBLIC  
WILLIAMS CO. NORTH DAKOTA

### AUDITOR'S CERTIFICATE OF TAXES

I, BETH M. INNIS, AUDITOR OF WILLIAMS COUNTY, DO HEREBY CERTIFY THAT CURRENT TAXES OR DELINQUENT TAXES OR DELINQUENT SPECIAL ASSESSMENTS OR INSTALLMENTS OF SPECIAL ASSESSMENTS OR TAX ESTIMATES FOR PROPERTY DESCRIBED ON THE ATTACHED INSTRUMENT ARE UNPAID IN THE AMOUNT OF \$ 0.00 PLUS PENALTY AND INTEREST.

CERTIFIED THIS 30th DAY OF December, 2002

*Paul Boy*  
WILLIAMS COUNTY AUDITOR

*Donnell Annun*  
DEPUTY WILLIAMS COUNTY AUDITOR

### CERTIFICATE OF WILLIAMS COUNTY RECORDER

STATE OF NORTH DAKOTA } S.S.  
COUNTY OF WILLIAMS

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE WILLIAMS COUNTY RECORDER, IN THE STATE OF NORTH DAKOTA AT 1:34 pm ON THE 30th DAY OF December, 2002, A.D. AND WAS DULY RECORDED AS DOCUMENT NO. 604184

*Kari Everson*  
RECORDER

*Tracey Burkhardt*  
DEPUTY

604184  
Page: 1 of 1  
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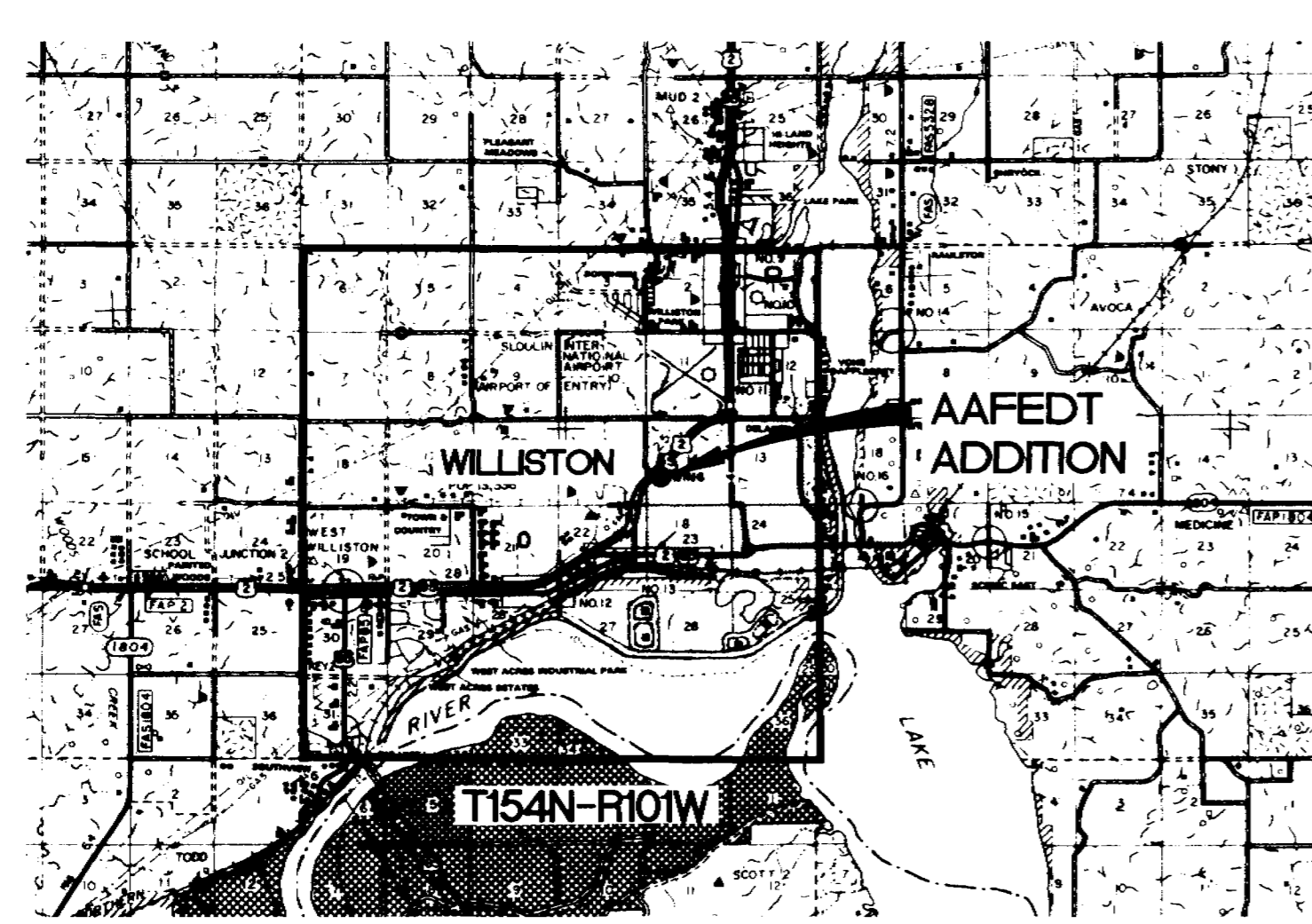
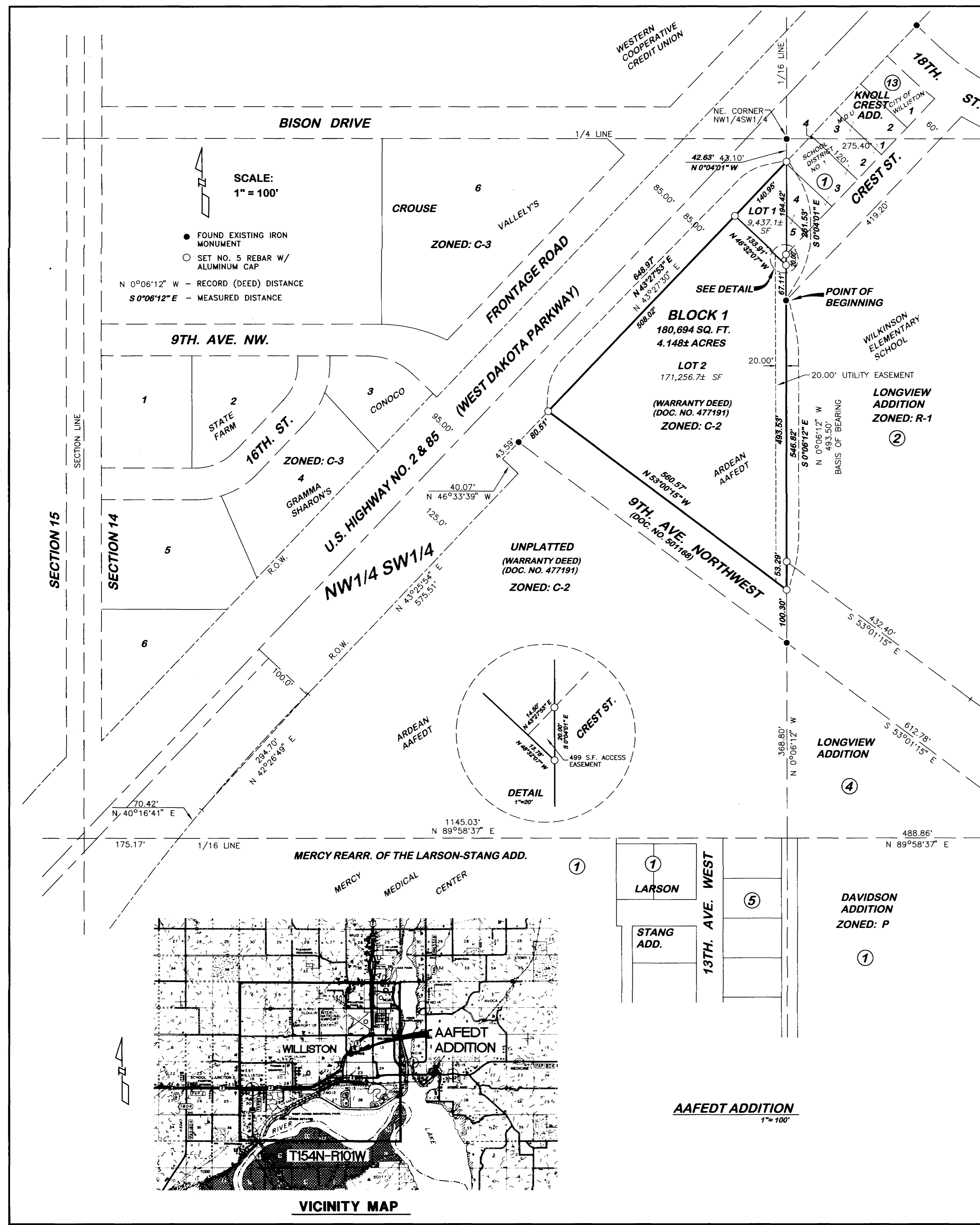
**AAFEDT ADDITION**  
NW1/4 SW1/4, SECTION 14, TOWNSHIP 154 NORTH, RANGE 101 WEST  
WILLIAMS COUNTY, NORTH DAKOTA

**ATEC** Williston - Belfield

**AmeriTech Engineering Corporation**

PROJECT NO: **02-242**  
12/17/2002

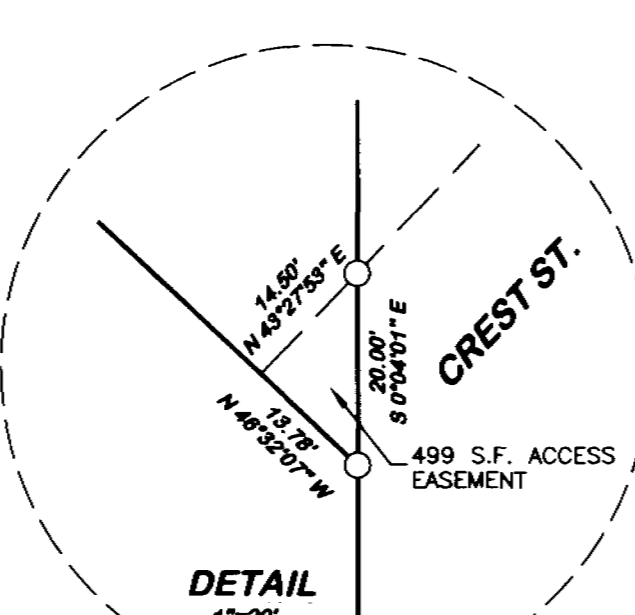
FILE COPY



SCALE:  
1" = 100'

● FOUND EXISTING IRON MONUMENT  
○ SET NO. 5 REBAR W/ ALUMINUM CAP

N 0°06'12" W - RECORD (DEED) DISTANCE  
S 0°06'12" E - MEASURED DISTANCE



# Williston Water World



*williston*  
WATER WORLD

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B : POOL ACTION COMMITTEE



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B : COMMUNITY NEED  
C : RESPONSIBILITIES  
D : CASE STUDIES  
E : SITE LOCATION  
F : RENDERINGS  
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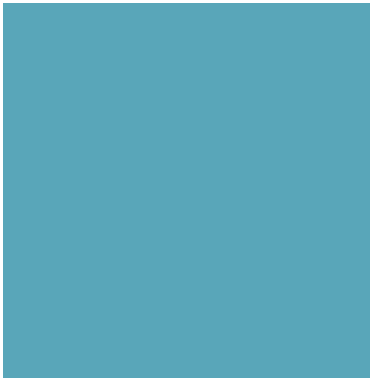
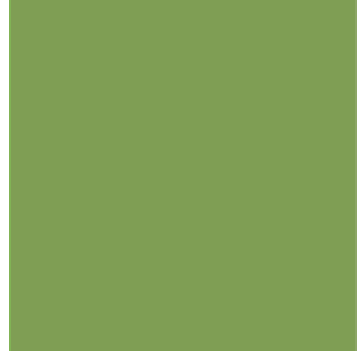
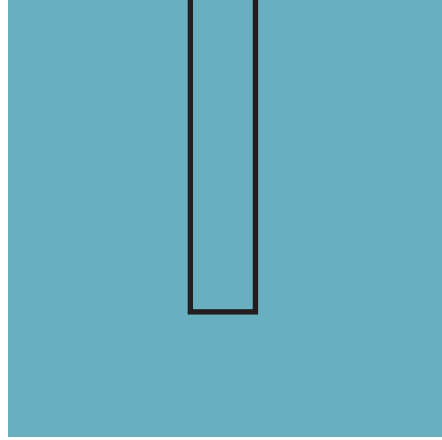


## FUNDRAISING & DONATIONS

A : DONATIONS - HOW TO!  
B : PLEDGE FORM & CONTACT INFORMATION

# SECTION ONE

WILLISTON COMMUNITY BUILDERS



## WILLISTON COMMUNITY BUILDERS

The mission of the Williston Community Builders is to build a better community, one friendly face at a time. Our group is committed to developing new and innovative attractions that enhance the quality of life in Williston, North Dakota. Our members represent many areas of the community, with jobs in accounting, law, retail, architecture, oil and gas, many other professions, and local business owners. We have participated in many projects and events in the community, including the construction of a unique playground and splash pad for children, the building of the Freedom Monument, the creation of a community garden, and so much more. We want our hometown to benefit from this organization... in every meaning of the word. We want to benefit financially, where every dollar that is given is spent to make local improvements. We aim to also benefit by bringing in new wonderful attractions, so we don't have to hear ourselves or our children say, "there's nothing to do in this town." And finally, benefit by serving, in which we then invite the community to take ownership of each project allowing them to reap the rewards of giving back through community service.

# ABOUT

## PROJECTS

- Williston Water World - Outdoor Water Park
- Williston Community Builders Community Garden
- Little Free Library
- Davidson Park Playground & Splash Pad
- Freedom Monument

## EVENTS

- Back to School BBQ
- Festival of Trees
- Community Food Drives
- Reindeer Games
- Williston Water World Annual Golf Tournament
- Blood Sweat & Beers 5K
- Williston Community Builders Community Concert

## WILLISTON COMMUNITY BUILDERS

Nick Lippert, President 701.770.6413



PO Box 2720  
Williston, ND 58802  
<https://communitybuildersnd.com/>  
[willistoncommunitybuilders@gmail.com](mailto:willistoncommunitybuilders@gmail.com)





# POOL ACTION COMMITTEE

The pool action committee, or 'PAC', is a sub-committee of the Williston Community Builders. It is made up of a group of passionate, unpaid, volunteers whose purpose is to spearhead the creation of an outdoor pool in Williston, North Dakota. The ultimate goal being to provide an affordable, community oriented recreation opportunity in the area. The PAC provides the design direction, engages in community conversations, and oversees fundraising efforts.

The PAC is currently comprised of the members mentioned below. Anyone with interest in supporting the project is encouraged to reach out to any or all of these members with questions, feedback, or topics of discussion.



## Joe Barsh | 701.770.9767

Joe Barsh started at the Williston Parks and Recreation District in 2014 as an intern through a summer internship program at Gonzaga University. Since his time as an intern, he has been steadily involved in the Williston Community through working at WPRD and coaching Basketball at the Williston High School. In his free time Joe enjoys spending time with his wife, Shelby, and their dog Magic. Joe is a fan of anything sports or athletics related! Joe looks forward to serving Williston in a higher capacity as the WPRD Executive Director and strongly believes that a new outdoor pool would do wonders for the Williston Community.



## Jessica Bingeman-Vestal | 701.570.5875

Jessica Bingeman-Vestal was born and raised in Williston, graduating from Williston High School in 2000. After graduating with a Bachelors degree from Dickinson State University in 2004, she returned to Williston where she worked as an accountant/controller for Empire Oil Company and Petroleum Experience over the next 10 years. In 2015, Jessica and her Husband, Ian Vestal, decided her talents were needed at home with their 3 children. Currently, Jessica enjoys volunteering at the kids schools and empowering woman with the clothing company 'Cabi.'



## Amanda Colebank | 406.489.0250

Amanda Colebank is originally from Fairview, Montana, and has been living and working in Williston since 2013. Amanda is a CPA and works for Lee Sues, LLC specializing in taxes and business advising. As the Treasurer of the Williston Community Builders Board she handles all of the financial matters needed to maintain the 501(c)(3) status for the purpose of fundraising. Amanda has been a member of the Williston Community Builders since 2014. She is passionate about making this community a better place to live and bringing this much needed amenity to our area!

### John Kasmer | 701.570.3636



John Kasmer currently serves on the District 7 School Board and is a member of the Boys Baseball Committee. In the past he has also served on District 1 and District 8 School Boards, the Park Board, as well as being a church council member. John's company hosts a charity golf tournament that has raised 1.4 million dollars for local charities. John wants to give the community something that brings people back to their hometown of Williston to raise their families here. He would like them to have a wonderful experience of growing up in Williston and hopes that the addition of an outdoor water park is a great enhancement to the community.

### Nick Lippert | 701.770.6413



Nick has served over 8 years and is the current President of Williston Community Builders. He is an active volunteer and has enjoyed helping on projects and fundraisers throughout the years. A Williston High School graduate and NDSU alum, Nick and his wife Molly returned home to help contribute to Williston's growth in 2012. Since then, Nick has completed great community focused projects in Western ND with JLG Architects, and is now a Sr. Project Manager and serves on the Board of Directors for the firm. Along with his family, he enjoys getting outdoors with the Cliffhangers 4x4 Club, building and racing classic cars, and traveling as much as possible. Nick is most looking forward to spending time at the new Williston Water World with his two young children and creating great summertime memories like the Eckert Pool did years ago.

### Skye Olsen | 701.580.8315



Skye Olsen was born and raised in Williston, ND and currently works at First State Bank & trust as the Vice President/Commercial Loan officer. He is a very involved member of the community and has a vested interest in seeing Williston grow. He is married with two children, ages 9 and 5. In his 'free time' he coaches his son in all of his sports, including hockey, baseball and flag football. His daughter is active in dance, which thankfully he is not coaching. Skye and his family are very active and busy and would love to help Williston continue to improve. This means putting all of their efforts into helping bring an amazing outdoor water park to the community and surrounding areas.

### Emily Ramage-Geltel | 701.570.7838



Emily Ramage Geltel is originally from Watford City, ND and now permanently resides in Williston. Emily is an attorney in Williston and brings a wealth of political knowledge and fundraising strategy to the team from her background in politics and lobbying. Emily is an avid outdoors enthusiast and spends her free time hiking, biking, camping, backpacking, and snowboarding with her husband Allen. She is passionate about expanding outdoor recreation in our community, and looks forward to making the dream of an outdoor pool in williston a reality.

# SECTION TWO

THE PROJECT - WILLISTON WATER WORLD



# EXECUTIVE SUMMARY


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Given the drastic rise in oil activity over the past decade, the Williston Basin has experienced a 'boom' in population. With population explosion, an influx of young families have settled in the community and now call the 'Bakken' home. During this period of growth, Williston has made investments in facilities like the Williston Area Recreation Center (ARC) to provide opportunities for recreation for the people living nearby to enjoy.

At the time of the construction of the ARC, the aging Hagan Indoor Pool and Eckert Outdoor Pool were retired and the ARC took over as the place for all aquatics in the area. As the population has continued to expand, those children are growing up and reaching kindergarten and elementary ages. With that comes an increased demand for aquatics time for leisure, learning, and competition. With the only remaining pool space contained within the bounds of the ARC, the community has once again outgrown their aquatics space and is in need of additional options for recreation.

The Outdoor Pool fundraising project has a vision for a destination that greatly increases the opportunities for outdoor recreation that will also serve as a beloved community asset for the future of Williston. A variety of pool environments are planned on the same site, ranging from zero-depth entry, splash pad features, lazy river with a wave mechanism, water slides, and a separate pool with a ninja course. Within the bounds of the site would be a variety of seating areas and shade structures that could be rented out for birthday parties or other events. On site locker rooms, showers, and concessions areas will ensure that everyone has what they need in close proximity for enjoying a long summer say at the pool.

This project will be funded through the support of local donors and community partnerships. Donations will be utilized to finance the construction of the facility as well as provide the necessary budget for the first three years of operations. When the facility is fully constructed, the intent is for the Williston Parks and Rec to take over operations into the future and utilize those startup funds to kick start the process. Future years will be funded by entrance fees, grants, and any other sources of revenue that the partner may have so that the project is self-sustaining and not relying on additional donations beyond the startup and construction costs.



Through an examination of local needs and conversations with the community members, this project seeks to enhance the Williston area by:

1. Creating a safe, world-class, outdoor recreational aquatics destination for the region.
2. Providing an additional recreational option for the community at an affordable price.
3. Generating excitement in the community to drive participation, buy-in, and funding pledges.
4. Facilitating meaningful conversations with community stakeholders.

This effort is being undertaken as part of a partnership with the Williston Community Builders. Williston Community Builders is a non-profit 501(c)(3) organization based in Williston, ND and is comprised of a volunteer board, focused on the goal of 'Building a better community one friendly face at a time.' The Community Builders have completed, volunteered, or fund-raised for multiple projects in Williston of note, the Davidson Park playground and splash pad, the Freedom Monument, and the upcoming Williston Community Gardens.

Thank you for your support and interest in this project. We hope to hear from you soon!

Joe Barsh  
Jessica Bingeman-Vestal  
Amanda Colebank  
John Kasmer  
Nick Lippert  
Skye Olson  
Emily Ramage Geltel

Over the past decade or so, Williston has grown at a rapid pace and multiple quality of life projects have been completed. Through community outreach, the drive for an outdoor pool has never been larger to support the growing needs of the local population. A new outdoor pool seeks to meet those needs by:

1. Supporting the population of approximately 32,189 comprised of 4,773 families and 6,467 kids in the Williston area
  - 1,893 kids between 10-15
  - 2,074 kids between 5-10
  - 2,500 kids between 0-5

\*\*Elementary school enrollment is expected to increase by an average of 5% per year for the foreseeable future
2. Improving on the 0 square feet of outdoor aquatics in Williston, ND
3. A new facility would create opportunities for swimming lessons before and after work where availability is lacking
4. Cooperating with childcare centers
5. Providing an additional venue for event hosting - cabana rentals
6. Expanding outdoor recreation opportunities

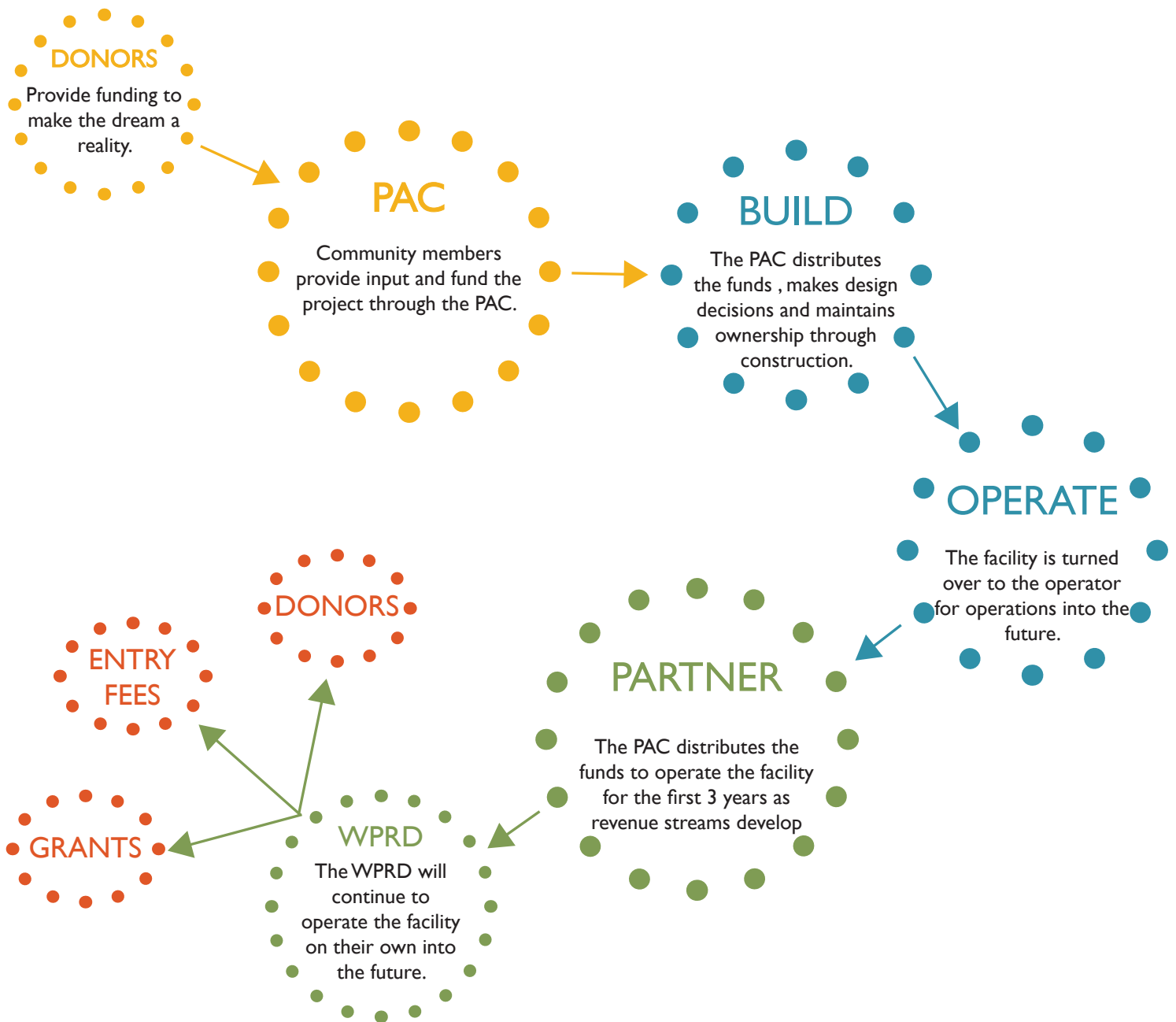
## HISTORY OF ECKERT YOUTH POOL

The Eckert Outdoor Pool was a staple of the Williston community for many years. It was constructed and opened in 1934 and underwent a major renovation in 1990 to expand its lifespan as a beloved community asset. Eckert Pool finally closed in 2014 alongside the opening of the Williston Area Recreation Center due to aging equipment, structural concerns, ADA compliance, and a limited site, making renovation or replacement infeasible.



# RESPONSIBILITIES

Construction and operation of the proposed outdoor pool will be coordinated through the Pool Action Committee from the outset. The PAC will fund the construction of the facility as well as the first three years of operational costs alongside Williston Parks and Rec. From that point on, the facility will be run entirely by the partner who will be responsible for all operations and funding into the future.





# CASE STUDIES

**Crosby - Outdoor Pool**  
3,650 SF of aquatics



**Watford City - Wild West Water Park**  
4,700 SF of aquatics



**Mandan - Hillside Aquatics**  
6,800 SF of aquatics



**Dickinson - West River Community Center**  
10,600 SF of aquatics



Minot - Roosevelt Park Pool  
12,550 SF of aquatics



Newtown - 4 Bears Casino Water Park  
11,050 SF of aquatics



Billings - Rose Park Pool  
13,200 SF of aquatics



Missoula - Splash Montana  
25,800 SF of aquatics



# SITE LOCATION



The site has been donated to the project by the City of Williston!

- 1 Centrally located, easily accessible location
- 2 Existing parking lot for shared use
- 3 Visibility and access are easily identifiable
- 4 Access to existing utilities

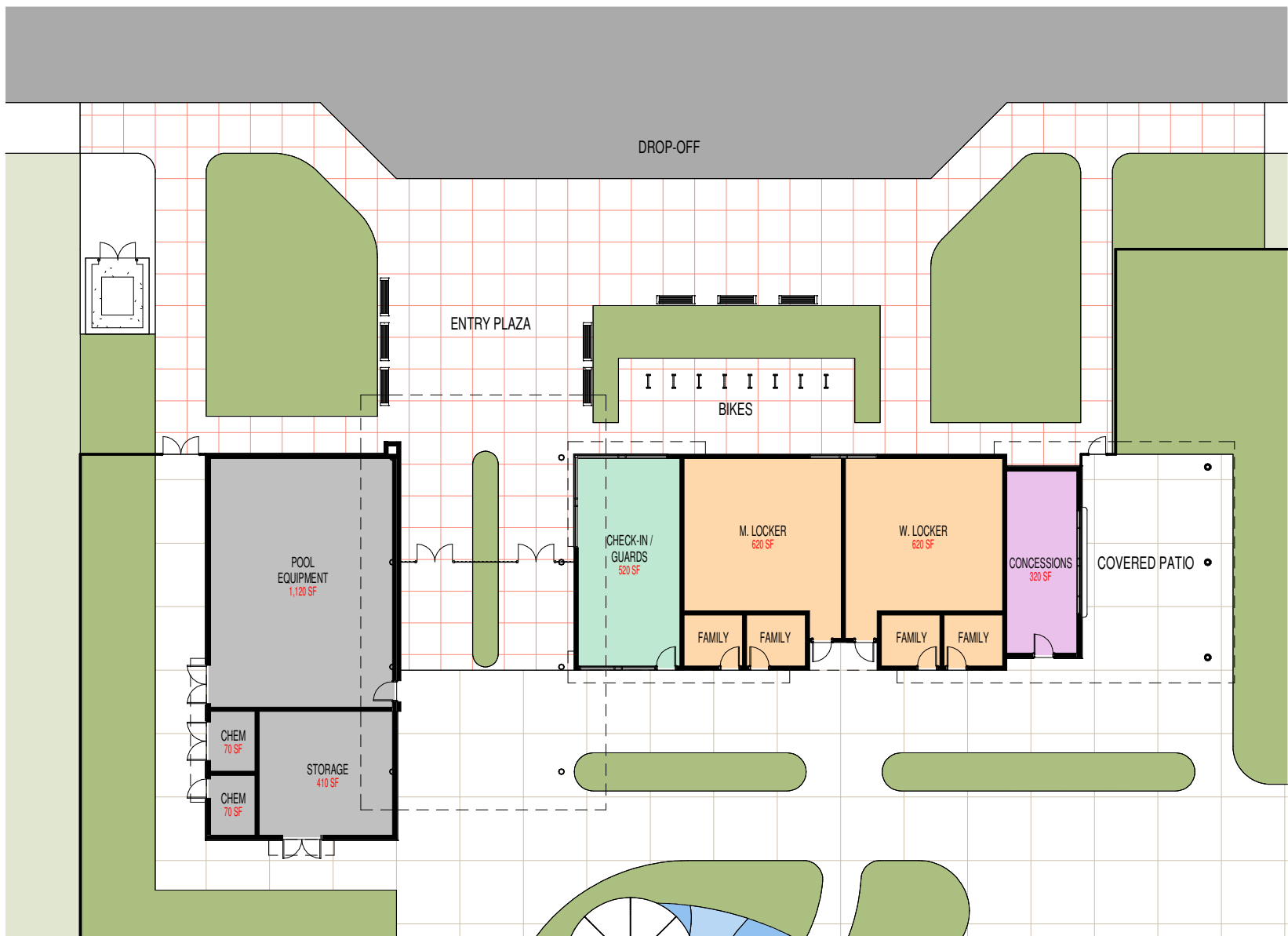
# RENDERINGS



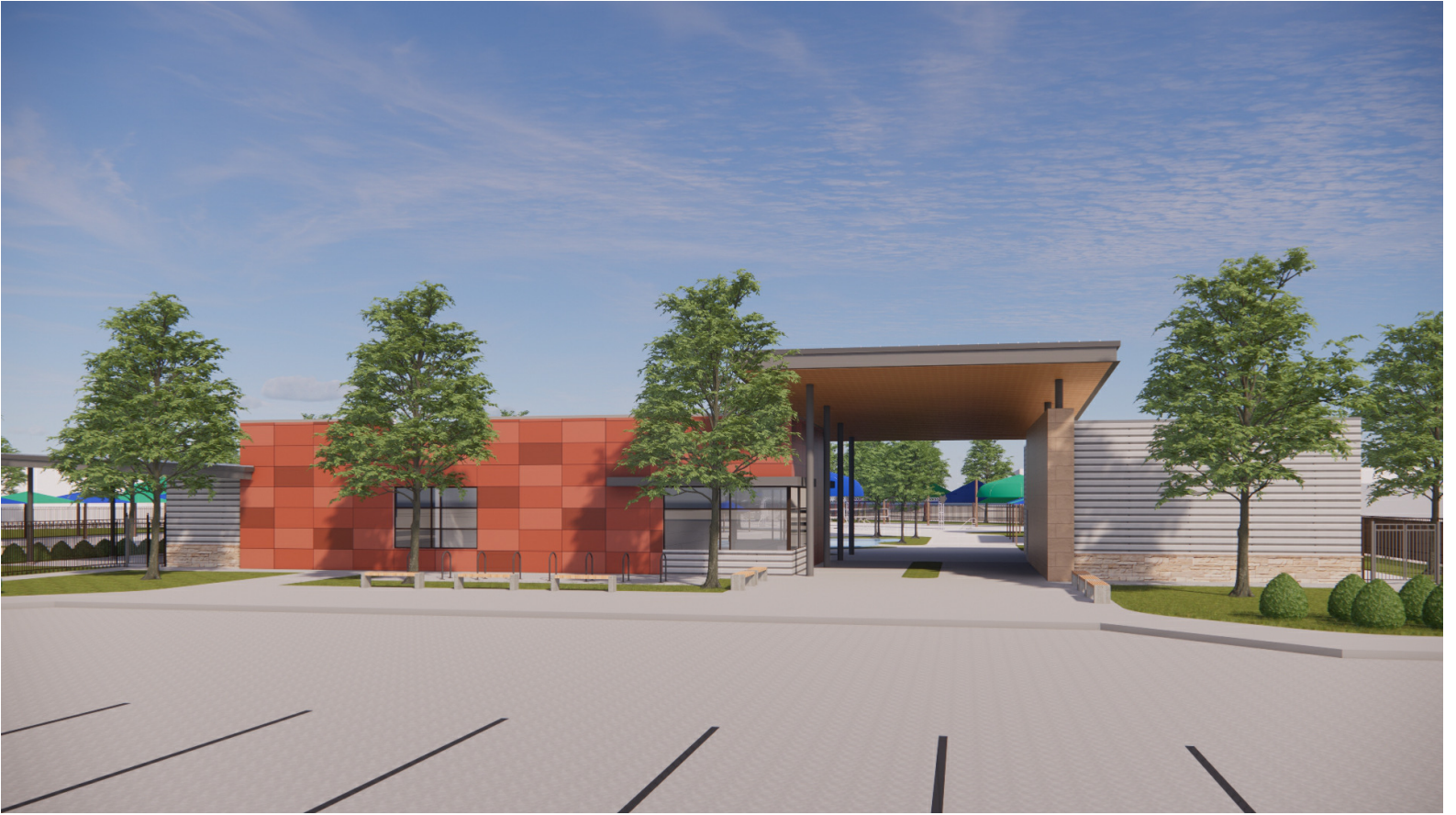
# POOL HOUSE FEATURES

- Open, Spacious Entry Plaza
- Large Covered Patio
- Open Green Space
- Family Changing Rooms for Convenience
- Bike Racks for Easy Accessibility
- Large Drop Off Lane for Parents Dropping Off or Picking Up on the Go

\*\*Design is preliminary and subject to change



TOTAL BUILDING AREA = 4,440 SF



# PROGRAMMING

## LEGEND

- 1 EXISTING PARKING TO BE SHARED WITH CUTTING FIELD STADIUM
- 2 DROP-OFF LANE
- 3 BIKE PARKING
- 4 ENTRY PLAZA / BREEZEWAY
- 5 POOL EQUIPMENT / STORAGE = 1,820 SF
- 6 BATHHOUSE / CONCESSIONS = 2,6220 SF
- 7 OUTDOOR PATIO
- 8 KIDS PLAY / DRY AMENITIES
- 9 SUNNING / OPEN SPACE / FUTURE EXP.
- 10 SHADE STRUCTURES / UMBRELLAS
- 11 LEISURE POOL W/ ZERO-DEPTH ENTRY, SPRAYS, AND WATER FEATURES
- 12 LAZY RIVER W/ SPRAYS, WATER FEATURES, BUBBLE PIT, SOCIAL AREAS AND FUTURE WAVE GENERATOR
- 13 WATER SLIDE COMPLEX WITH (2) FLUMES AND RUNOUTS
- 14 SPORT POOL W/SUN SHELF, LAP LANES, BASKETBALL, VOLLEYBALL AND FUTURE NINJACROSS
- 15 NATURAL SCREEN / LANDSCAPING
- 16 FENCE LINE
- 17 TRASH ENCLOSURE

0' 30' 60' 120'



\*\*Design is preliminary and subject to change





## WILLISTON WATER WORLD: \$1,500,000

A Cliff Diver is recognized for making an incredibly large commitment to the community and can provide the name for the ENTIRE FACILITY! The pool will be found on navigation apps and recognized by this name.

## THE DEEP END: \$500,000 - \$1,499,999

- Lazy River
- Sport Pool
- Zero Entry Pool
- Ninja Cross

## HIGH DIVER: \$250,000 - \$499,999

- Water Slide 1 - Post 37 American Legion
- Water Slide 2 - Vestal Grandkids
- Concessions
- Pool Deck

## DUNK TANK DIVER: \$100,000 - \$249,999

- Locker Room 1
- Locker Room 2
- Event/Party Room 1
- Event/Party Room 2

## HIGH DIVER: \$50,000 - \$99,999

- Overhead Dumping Buckets
- Interactive Play Table
- Anchored Zip Line
- Ground Sprays
- Toddler Slide 1
- Toddler Slide 2
- Anchored Pool Floatables
- Under Water LED lights

## FREE DIVER: \$25,000 - \$49,999

- Life Guard Stand 1 - Lewis & Clark School 2021
- Life Guard Stand 2
- Life Guard Stand 3
- Life Guard Stand 4
- Life Guard Stand 5
- Life Guard Stand 6
- Life Guard Stand 7
- Umbrella 1
- Umbrella 2
- Umbrella 3
- Umbrella 4
- Umbrella 5
- Umbrella 6

## CANNON BALLER: \$10,000 - \$24,999

- |  |   |
|--|---|
| <input type="checkbox"/> Picnic Table <u>1</u>   | <input type="checkbox"/> 2 Sun Chairs <u>1</u>  |
| <input type="checkbox"/> Picnic Table <u>2</u>   | <input type="checkbox"/> 2 Sun Chairs <u>2</u>  |
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| <input type="checkbox"/> 5 Deck Chairs <u>9</u>  |   |
| <input type="checkbox"/> 5 Deck Chairs <u>10</u> |   |

DONATION TIERS!

# PROJECT SCHEDULE

PROJECT PHASE	2022				2023		
	Aug	Sept	Oct	Nov	Dec	Jan	Feb
Architect Selection	●						
Kickoff Design Meeting (September 6)	●						
Schematic Design - 6 weeks		■					
Design Development - 10 weeks			■	■	■		
Construction Documents - 14 weeks						■	■
Complete Design, Finish Fundraising							
Celebrate Hitting Fundraising Goal							
Bidding - 2-3 weeks							
Review Bids/Award							
Construction Phase - 9-12 Months							
Punch List/Commissioning							
Open to Public (June 2024 est.)							

2024





# SECTION THREE

FUNDRAISING & DONATIONS

3

# DONATIONS!

Sponsorship donations are the primary method for the project to be funded. While any amount is greatly appreciated, larger donations receive the ability to include naming rights for different elements, within the facility for those who would like to do so. Donors may be highlighted in various ways from signage to engravings, built elements, and other unique design elements that the project can accommodate.

(Donation tiers are subject to change based on availability or requests of donors. Donations for recognition will be received on a first-come first-serve basis.)

We are seeking funds for both the construction and early operations to get this facility off the starting block right. In addition to monetary support, we are also looking to fund up to 3 years of operation costs and utilities. Anyone with alternative funding solutions is encouraged to reach out to the Pool Action Committee members with ideas.

## INTERNET DONATION:

- Go to [communitybuildersnd.com](http://communitybuildersnd.com) and click on "Donate Now"
- OR** scan this QR code to donate



## BY MAIL OR DELIVER BY HAND:

- Tear out the last page from this document, titled "Outdoor Pool Fundraising Pledge Form"
- Fill out the form, provide contact information, and include credit card information or check routing as required.
- Deliver in person to a member of the PAC or mail to: Williston Community Builders - PO Box 2720, Williston, ND 58802

HOWTO

**All donations are tax deductible!**

240  
It starts with a ripple...



Williston  
**COMMUNITY  
BUILDERS**

Outdoor Pool Fundraising  
Pledge Form

Name \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Address \_\_\_\_\_  
City/State/Zip \_\_\_\_\_  
Email \_\_\_\_\_

**Pledge Information**

I (we) pledge a total of \$ \_\_\_\_\_ to be paid by 4/15/2024.  
*(50% due by 4/15/2023, 50% due by 4/15/2024)*

**and/or** I (we) pledge \$ \_\_\_\_\_ to be charged every month until 12/31/2022.  
CC Number: \_\_\_\_\_ Exp Date: \_\_\_\_\_

Name on Card: \_\_\_\_\_ CVV: \_\_\_\_\_ Billing Zip: \_\_\_\_\_

**Or** Routing Number: \_\_\_\_\_ Account Number: \_\_\_\_\_ Date of W/D: \_\_\_\_\_

Bank Name \_\_\_\_\_ Name of Account: \_\_\_\_\_

**Acknowledgment Information**

Please use the following name(s) in all acknowledgements \_\_\_\_\_

I (we) wish to have our gift remain anonymous.

Signatures

Date

Please make checks or other gifts payable to:  
Williston Community Builders  
PO Box 2720  
Williston, ND 58802

*Building a better community.  
one friendly face at a time!*

Questions? Contact Amanda Colebank (406) 489-0250 or willistonoutdoorpool@gmail.com

The Williston Community Builders are a 501(c)(3) tax exempt organization. Contributions to WCB are deductible under section 170 of the Internal Revenue Code.(EIN: 26-4458181)

**POOL ACTION COMMITTEE:**

John Kasmer (701) 570-3636   Emily Ramage Geltel (701) 570-7838   Nick Lippert (701) 770-6413   Skye Olsen (701) 580-8315   Joe Barsh (701) 770-9767   Jessica Vestal (701) 570-5875   Amanda Colebank (406) 489-0250





**PUBLIC BIDDING & RFQ's**

- Current design work on the project is conceptual and will change as the project develops. This has been provided by EAPC Architects Engineers.
- The construction of the project is intended to be publicly bid for all contractors. If the project proceeds on the anticipated schedule, this is expected to occur in February 2023 but may be subject to change.

**CONNECT WITH US!**

- Search for the 'Williston Outdoor Pool' on social media: @willistonoutdoor pool
- Send us an email: willistonoutdoorpool@gmail.com
- The PAC members will be available at events throughout the community, be in the lookout for events like"
  - The Festival of Trees on 12/3/2022 at the Williston Area Recreation Center
  - Kasmer & Aafedt Golf Tournament in August at the Links of ND Golf Course



**LETTER OF INTENT**

July 19, 2022

Williston Park Board of Commissioners of the Williston Park District  
1002 11<sup>th</sup> Street W  
Williston, ND 58801

Pool Action Committee - Williston Water World and the Williston Community Builders  
P.O. Box 2720  
Williston, ND 58801

Dear Williston Park Board of Commissioners,

We are writing to provide a letter of intent from the Pool Action Committee - Williston Water World facility ("WWW") as well as the Williston Community Builders in respect to a transaction ("Transaction") to occur between ourselves and the Williston Park Board of Commissioners of the Williston Park District ("Park District"). We appreciate the time and energy that the Park District has put into placing the WWW facility on the formal agenda for this evening's meeting to facilitate this discussion and partnership opportunity.

As our committee continues to spend time evaluating, fundraising, and planning for WWW, it has become abundantly clear that we need to form a strategic partnership with an organization such as the Park District to ensure the longevity and success of the WWW project. We believe that this partnership would open additional doors of fundraising through governmental grants for the initial phases of the project, as well as promote the long term needs such as staffing and maintenance. The citizens of Williston have made it clear that they want an outdoor pool in Williston, and we believe this partnership will help make it a reality.

**Transaction Overview and Structure:**

Based on our preliminary review of the information provided and subject to the conditions set forth below, the Williston Community Builders is pleased to submit this non-binding letter of intent (the "Proposal") for a transaction with the Park District. We propose transferring total ownership and control of the WWW facility to the Park District immediately upon the completion of construction. This transfer will include all assets of the facility, including the underlying real estate, free and clear of any liens or encumbrances. As part of the transfer, the Williston Community Builders would also guarantee and pay for the first three years of operating costs of the WWW facility which would be included in the transfer to ensure the permanency of the project in Williston.

We offer a total purchase price of ONE DOLLAR (\$1.00) contingent upon an agreement to operate, staff, maintain, seek government funding for, and continue the project's legacy in Williston, ND.

**Williston Community Builders Williston Water World**

Jessica Bingeman-Vestal  
Amanda Colebank  
John Kasmer  
Skye Olsen  
Emily Ramage Geltel

Accepted this 19 day of July, 2022

Williston Parks and Recreation District

By:   
Its: PARK BOARD PRESIDENT

DD		1/18/2023
MARK	DESCRIPTION	DATE

PROJECT NO: 2022XXXX  
 DRAWN BY: MJJH  
 CHECKED BY: LF

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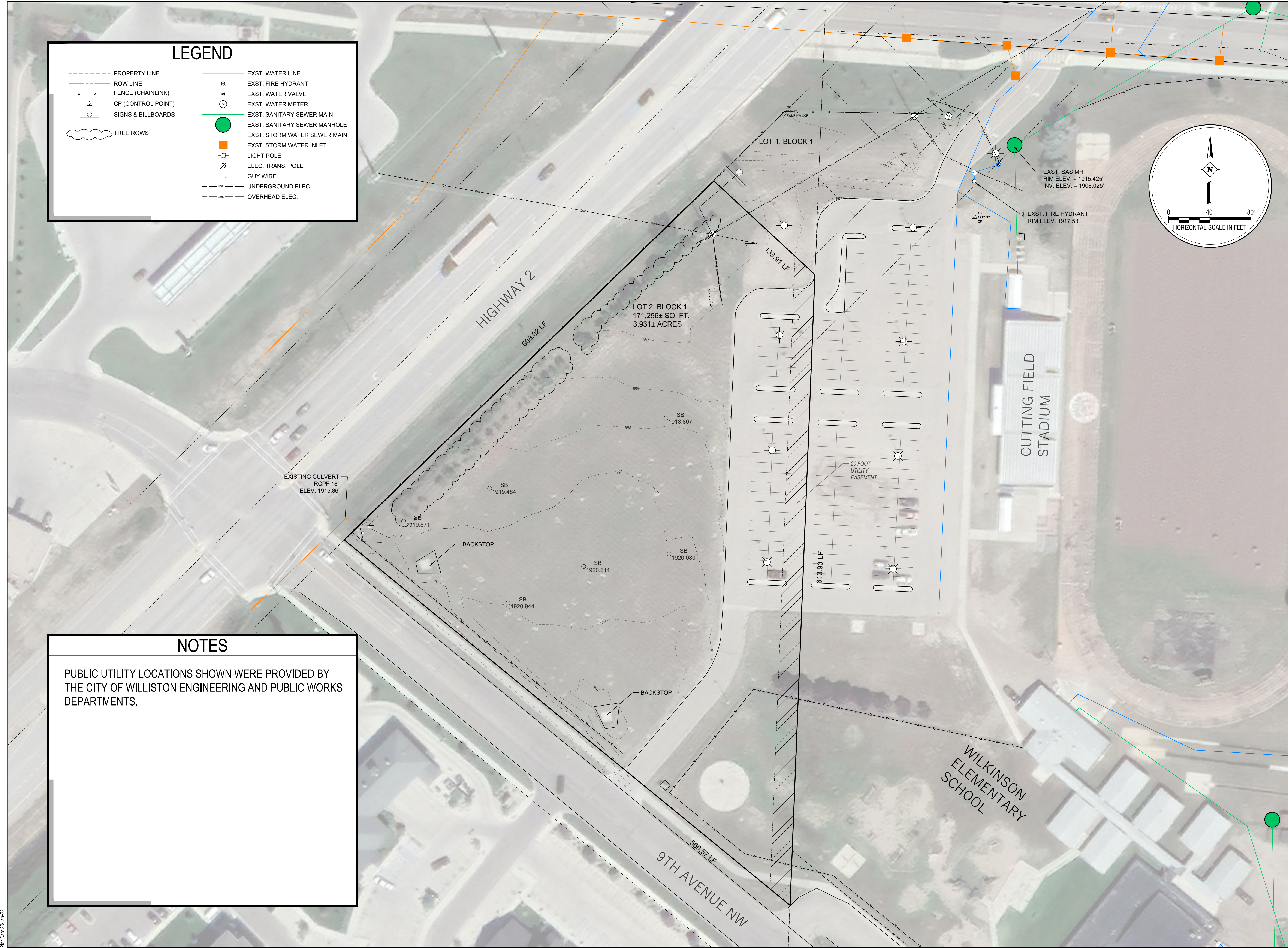
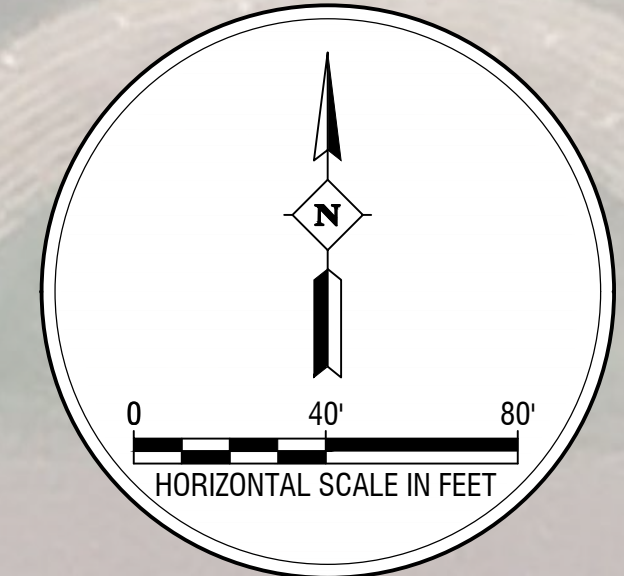
STAMP

DRAWING TITLE  
**BASEMAP & AERIAL**

**C1.1**

**LEGEND**

-----	PROPERTY LINE	-----	EXST. WATER LINE
-----	ROW LINE	⊕	EXST. FIRE HYDRANT
-x-x-	FENCE (CHAINLINK)	⊗	EXST. WATER VALVE
△	CP (CONTROL POINT)	⊕	EXST. WATER METER
○	SIGNS & BILLBOARDS	-----	EXST. SANITARY SEWER MAIN
-----	TREE ROWS	-----	EXST. SANITARY SEWER MANHOLE
		-----	EXST. STORM WATER SEWER MAIN
		□	EXST. STORM WATER INLET
		☀	LIGHT POLE
		⊗	ELEC. TRANS. POLE
		→	GUY WIRE
		---	UNDERGROUND ELEC.
		---	OVERHEAD ELEC.



**NOTES**

PUBLIC UTILITY LOCATIONS SHOWN WERE PROVIDED BY THE CITY OF WILLISTON ENGINEERING AND PUBLIC WORKS DEPARTMENTS.

File Location: \\2022\WC11\WC22-11-202\WTL\Water\Work\4830\_CADD\WC2200141\_50\_Base\_Map\BASEMAP\_B3\_recover.dwg  
 Plot Date: 2023-01-23

DD		1/20/2023
MARK	DESCRIPTION	DATE

PROJECT NO: 2022XXXX  
DRAWN BY: MJJH  
CHECKED BY: LF

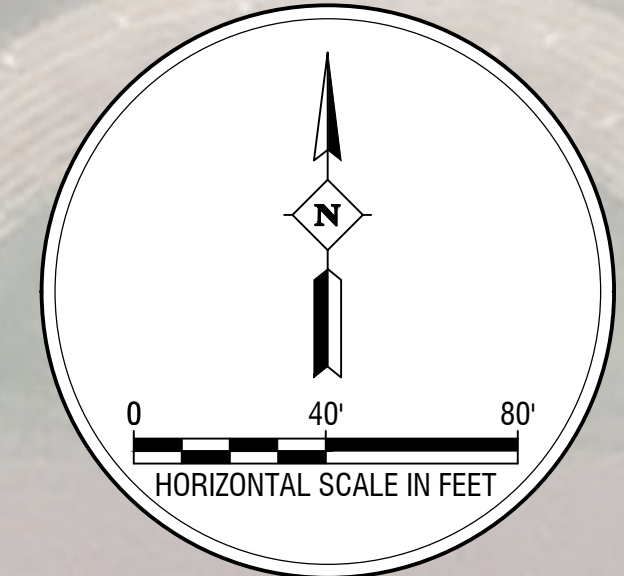
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PROPOSED SITE

### LEGEND

-----	PROPERTY LINE	-----	EXST. WATER LINE
-----	ROW LINE	⊕	EXST. FIRE HYDRANT
-x-x-	FENCE (CHAINLINK)	⊗	EXST. WATER VALVE
△	CP (CONTROL POINT)	⊕	EXST. WATER METER
○	SIGNS & BILLBOARDS	-----	EXST. SANITARY SEWER MAIN
~~~~~	TREE ROWS	-----	EXST. SANITARY SEWER MANHOLE
SS	PROPOSED SAS SERVICE	-----	EXST. STORM WATER SEWER MAIN
W-4"	PROPOSED WATER LINE	□	EXST. STORM WATER INLET
---	ALT POND BERM GRADES	☀	LIGHT POLE
---		⊗	ELEC. TRANS. POLE
---		→	GUY WIRE
---		---	UNDERGROUND ELEC.
---		---	OVERHEAD ELEC.



### AQUATIC LEGEND

- EXISTING PARKING TO BE SHARED WITH CUTTING FIELD STADIUM
- DROP-OFF LANE / ACCESSIBLE PARKING
- BIKE PARKING
- ENTRY PLAZA / BREEZEWAY
- POOL EQUIPMENT / STORAGE = 1,740 SF
- BATHHOUSE / CONCESSIONS = 2,252 SF
- OUTDOOR PATIO
- FUTURE KIDS PLAY / DRY AMENITIES
- SUNNING / OPEN SPACE / FUTURE EXPANSION
- SHADE STRUCTURES / UMBRELLAS
- LEISURE POOL W/ ZERO-DEPTH ENTRY, SPRAYS AND WATER FEATURES
- LAZY RIVER W/ SPRAYS, WATER FEATURES AND BUBBLE PIT
- WATER SLIDE COMPLEX WITH (2) FLUMES AND RUNOUTS
- SPORT POOL W/ SUN SHELF, LAP LANES, BASKETBALL, VOLLEYBALL AND FUTURE NINJACROSS
- EXISTING NATURAL SCREEN / LANDSCAPING
- FENCE LINE
- TRASH ENCLOSURE
- WATER DETENTION AREA

### NOTES

PUBLIC UTILITY LOCATIONS SHOWN WERE PROVIDED BY THE CITY OF WILLISTON ENGINEERING AND PUBLIC WORKS DEPARTMENTS.

PROPOSED UTILITY LOCATIONS ARE SUBJECT TO CHANGE  
INTERNAL BUILDING CONNECTION LOCATIONS NOT YET DETERMINED.

File Location: 2022\WC11\WC22-11-202\WTL\Water\_World\20\_CADD\WC2200141\_00\_Design\PROPOSED\_CD\1.dwg  
Plot Date: 2/20/23

# WILLISTON WATER WORLD

Williston, North Dakota

Issue Date: **JANUARY 20, 2023**  
 Issued For: **DESIGN DEVELOPMENT**

## ABBREVIATIONS

Center Line	EST. ESTIMATED	MFR. MANUFACTURER	SP. SPECIFICATIONS
< ANGLE	EXH. EXHAUST	MIN. MINIMUM	SQ. SQUARE
@ AT NUMBER	EXST. EXISTING	MISC. MISCELLANEOUS	ST. STAIR
A ANCHOR BOLT	EXP. EXPANSION	MMB. MEMBRANE	STD. STANDARD
A.B. AREA DRAIN	EXT. EXTERIOR	MR. MIRROR	STL. STEEL
A.F.F. ABOVE FINISHED FLOOR	F. FIRE ALARM	MTD. MOUNT(ED)	STOR. STORAGE
A.F.G. ABOVE FINISHED GRADE	F.A. FURNITURE BY OWNER	MTL. METAL	STRUC. STRUCTURE or STRUCTURAL
A.C. AIR CONDITIONING	F.D. FLOOR DRAIN	MUL. MULLION	STS. STAIR THREAD SYSTEM
ABV. ABOVE	F.E. FIRE EXTINGUISHER	N. NORTH	SUSP. SUSPENDED
ACT. ACCUSTICAL CEILING TILE	F.E.C. FIRE EXTINGUISHER CABINET	N.A. NOT APPLICABLE	SYM. SYMMETRICAL
ADDN. ADDITIONAL	F.E.P. FINISHED END PANEL	N.I.C. NOT IN CONTRACT	SYS. SYSTEM
ADD. ADDENDUM	F.L. FLOOR LINE	N.T.S. NOT TO SCALE	T. TREAD or TELEPHONE
ADJ. ADJACENT or ADJUSTABLE	F.O. FINISHED OPENING	NECY. NECESSARY	T.B. TOP AND BOTTOM
AGGR. AGGREGATE	F.P. FIREPROOFING	NO. NUMBER	T.B.G. TONGUE AND GROOVE
AHU AIR HANDLING UNIT	F.R. FIRE RESISTIVE	NOM. NOMINAL	T.B. TOWEL BAR
ALT. ALTERNATE	F.R.P. FIBERGLASS REINFORCED PANEL	O. OVERALL	T.O. TOP OF
ALUM. ALUMINUM	F.V.C. FIRE VALVE CABINET	O.A. ON CENTER	T.O.C. TOP OF CONCRETE
ANOD. ANODIZED	F.W.C. FIRE WALL COVERING	O.C. ON CENTER	T.O.M. TOP OF MASONRY
APPROX. APPROXIMATE(LY)	FACP FIRE ALARM CONTROL PANEL	O.D. OUTSIDE DIAMETER	T.O.S. TOP OF STEEL
ARCH. ARCHITECTURAL	FDN. FOUNDATION	O.R.D. OVERFLOW ROOF DRAIN	T.P.D. TOILET PAPER DISPENSER
ATTEN. ATTENUATION	FIN. FINISH	C.T.O. CUTSIDE-TO-OUTSIDE	T.P. TOILET COMP./SOLID PLASTIC
AUTO. AUTOMATIC	FLR. FLUORESCENT	OFF. OFFICE	TEL. TELEPHONE
AVG. AVERAGE	FLR. FLOOR	OH. OVER HEAD	TEMP. TEMPERED (ATJRE)
AWG. AMERICAN WIRE GAGE	FRM. FRAME	OPN. OPENING	THK. THICK or THICKNESS
B BUMPER GUARD	FT. FOOT / FEET	OPP. OPPOSITE	THRU THROUGH
B.M. BENCHMARK	FTG. FOOTING	P-LAM. PLASTIC LAMINATE	T.S. TRANSITION STRIP
B.O.F. BY OWNER FUTURE	FURR. FURRING	P. PLASTIC	TV TELEVISION
B.P. BLOOD PRESSURE	FUT. FUTURE	P.A.C. PREVIOUSLY AWARDED CONTRACT	TYP. TYPICAL
B.T.U. BRITISH THERMAL UNIT	G GRAB BAR	P.L. PROPERTY LINE	TZ. TERRAZZO
BD. BOX DRAIN	G.B. GLASS BLOCK	P.M. PLASTIC MAT	U. UP
BLDG. BUILDING	G.BK. GENERAL CONTRACTOR	P.R. PROPOSAL REQUEST	U.O.N. UNLESS OTHERWISE NOTED
BLKG. BLOCKING	G.I. GALVANIZED IRON	P.S.F. POUNDS PER SQUARE FOOT	U.O.S. UNLESS OTHERWISE SPECIFIED
BLK. BLOCK	G.P. GYM WALL PADDING	P.S.I. POUNDS PER SQUARE INCH	UG. UNDERGROUND
BM. BEAM	GA. GAUGE	P.T. POST TENSIONING SLAB	UNF. UNFINISHED
BO. BOTTOM OF	GALV. GLAVANIZED	P.T.D. PAPER TOWEL DISPENSER	URN. URINAL
BOT. BOTTOM	GMU. GLAZED CONCRETE MASONRY UNIT(S)	P.T.D.R. PAPER TOWEL DISPENSER AND RECEPTACLE	V. VERIFY
BRWG. BEARING	GD. GRADE	P.T.R. PAPER TOWEL RECEPTACLE	V.B. VINYL BASE
BSMT. BASEMENT	GL. GLASS or GLAZING	P.T.L. PORCELAIN TILE	V.C.T. VINYL COMPOSITION TILE
C CATCH BASIN	GND. GROUND	P.V.C. POLYVINYL CHLORIDE	V.T.R. VEIT THROUGH ROOF
C.B. CUBICLE CURTAIN	GRT. GROUT	P.V.C. PARTITION	V.W.C. VINYL WALL COVERING
C.F. CUBIC FEET	GT. GROUT	PART. BD. PARTICLE BOARD	VCB. VENTED COVE BASE
C.G. CORNER GUARD	GWB. GYPSUM WALLBOARD	PFB. PREFABRICATED	VERT. VERTICAL
C.I. CAST IRON	GYP. GYPSUM	PL. PLATE	VEST. VESTIBULE
C.I.P. CAST IN PLACE	GYP. BD. GYPSUM BOARD	PLYWD. PLYWOOD	VF. VINYL FLOORING
C.J. CONTROL JOINT	H HOSE BIB	PNL. PANEL	W. WEST
C.M.U. CONCRETE MASONRY UNIT	H.C. HOLLOW CORE	PR. PAIR	W.C. WATER CLOSET
C.O. CLEAN OUT	H.M. HOLLOW METAL	PREFAB. PREFABRICATED	W.F. WIDE FLANGE
C.R. COLD ROLLED	H.R. HAND RAIL	PROJ. PROJECT	W.GL. WIRE GLASS
C.T. CERAMIC TILE	H.W. HOT WATER	PROP. PROPERTY	W.H. WALL HUNG
C.W. COLD WATER	HD. HEAD	PT. PARTITION	W.P. WATERPROOF(ING)
C.Y. CUBIC YARD	HDCP. HANDICAP(PED)	PV. PAVEMENT	W.P.T. WORKING POINT
CAB. CABINET	HDW. HARDWARE	Q. QUARRY TILE	W.R. WATER RESISTANT
CEM. CEMENT	HOWD. HARDWOOD	R. RISER	W.F.F. WELDED WIRE FABRIC
CER. CERAMIC	HORIZ. HORIZONTAL	R. RISER	W. WITHOUT
CLG. CEILING	HR. HOUR	R. RISER	WB. WASTE BASKET
CLO. CLOSET	HT. HEIGHT	R. RUBBER BASE	WCV. WALL COVERING
CLR. CLEAR	HVAC HEATING, VENTILATION & AIR CONDITIONING	R.C.P. REFLECTED CEILING PLAN	WD. WOOD
CNTR. COUNTER	I INTERNATIONAL BUILDING CODE or INSTALLED BY CONTRACTOR	R.D. ROOF DRAIN	WD.P. WOOD PANELING
COL. COLUMN	I.D. INSIDE DIAMETER	R.F. RUBBER FLOORING	WDW. WINDOW
CONC. CONCRETE	IM. TREAD TRAINING MAT	R.H. RIGHT HAND	WH. WIDTH
CONN. CONNECTION	IN. INCH	R.H.R. RIGHT HAND REVERSE	WSCT. WAINSCOT
CONST. CONSTRUCTION	INCAN. INCANDESCENT	R.L. RAIN LEADER	WT. WEIGHT
CONT. CONTINUOUS	INFO. INFORMATION	R.O. ROUGH OPENING	
CORR. CORRIDOR	INSUL. INSULATION	R.O.D. ROOF OVERFLOW DRAIN	
CP. CARPET	INT. INTERIOR	R.R.T. RUBBER RUNNING TRACK	
CTR. CENTER	INV. INVERT	R.T. RUBBER STAIR TREAD	
D DRINKING FOUNTAIN	J JUNCTION BOX	R.W.F. RESILIENT WOOD FLOORING	
D.L. DEADLOAD	J.B. JANITOR	RAD. RADIUS	
D.S. DOWN SPOUT	J.T. JOINT	RAF. RESILIENT ATHLETIC FLOORING	
DBL. DOUBLE	K.D. KNOCK DOWN FRAME	RE-BAR. REINFORCING BAR	
DEG. DEGREE	K.O. KNOCKOUT	RE. REFER TO or REFERENCE	
DEPT. DEPARTMENT	KITCH. KITCHEN	RECPT. RECEPTACLE	
DIA. DIAMETER	KPL. KICK PLATE	REFRIG. REFRIGERATOR or REFRIGERATED	
DIAG. DIAGONAL	L LONG	REG. REGISTER	
DIM. DIMENSION	L.F. LINEAL FEET	RENF. REINFORCING	
DISP. DISPENSER	L.H. LEFT HAND	REQD. REQUIRED	
DIV. DIVISION	L.H.R. LEFT HAND REVERSE	RESIL. RESILIENT	
DN. DOWN	L.L. LIVE LOAD	REV. REVISE, REVISED or REVISION	
DP. DAMPPROOFING	L.W.C. LIGHT WEIGHT CONCRETE	RFG. ROOFING	
DR. DOOR	LAB. LABORATORY	RFL. REFLECTED	
DTL. DETAIL	LAM. LAMINATE	RM. ROOM	
DWG. DRAWING	LAV. LAVATORY	S. SOUTH	
E EAST	LB.# POUND	S.A.P. SOLID CORE	
E.D. EXHAUST DUCT	LBL. LABEL	S.C.D. SEAT COVER DISPENSER	
E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM	LC. LAY-IN GRID CEILING	S.D. SOAP DISPENSER	
E.J. EXPANSION JOINT	LKR. LOCKER	S.F. SQUARE FEET	
E.O.S. EDGE OF SLAB	LT. LIGHT	S.N.C. SANITARY NAPKIN CABINET	
E.T.S. EXPOSED TO STRUCTURE	LT.WT. LIGHT WEIGHT	S.N.D. SANITARY NAPKIN DISPENSER	
E.W.C. ELECTRIC WATER COOLER	LVR. LOUVER	S.N.R. SANITARY NAPKIN RECEPTACLE	
EA. EACH	M M	S.S. SINK RECEPTACLE	
EC. MODIFIED EPOXY CEMENT	M.H. MANHOLE	S.S. STAINLESS STEEL	
EL. ELEVATION	M.O. MASONRY OPENING	S.V. SHEET VINYL	
ELEC. ELECTRICAL	M.P. MOVEABLE PARTITION	SLAT WALL	
ELEV. ELEVATOR	M.S.B. MASONRY SERVICE BASIN	S.A. SOLID SURFACE ACRYLIC	
EM ELASTOMERIC MEMBRANE	MAS. MASONRY	SCHED. SCHEDULE	
EMER. EMERGENCY	MATL. MATERIAL	SECT. SECTION	
ENAM. ENAMEL	MAX. MAXIMUM	SH. SHELF	
ENGR. ENGINEER	MECH. MECHANICAL	SHTG. SHEATHING	
EPOXY SEAMLESS EPOXY FLOOR	MET. METAL	SHT. SHEET	
EQ. EQUAL		SHWR. SHOWER	
EQUIP. EQUIPMENT		SIM. SIMILAR	

## SYMBOLS LEGEND

BUILDING SECTION		SECTION & SHEET NUMBER POINT IN DIRECTION OF CUT
SECTION CUT		SECTION & SHEET NUMBER POINT IN DIRECTION OF CUT
ELEVATION REFERENCE		SECTION & SHEET NUMBER POINT IN DIRECTION OF VIEW
DETAIL REFERENCE		DETAIL & SHEET NUMBER AREA OF DETAIL
ELEVATION MARK		LOCATION ELEVATION REFERENCE
SPOT ELEVATION		ELEVATION LOCATION
MATCHLINE		
STRUCTURAL GRID		GRID DESTINATION
BREAK LINE		BREAK IN BODY OF DRAWING
ROOM NAME & NUMBER		ROOM NAME ROOM NUMBER
WALL TYPE		WALL TYPE DESIGNATION SEE WALL TYPE SCHEDULE
DOOR		DOOR DESIGNATION SEE DOOR SCHEDULE
WINDOW		WINDOW DESIGNATION
MIRROR		MIRROR DESIGNATION SEE MIRROR SCHEDULE
TOILET ACCESSORIES		ACCESSORY DESIGNATION SEE ACCESSORY SCHEDULE
BUILDING EQUIPMENT AND SPECIALTIES		EQUIPMENT (DIVISION 11) SPECIALTIES (DIVISION 10)
MILLWORK CASEWORK / KEYNOTE		CASEWORK TYPE / MILLWORK
REVISION		REVISION DESIGNATION SEE TITLE BLOCK
ROOM FINISH TAG		TYPICAL FLOOR FINISH TYPICAL WALL BASE TYPICAL WALL FINISH TYPICAL CEILING FINISH ROOM NUMBER
		ACCENT WALL INDICATION
		SPECIFICATION MANUAL DRAWING REFERENCE

## PROJECT TEAM

<b>OWNER</b> Williston Community Builders PO Box 2720 Williston, ND 58802 Phone: 701.461.7222 www.eapc.net Contact: Bret Donat Brett.Donat@eapc.net	<b>RECREATION ARCHITECT</b> OLC 400 Santa Fe Drive Denver, Colorado 80203 303.294.9244 www.olcdesigns.com Contact: Brian Beckler bbeckler@olcdesigns.com	<b>GEOTECHNICAL ENGINEER</b> American Engineering Testing, Inc. 1225 Bean Dr. Williston, ND 58801 701.572.3324 www.teamaet.com Contact: Harvey T. Fitzgerald, PE hfitzgerald@teamAET.com	<b>CIVIL ENGINEERING</b> Interstate Engineering 2610 Old Red Trail, Suite B Mandan, ND 58554 701.663.5455 www.interstateeng.com Contact: Matt Heck Matt.Heck@interstateeng.com	<b>MECHANICAL/PLUMBING ENGINEERING</b> EAPC 313 Main Street, Suite 200 Williston, ND 58801 701.461.7446 www.eapc.net Contact: Tyler Coulombe, PE Tyler.Coulombe@eapc.net
<b>ARCHITECT</b> EAPC 313 Main Street, Suite 200 Williston, ND 58801 701.461.7222 www.eapc.net Contact: Bret Donat Brett.Donat@eapc.net	<b>AQUATICS DESIGNER</b> Counsilman Hunsaker 12265 W Bayaud Ave, Suite 110 Lakewood, CO 80228 303.323.8529 www.counsilmanhunsaker.com Contact: Cole Henry cohenry@ch20.com	<b>SURVEYOR</b> Interstate Engineering 202 13th Street West PO Box 2236 Williston, ND 58802 701.483.4708 www.interstateeng.com Contact: Robert (Bob) L. Procvic, PLS robert.procvic@intersteeng.com	<b>STRUCTURAL</b> EAPC 313 Main Street, Suite 200 Williston, ND 58801 701.775.3054 www.eapc.net Contact: Timothy J. Gustafson, PE Timothy.Gustafson@eapc.net	<b>ELECTRICAL ENGINEERING</b> EAPC 313 Main Street, Suite 200 Williston, ND 58801 701.461.7484 www.eapc.net Contact: Brian Wentland, PE Brian.Wentland@eapc.net

## SHEET INDEX

Sheet Number	Sheet Name
A-000	COVER SHEET
A-001	CODE SHEET
A-002	SITE PLAN
A-003	SITE DETAILS
A-100	FLOOR PLAN
A-101	REFLECTED CEILING PLAN
A-102	ROOF PLAN
A-200	EXTERIOR ELEVATIONS
A-300	BUILDING SECTIONS
A-301	WALL SECTIONS
A-400	ENLARGED WET AREA MILLWORK
A-500	SCHEDULES

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 DENVER, COLORADO 80203  
 T: 303.294.9244  
 www.olcdesigns.com

**CLIENT**  
 WILLISTON  
 COMMUNITY  
 BUILDERS

**PROJECT DESCRIPTION**  
 WILLISTON WATER  
 WORLD

**CITY**  
 STATE

**ISSUE DATES**

**NOT FOR CONSTRUCTION**

MARK	DESCRIPTION	DATE
SD	SCHEMATIC DESIGN	01/01/2022
DD	DESIGN DEVELOPMENT	01/20/2023

**PROJECT NO:** 22061  
**DRAWN BY:** Author  
**CHECKED BY:** Checker  
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**DRAWING TITLE**  
 COVER SHEET

# A-000

**NOT FOR CONSTRUCTION**

SD	SCHEMATIC DESIGN	01/01/2022
DD	DESIGN DEVELOPMENT	01/20/2023
MARK	DESCRIPTION	DATE

PROJECT NO: 22061  
 DRAWN BY: Author  
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**CODE SHEET**

**A-001**

ROOM OCCUPANT CALCULATIONS					
Room No.	Room Name	Occupancy/Function	Area	OLF	Occupant Load
100	CHECK-IN / GUARDS	BUSINESS	290 SF	150	2
101	STAFF	BUSINESS	90 SF	150	1
102	WOMEN'S CHANGING	LOCKERS	460 SF	50	10
103	MEN'S CHANGING	LOCKERS	500 SF	50	10
104	FAMILY-1	LOCKERS	90 SF	50	2
105	FAMILY-2	LOCKERS	80 SF	50	2
106	MECH	ACCESSORY	60 SF	300	1
107	CONCESS	BUSINESS	170 SF	150	2
108	POOL EQUIPMENT	ACCESSORY	620 SF	300	3
109	STORAGE	ACCESSORY	420 SF	300	2
110	CHLOR	ACCESSORY	70 SF	300	1
111	CO2	ACCESSORY	70 SF	300	1
TOTAL OCCUPANTS			2,920 SF		37

**CODE INFORMATION**

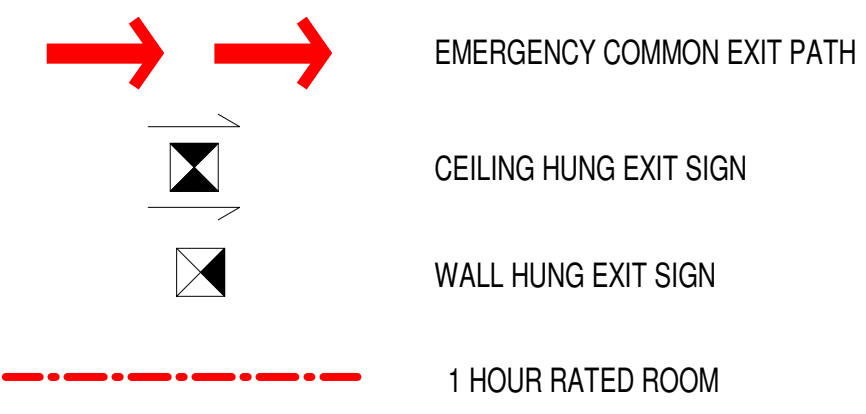
ADDRESS: WILLISTON, NORTH DAKOTA 58801  
 PROJECT DESCRIPTION: NEW CONSTRUCTION OF A TOILET FACILITY, CONCESSION, MECHANICAL ROOM, AND NEW POOLS.  
 AUTHORITY JURISDICTION: CITY OF WILLISTON, WILLIAMS COUNTY, ND

APPLICABLE BUILDING CODES:  
 • International Building Code (IBC) 2018  
 • International Mechanical Code (IMC) 2018  
 • Uniform Plumbing Code (UPC) 2009  
 • International Energy Conservation Code (IECC) 2018  
 • International Fuel Gas Code (IFGC) 2018  
 • National Electric Code (NEC) 2014  
 • UPPER MISSOURI DISTRICT HEALTH UNIT 2016 SWIMMING POOL/SPA RULES AND REGULATIONS  
 • Accessible Usable Buildings & Facilities (ICC/ANSI A117.1) 2017

ZONING DISTRICT: C-2 GENERAL COMMERCIAL DISTRICT  
 OCCUPANCY: PROJECT = A-3  
 BUILDING = B (303.1.1: Assembly Group A-3, but < 50 Persons)

TYPE OF CONSTRUCTION: V-B  
 GROSS AREA: 2,900.0 SF (Table 506.2, < 9,000 SF for V-B, NS)  
 BUILDING HEIGHT, MAX.: 40'-0"  
 ACTUAL BLDG HEIGHT: 24'-0" ONE-STORY  
 AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED (Chapter 5 and Chapter 9)  
 FIRE ALARM SYSTEM: NOT REQUIRED (907.2.2)  
 CLIMATE ZONE: EXPOSURE C  
 SEISMIC ZONE: 0  
 FROST DEPTH: 48"  
 GROUND SNOW LOAD: 30 LBS/SF  
 ULTIMATE DESIGN WIND SPEED: 115 MPH

TABLE 601 - FIRE RESISTANCE RATINGS:		CHAPTER 10: MEANS OF EGRESS:	
ELEMENT / AREA	HR RATING	1004 - OCCUPANT LOAD	SEE POOL DECK PLAN
PRIMARY STRUCTURAL FRAME:	0	1005 - EGRESS WIDTH (1005.3.2)	EGRESS COMPONENTS: 20 x 37 OCC. = 7.4', REQ'D
BEARING WALLS-EXTERIOR:	0	EGRESS PROVIDED:	COMPLIES, SEE BATH HOUSE PLAN
NON BEARING WALLS-EXTERIOR:	0 (Per Table 602, X<30')	1006 - NUMBER OF EXITS	
NON BEARING WALLS-INTERIOR:	0	RESTROOM AREA	1 REQ'D (OCC LOAD < 49)
FLOOR CONSTRUCTION:	0	POOL EQUIP AREA	2 REQ'D (1006.2.2.1)
ROOF CONSTRUCTION:	0	MAX COMMON PATH	100' @ OCC, < 45 FT (COMPLIES)
TABLE 705.8 MAX EXT OPNG:	> 30', No Limit (UP, NS)	1016 - EXIT ACCESS	B OCCUPANCY w/o SPRINKLERS: MAX: 75 FT (COMPLIES)
CORRIDORS-FIRE RESISTANCE:	NOT REQUIRED (1020.1.4)	1017 - EXIT ACCESS TRAVEL DISTANCE	ASSEMBLY w/o SPRINKLERS: MAX: 200 FT (COMPLIES)
DOORS-FIRE RESISTANCE:	NOT APPLICABLE		
TABLE 803.11 - INTERIOR FINISHES:	NON-SPRINKLERED		
EXIT ENCLOSURES:	CLASS A		
CORRIDORS:	CLASS B		
ROOMS & ENCLOSED SPACES:	CLASS C		
FLOORS:	NOT APPLICABLE		

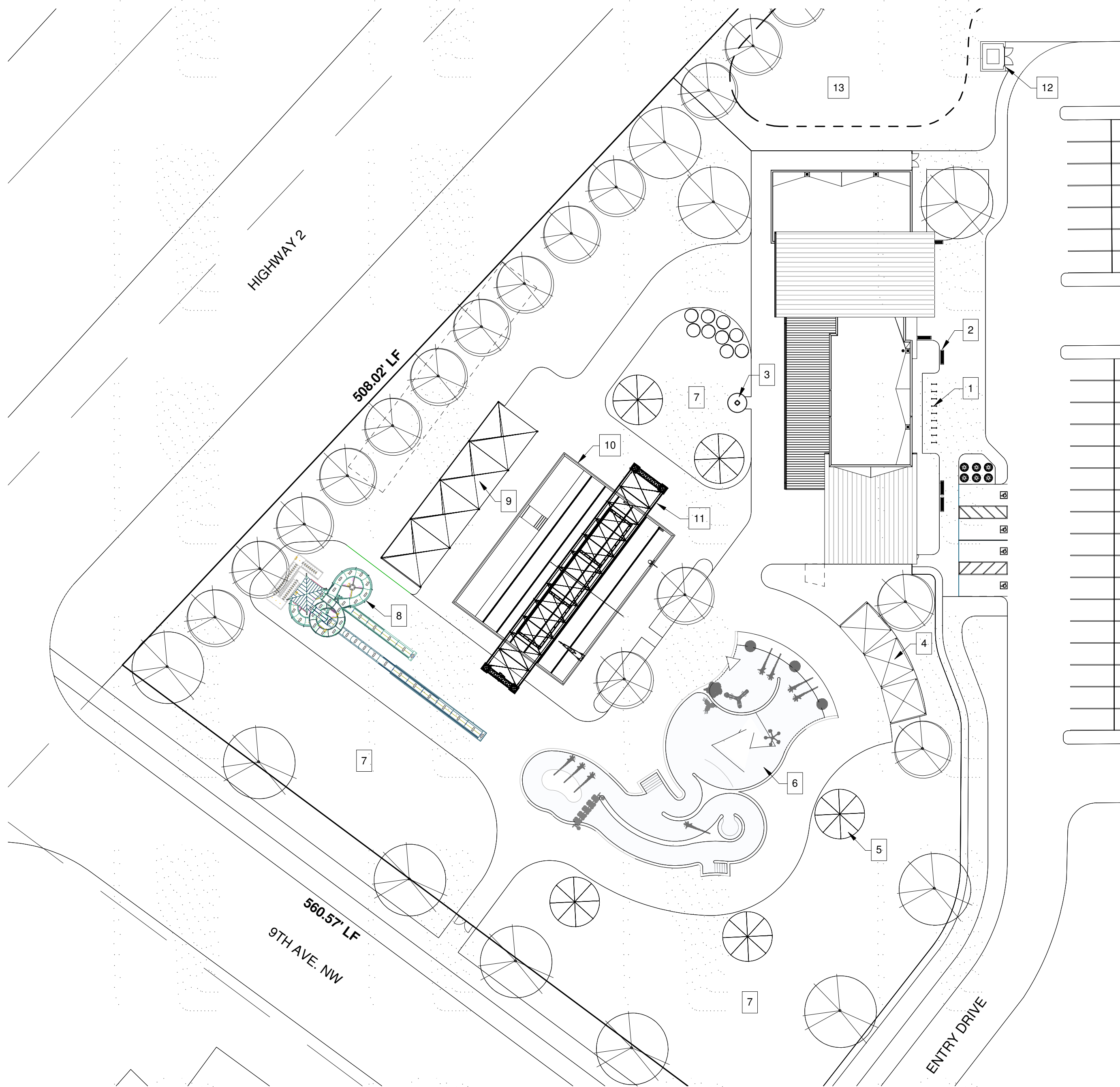


**CODE NOTES**

- ALL DOOR HARDWARE TO MEET ACCESSIBILITY REQUIREMENTS
- ALL ACCESS CONTROLLED EGRESS GATE TO BE CONNECTED TO FIRE ALARM, AND TO RELEASE ELECTRIC STRIKE ON ALARM CONDITION.
- ALL WOOD USED WITHIN PROJECT TO BE CLASS B
- OCCUPANT LOAD SIGNS WILL BE PROVIDED IN ACCORDANCE WITH NFPA 101 SECTION 7.3.1.2 AND TO BE DISPLAYED AT CONSPICUOUS PLACES
- FIRE EXTINGUISHERS IS PROVIDED PER NFPA 101 SECTION 9.7.4.1
- EMERGENCY LIGHTING IN ACCORDANCE WITH NFPA 101, SECTION 7.9
- EXIT SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 101, SECTION 7.8
- ELECTRICALLY CONTROLLED EGRESS DOORS SHALL COMPLY WITH NFPA 101, SECTION 7.2.1.5.6
- ALL INTERIOR FINISH MATERIAL TO BE IN COMPLIANCE WITH NFPA 101 SECTION 10.2
- COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
- COMPLY WITH FBC 803.1 ALLOWABLE MATERIALS.
- COMBUSTIBLE MATERIALS SHALL BE PERMITTED IN BUILDINGS OF TYPE I OR II CONSTRUCTION IN THE FOLLOWING APPLICATIONS AND IN ACCORDANCE WITH SECTIONS 803.1.1 THROUGH 803.1.3 INCLUDING:
  - MILLWORK SUCH AS DOORS, DOOR FRAMES, WINDOW SASHES AND FRAMES.
  - BLOCKING SUCH AS FOR HANDRAILS, MILLWORK, CABINETS AND WINDOW AND DOOR FRAMES.
- PROVIDE TERMITES PROTECTION COMPLYING WITH FBC BUILDING 1816 REFERE SPECIFICATION SECTION 31 3116-TERMITE CONTROL.

1 CODE PLAN  
 1" = 20'-0"





1 MASTER SITE PLAN (PHASES I & II)  
1/32" = 1'-0"



2 BASE SITE PLAN (PHASE I)  
1/32" = 1'-0"

KEYNOTES	
NO.	DESCRIPTION
1	BIKE RACK (9)
2	BENCH (6)
3	SHOWER COLUMN (1)
4	SHADE STRUCTURE, (3) 15x15'
5	SHADE UMBRELLA, (3) 20' DIA.
6	LEISURE POOL
7	SOD / SUNNING AREAS
8	WATER SLIDES
9	SHADE STRUCTURE, (4) 20x20'
10	FITNESS POOL
11	NINJA CROSS
12	TRASH ENCLOSURE, SEE PLAN 1/A-003
13	WATER DETENTION

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**WILLISTON COMMUNITY BUILDERS**

PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY  
 STATE

ISSUE DATES

**NOT FOR CONSTRUCTION**

SD	SCHEMATIC DESIGN	01/01/2022
DD	DESIGN DEVELOPMENT	01/20/2023
MARK	DESCRIPTION	DATE

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**SITE PLAN**

**A-002**

**Flare Top Trash Receptacle**



**Simple Reliability**

Flare Top Trash Receptacle, built with reliability in mind. This tough, fully-welded commercial grade steel receptacle is a one-piece design with vertical slats and two horizontal bands at the neck and base that show off its simple clean lines.

4 TRASH RECEPTACLE w/ RAIN BONNET  
NOT TO SCALE

Manufacturer: Belson Outdoors (Basis of Design)  
Model: CBTR-FT-BK with Rain Bonnet  
Color: Black  
Mount Type: Surface

**'U' Rack | Bicycle Storage Rack**



**Secure and Easy Bicycle Storage**

The 'U' Rack provides economical, safe and convenient bicycle storage which is ideal for apartment buildings, retail outlets, office malls or other settings where appearance is important but economy is a consideration.

Meets Class II guidelines by providing exceptional support for the whole bicycle, frame and wheel, using just a single U-lock. This storage rack supports each bicycle in a stable upright position and holds up to two bicycles, one on each side. Constructed with 1-7/8" O.D. or 2-3/8" O.D. Schedule 40 steel tubing.

5 BIKE RACK  
NOT TO SCALE

Manufacturer: Belson Outdoors (Basis of Design)  
Model: U190-SF-P  
Color: Black  
Mount Type: Surface

**Wilmington Collection Park Bench**



**A Sophisticated Complement**

Premium park bench seating from the Wilmington Collection, a sophisticated accent for spaces ranging from indoor lobbies or hallways to outdoor parks or plazas.

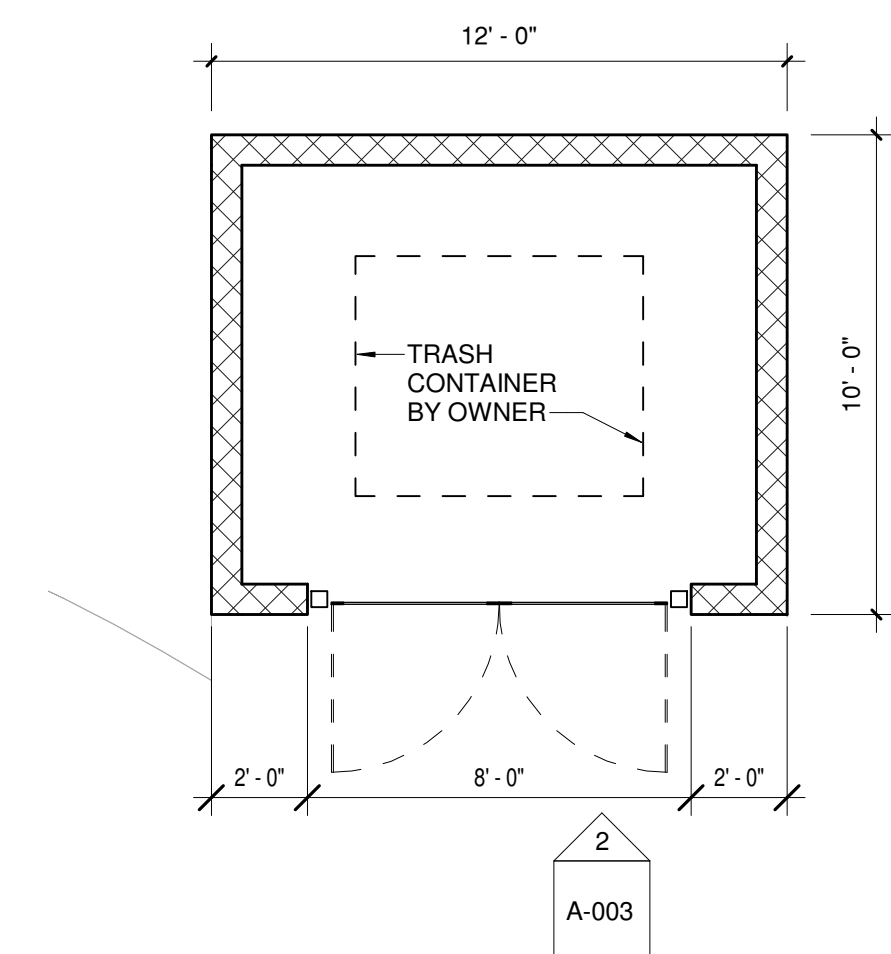
**Dimensions**

Model 974-S6 - 76-1/4"L x 29"W x 32-5/16"H

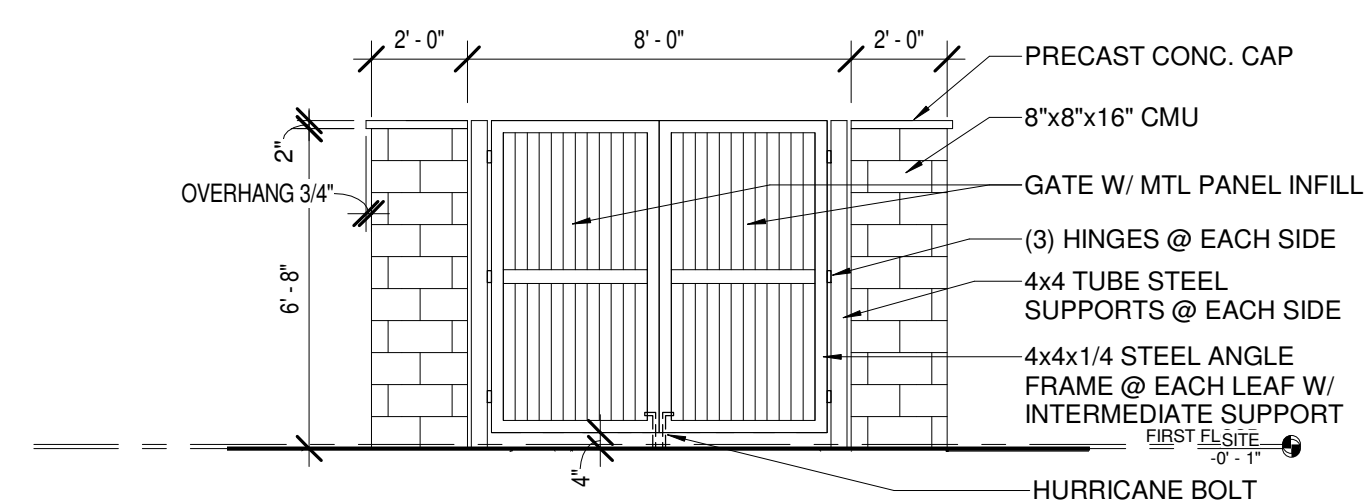
These park benches are designed with broad arching armrests, which show-off the precision line detailing of the cast aluminum frame. Engineered ready for a wide variety of applications, the footings are designed for both portable and surface mount installations.

6 PARK BENCH  
NOT TO SCALE

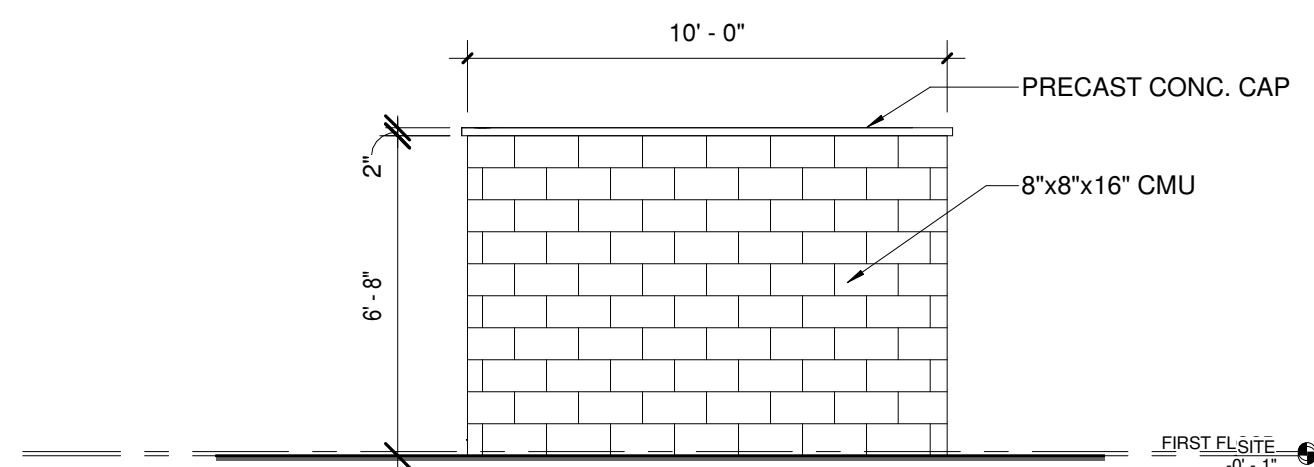
Manufacturer: Belson Outdoors (Basis of Design)  
Model: 947-S6  
Color: Black  
Mount Type: Surface



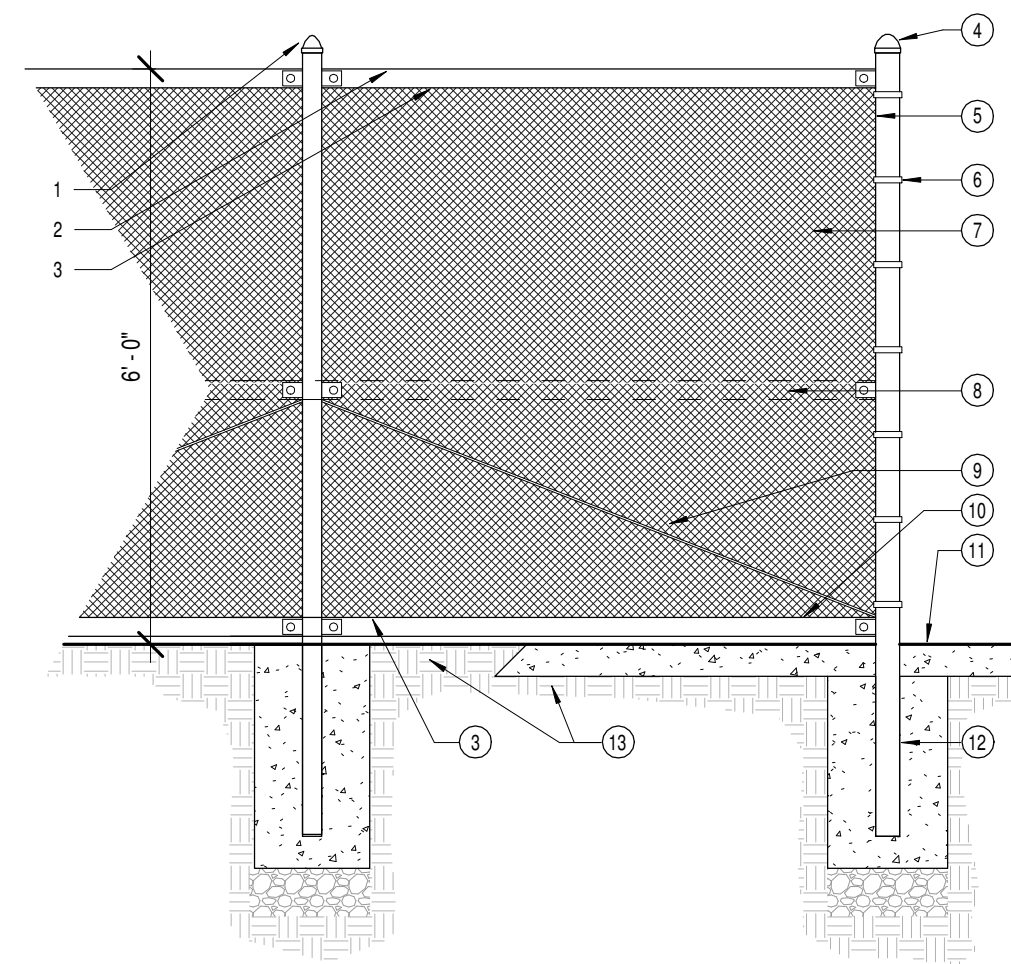
1 TRASH ENCLOSURE PLAN  
1/4" = 1'-0"



2 TRASH - FRONT VIEW @ GATE  
1/4" = 1'-0"

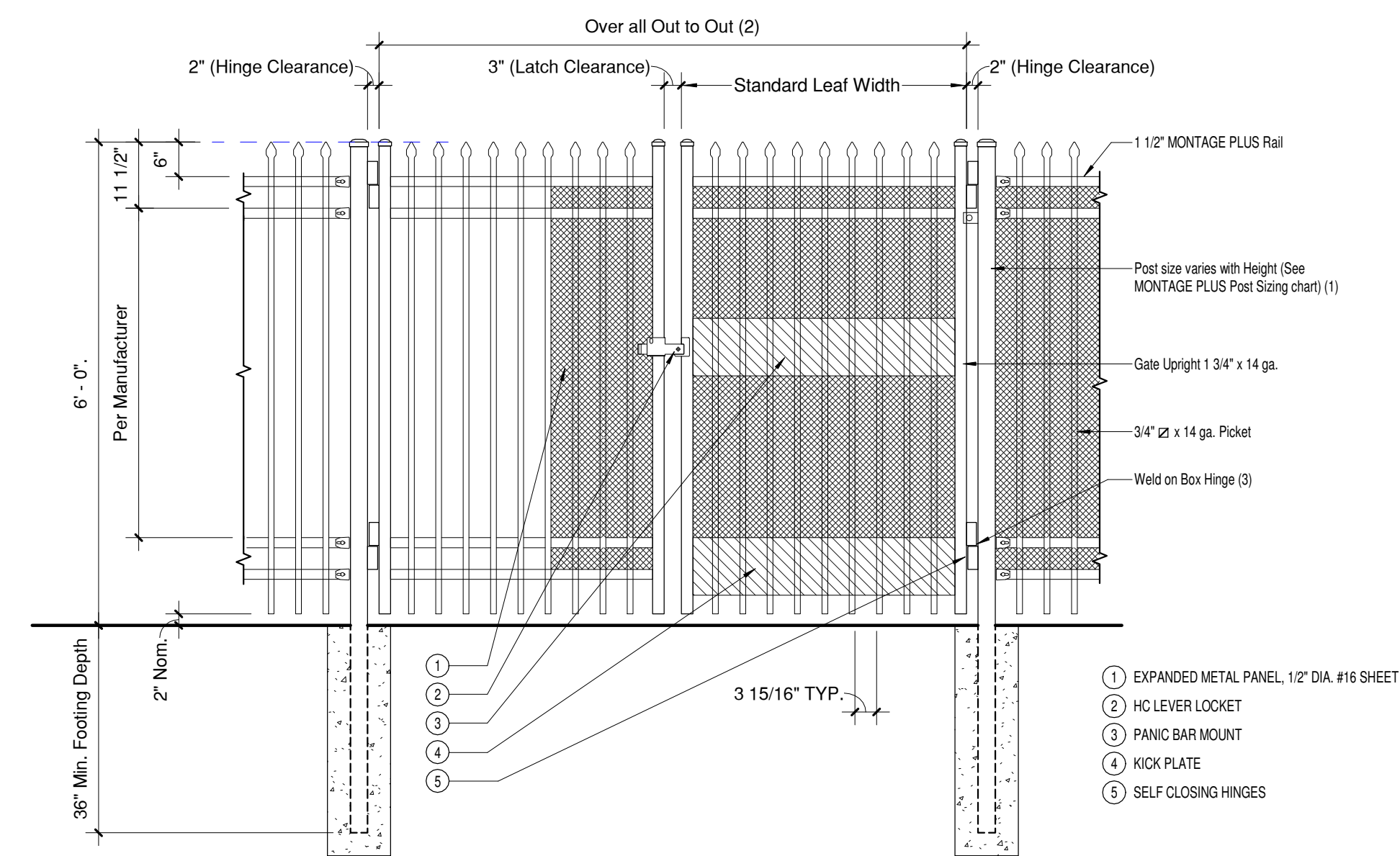


3 TRASH - SIDE VIEW  
1/4" = 1'-0"



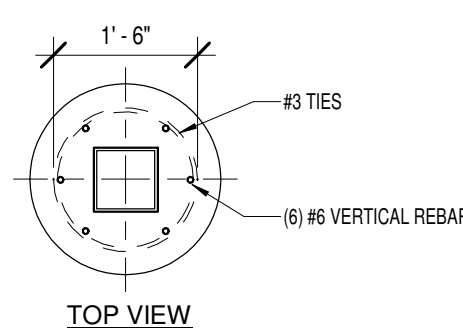
7 CHAINLINK FENCE AT PERIMETER  
1/2" = 1'-0"

- 1 LINE POSTS
- 2 TOP RAIL
- 3 NUTKED SELVAGE
- 4 END CORNER & GATE POSTS
- 5 STRETCHER BAR
- 6 STRETCHER BAR BAND
- 7 1 3/4" MESH VINYL FINISH
- 8 MID RAILS (ON ALL FENCES OVER 6' HT)
- 9 CROSS SUPPORT
- 10 BOTTOM RAIL
- 11 CONCRETE WALKWAY
- 12 CONCRETE FOOTING 12" DIA x 4' DEEP
- 13 COMPACTED SUBGRADE
- 14 6" FREE DRAINING AGGREGATE



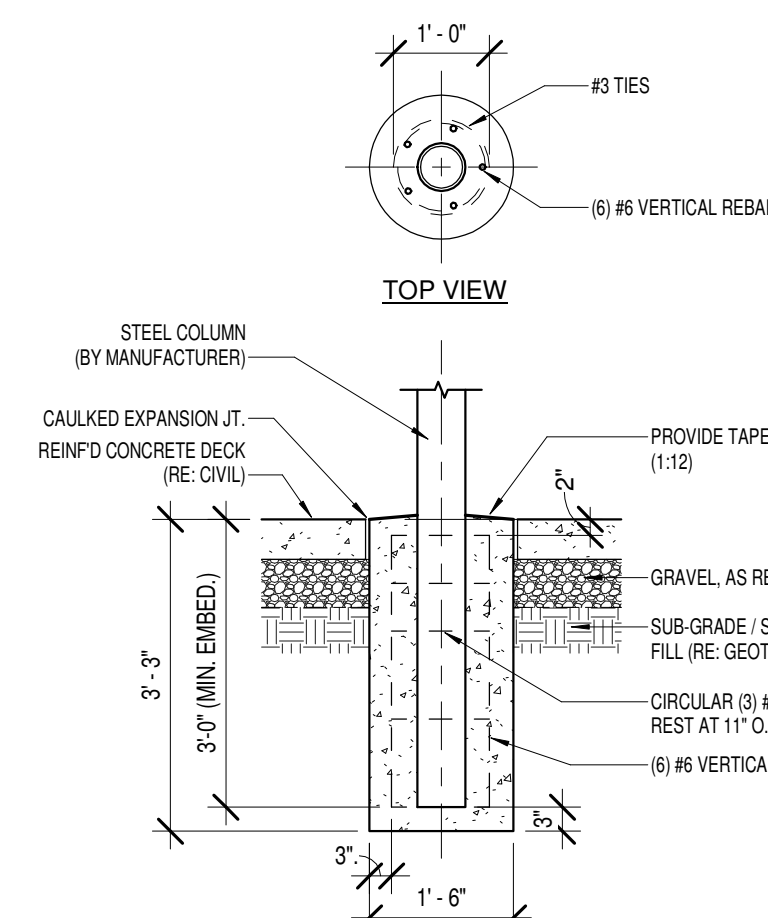
8 DOUBLE GATE / FENCING AT BREEZEWAY  
1/2" = 1'-0"

- 1 EXPANDED METAL PANEL, 1/2" DIA #16 SHEET
- 2 HC LEVER LOCKET
- 3 PANIC BAR MOUNT
- 4 KICK PLATE
- 5 SELF CLOSING HINGES



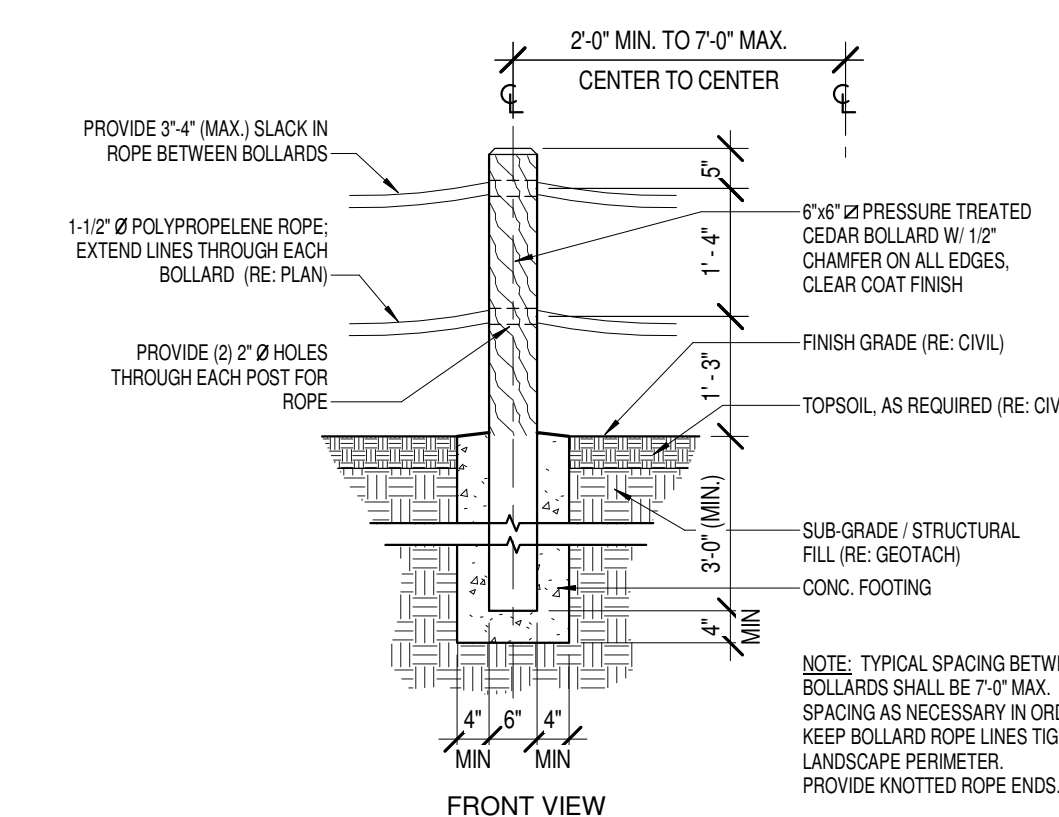
9 FOOTING DETAIL AT SHADE STRUCTURE  
1/2" = 1'-0"

NOTE: MANUFACTURER TO MODIFY STRUCTURAL DETAILS AS REQUIRED TO MEET BUILDING CODE AND GEOTECHNICAL RECOMMENDATIONS.



10 FOOTING DETAIL AT UMBRELLA  
1/2" = 1'-0"

NOTE: MANUFACTURER TO MODIFY STRUCTURAL DETAILS AS REQUIRED TO MEET BUILDING CODE AND GEOTECHNICAL RECOMMENDATIONS.



11 FOOTING DETAIL AT ROPE FENCE  
1/2" = 1'-0"

NOTE: TYPICAL SPACING BETWEEN BOLLARDS SHALL BE 7'-0" MAX. ADJUST SPACING AS NECESSARY IN ORDER TO KEEP BOLLARD ROPE LINES TIGHT TO LANDSCAPE PERIMETER. PROVIDE KNOTTED ROPE ENDS.

DD	DESCRIPTION	DATE
DD	DESIGN DEVELOPMENT	01/20/2023
DD	DESIGN DEVELOPMENT	01/20/2023

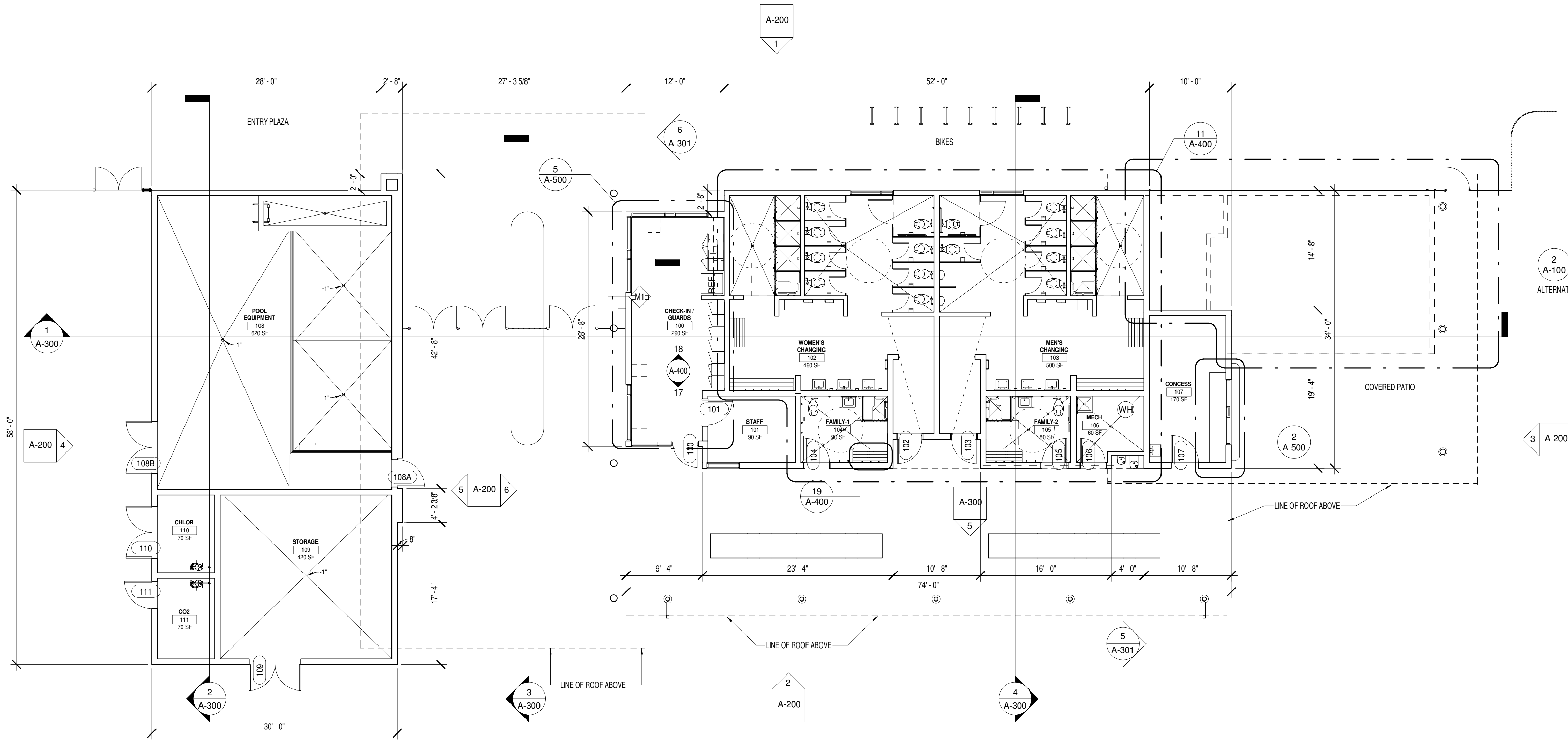
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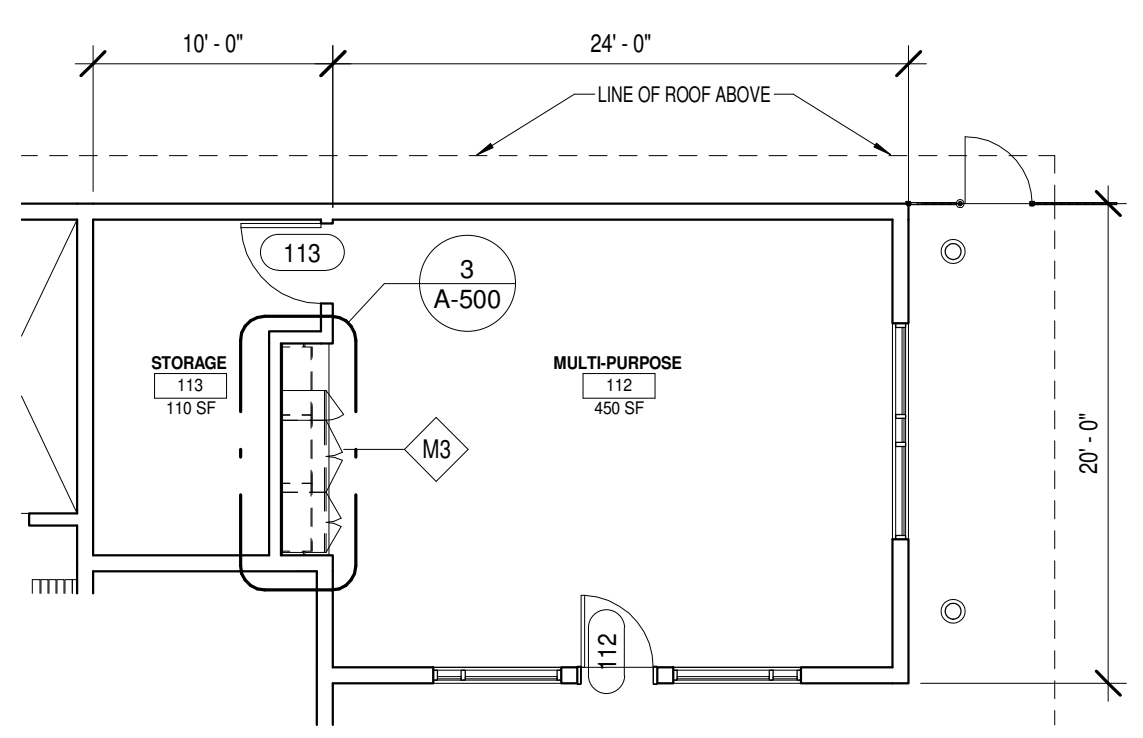
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**SITE DETAILS**

NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN  
1/8" = 1'-0"



2 ALTERNATE MULTI-PURPOSE ROOM PLAN  
1/8" = 1'-0"

**GENERAL NOTES**

ATTENTION-CONTRACTORS, SUBCONTRACTORS, SUPPLIERS, MANUFACTURERS, TRADESPERSONS AND ALL USERS OF THESE DRAWINGS:

- CAREFULLY AND THOROUGHLY REVIEW THE GENERAL NOTES FIRST BEFORE USING THE DRAWINGS. IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THE QUALIFICATIONS LISTED BELOW.
- BE ALERTED THAT WORK YOU ARE INTERESTED IN MAY NOT BE CONTAINED ALL TOGETHER IN ONE PLACE OR IN ONE SERIES OF DRAWINGS (ARCH., STRUCT., MECH., ETC.) OR IN ONE SPECIFICATION SECTION. REQUIREMENTS FOR ELECTRICAL, MECHANICAL, PLUMBING, AND STRUCTURAL CAN ALSO BE SHOWN ON ARCHITECTURAL DRAWINGS. REQUIREMENTS FOR ANY DISCIPLINE CAN BE SHOWN ON THE DRAWINGS OF OTHER DISCIPLINES. REQUIREMENTS FOR ONE DISCIPLINE CAN BE SHOWN BOTH WITH THAT DISCIPLINE AND ANOTHER AS WELL. EVERY EFFORT HAS BEEN MADE TO MAKE THESE DOCUMENTS CONCISE AND COORDINATED, TO DEFINE WORK IN THE MOST LOGICAL PLACE, AND TO DESCRIBE WORK IN ONE PLACE ONLY. HOWEVER, REMEMBER YOUR SCOPE OF WORK CAN BE CONTAINED IN VARIOUS PLACES WITH VARYING DESCRIPTIONS. DO NOT CONSIDER THERE IS ONLY ONE CUSTOMARY PLACE TO LOCATE YOUR WORK. DO NOT OMIT WORK FROM YOUR SCOPE BECAUSE THE ENTIRE SET OF DOCUMENTS WAS NOT REVIEWED. DO NOT PRESUME YOUR SCOPE OF WORK IS SINGULARLY DEFINED. THE ENTIRE SET OF CONTRACT DOCUMENTS DEFINES THE SCOPE OF WORK FOR THE ENTIRE PROJECT AS WELL AS ANY PARTICULAR TRADE, ETC. YOU MUST REVIEW ALL DRAWING SHEETS AND SPECIFICATIONS DIVISIONS/SECTIONS TO DETERMINE THE EXTENT OF YOUR WORK. TYPICALLY MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS SHOW EQUIPMENT, PIPING, ETC. IN A DIAGRAMMATIC WAY WITHOUT DIMENSIONING. THESE DRAWINGS DO NOT NECESSARILY ACKNOWLEDGE ARCHITECTURAL DETAILING FOR SHAFTS, CHASES, EASEMENTS, ETC. GENERAL CONTRACTOR TO COORDINATE THE LOCATIONS OF ALL M.E.P. EQUIPMENT, FIXTURES, PIPING, ETC. WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. THIS SET OF DOCUMENTS IS ORGANIZED TO CONVEY INFORMATION AS CLEARLY AS POSSIBLE IN ONE PLACE.
- THE WALL TYPES ARE DESCRIBED IN A SCHEDULE, AND KEYED ON THE FLOOR PLAN SHEETS A101, A102, ETC.
- DOORS ARE DESCRIBED IN A SCHEDULE ON SHEET A500, AND KEYED ON THE FLOOR PLAN SHEETS.
- GLAZING FRAMES ARE DESCRIBED IN THE 600 SERIES SHEETS, AND KEYED ON THE FLOOR PLANS.
- MILLWORK, GUARDRAILS, BUILDING EQUIPMENT, AND BUILDING SPECIALTIES ARE DESCRIBED IN SCHEDULES AND IN PLAN AT MULTIPLE LOCATIONS OF THIS DRAWING PACKAGE (REFER TO FULL PACKAGE).
- TOILET ACCESSORIES ARE DESCRIBED IN A SCHEDULE IN THE 600 SERIES, AND KEYED ON SHEETS IN THE 600 SERIES.
- THE FIRE SPRINKLER SYSTEM IS DESIGNED BY THE INSTALLING SUBCONTRACTOR. THIS DESIGNER / SUBCONTRACTOR MUST COORDINATE LAYOUT, CLEARANCES, LOCATION AND HEAD HEIGHTS WITH THE MECHANICAL DUCT WORK LAYOUT, LIGHTING LAYOUT, AND THE REFLECTED CEILING PLANS. ADDITIONALLY, SOME OF THE BUILDING SPACES WHERE THE SPRINKLER SYSTEM IS TO BE INSTALLED MAY BE SHOWN IN THESE DOCUMENTS. HOWEVER ALL SPACES MAY NOT BE DETAILED OR DESCRIBED. SPRINKLER DESIGN MUST BE COORDINATED WITH ALL PROVISIONS OF THESE DOCUMENTS. SPRINKLER DESIGNER DO NOT RELY SOLELY ON THE DRAWINGS TO DESCRIBE AND IDENTIFY BUILDING SPACES FOR YOUR SYSTEM. ALSO DO NOT RELY SOLELY ON ONE DISCIPLINE IN DESIGNING YOUR SYSTEM. GENERAL CONTRACTOR CONFIRM SPRINKLER DESIGNER / SUBCONTRACTOR HAS COORDINATED THEIR WORK. ALL LAYOUT SHALL MAINTAIN THE INTEGRITY OF THE ARCHITECTURAL AESTHETICS AND SHALL NOT CROSS ANY FENESTRATION; ALL CARE SHALL BE GIVEN UPON DESIGN AND LAYOUT TO ADHERE TO THE ARCHITECTURAL CONSTRUCTION AND AESTHETIC INTEGRITY. ALL QUESTIONS SHALL BE FORWARDED TO THE ARCHITECT FOR REVIEW AND RESPONSE.
- MECHANICAL, ELECTRICAL AND SPRINKLER FEATURES MUST EXIST IN THE SAME CEILING SPACES. EACH TRADE MUST LAYOUT AND INSTALL THEIR RESPECTIVE CONDITIONS WITH AWARENESS OF THE OTHER TRADES THAT NEED TO SHARE THE SPACES. EACH TRADE MUST NOT ASSUME THEIR INSTALLATIONS CONDITIONS HAVE BEEN CONSIDERED IN THE DESIGN AND SHOP DRAWINGS PREPARED BY THE OTHER TRADE. EVERY EFFORT HAS BEEN MADE TO COORDINATE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL REQUIREMENTS, IN THESE DOCUMENTS. THE SPRINKLER DESIGN DOES NOT OCCUR UNTIL THE CONSTRUCTION IS UNDERWAY, SO IT HAS NOT BEEN ACTUALLY INCLUDED IN THESE DOCUMENTS. THERE CAN BE PLACES THAT REQUIRE ADDITIONAL COORDINATION AND MODIFICATIONS. EACH TRADE CONTRACTOR TO REVIEW THEIR REQUIREMENTS WITH THE OTHER TRADE AND PROVIDE COORDINATION DURING SHOP DRAWINGS AND CONSTRUCTION. THIS EFFORT TO BE OVERSEEN BY THE GENERAL CONTRACTOR.
- ALL REQUESTS FOR ADDITIONAL INFORMATION AND/OR CLARIFICATION MUST BE SUBMITTED TO THE ARCHITECT IN WRITING VIA A PROJECT REQUEST FOR INTERPRETATION (INFORMATION) FORM.



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WILLISTON  
COMMUNITY  
BUILDERS

PROJECT DESCRIPTION  
WILLISTON WATER  
WORLD

CITY  
STATE

ISSUE DATES

SD	SCHEMATIC DESIGN	01/01/2022
DD	DESIGN DEVELOPMENT	01/20/2023
MARK	DESCRIPTION	DATE

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FLOOR PLAN

**A-100**

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WILLISTON  
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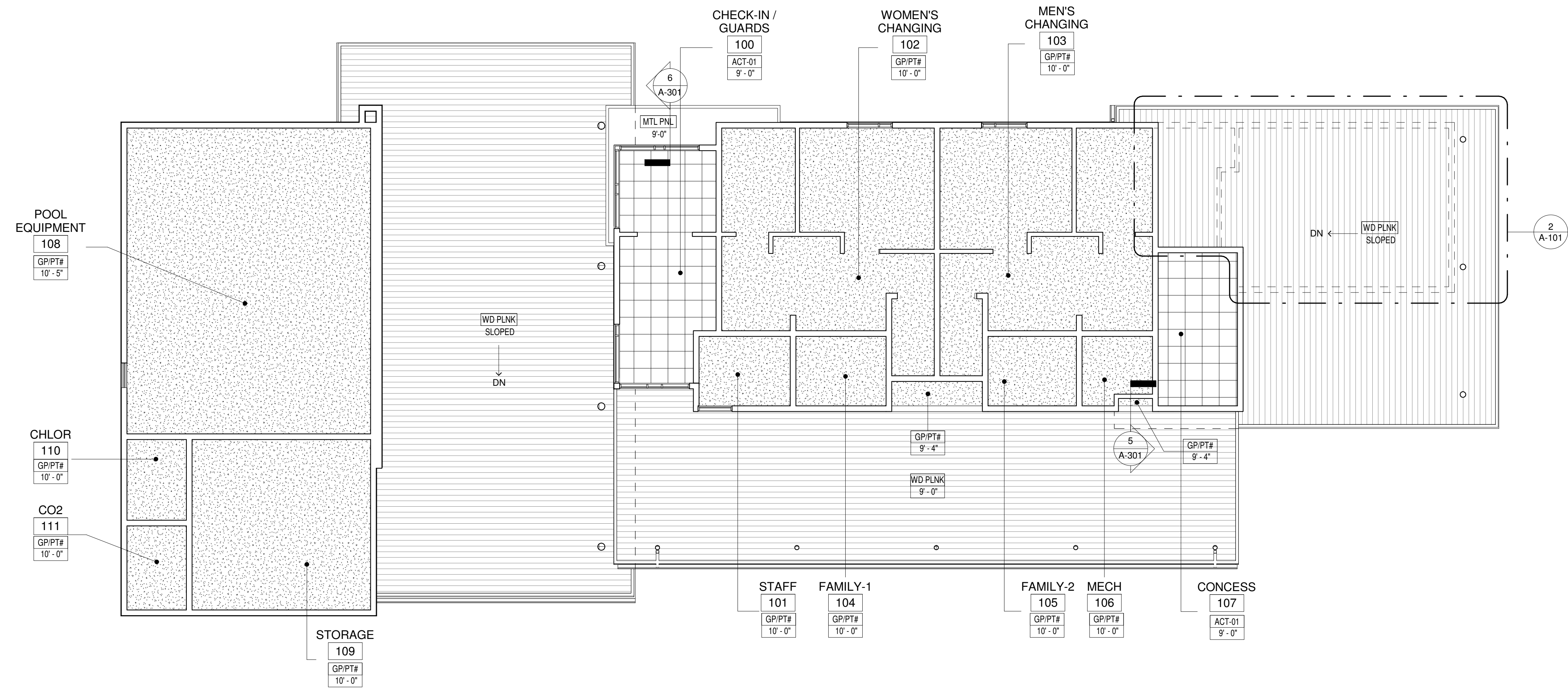
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DRAWING TITLE  
REFLECTED CEILING  
PLAN

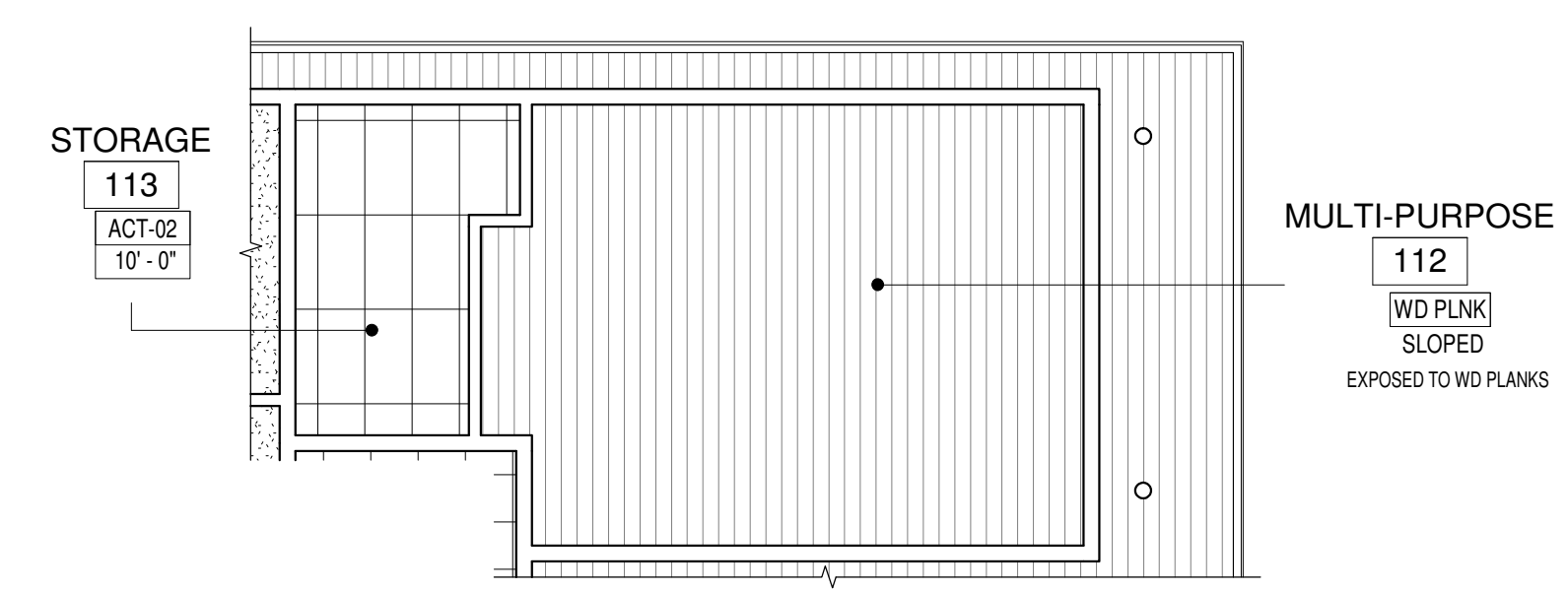
A-101

	ACOUSTICAL CEILING TILES AND GRID
	GYP. BD. CEILING
	WOOD PLANKS CEILING T&G
	RECESSED DOWN LIGHT
	2X2 FLAT PANEL CEILING LIGHT
	LINEAR FLUORESCENT PENDANT
	E.T.S. EXPOSED TO STRUCTURE

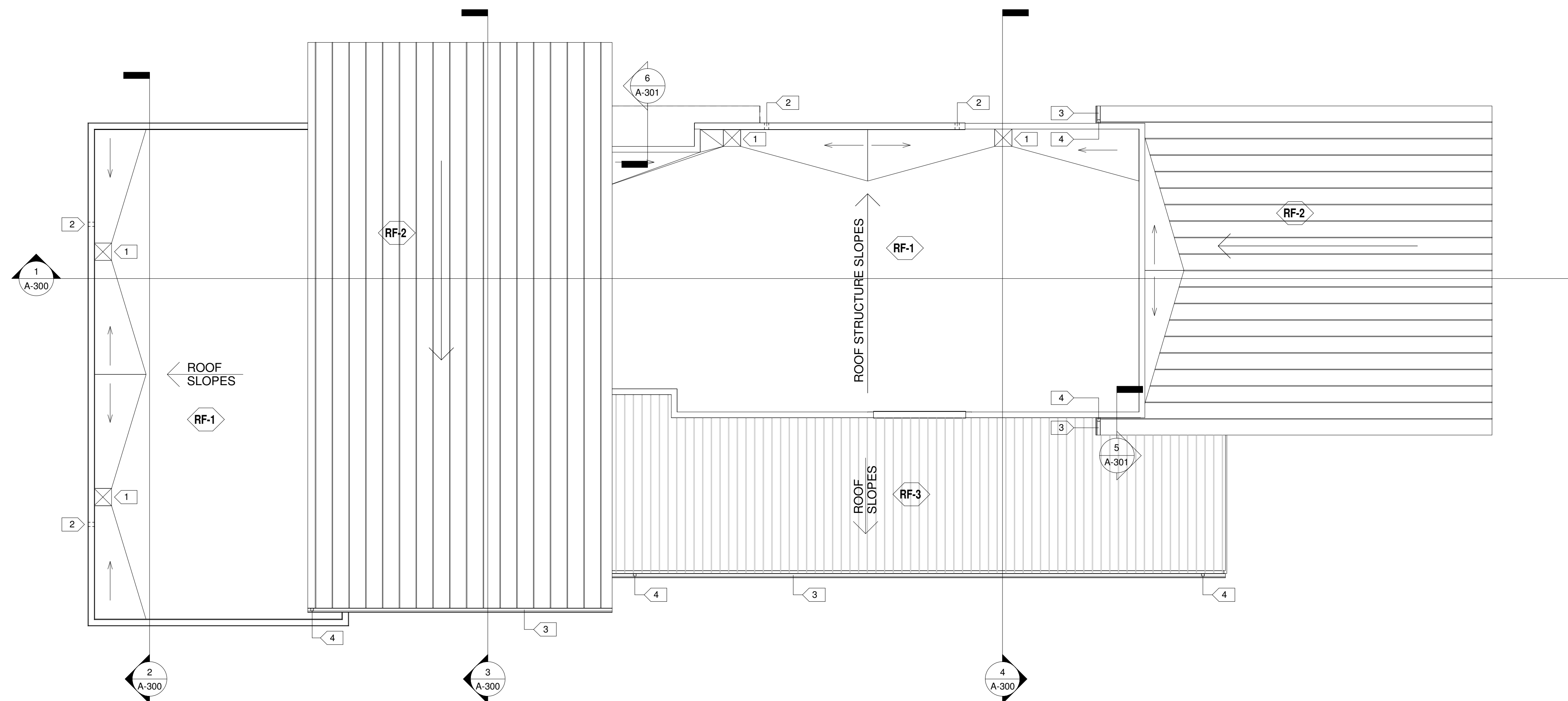
NOTE: ALL LIGHTING REFER TO ELECTRICAL.



1 FIRST FLOOR RCP  
1/8" = 1'-0"



2 ALTERNATE MP RCP PLAN  
1/8" = 1'-0"



1 ROOF PLAN  
1/8" = 1'-0"

**ROOF GENERAL NOTE**

- 1 ROOF DRAIN
- 2 ROOF OVERFLOW SCUPPER
- 3 6" PREFINISHED ALUM GUTTER
- 4 6" PREFINISHED ALUM DOWNSPOUT

ROOF TYPES LEGEND		
RF-1		 <b>RF-01</b> FULLY ADHERED WHITE PVC ROOF MEMBRANE ROOF COVER BOARD (ALT) 3" RIGID INSUL, VAPOR BARRIER, 3" RIGID INSUL (STAGGER SEAMS), 3/4" PLYWOOD ON WD JOISTS, Re: STRUCTURE
RF-3		 <b>RF-02</b> 2 3/4" STANDING METAL SEAM BEARING PLATE UNDERLAYMENT 1/4" DENSDECK COVER BOARD 3" RIGID INSUL, VAPOR BARRIER, 3" RIGID INSUL (STAGGER SEAMS), 2X T&G WD. PLANKS ON WD JOISTS, Re: STRUCTURE
RF-2		 <b>RF-03</b> 2 3/4" STANDING METAL SEAM BEARING PLATE UNDERLAYMENT 3/4" EXTERIOR PLYWD SHEATHING 2X T&G WD. PLANKS ON WD JOISTS, Re: STRUCTURE

CLIENT  
**WILLISTON  
COMMUNITY  
BUILDERS**

PROJECT DESCRIPTION  
**WILLISTON WATER  
WORLD**

CITY  
STATE

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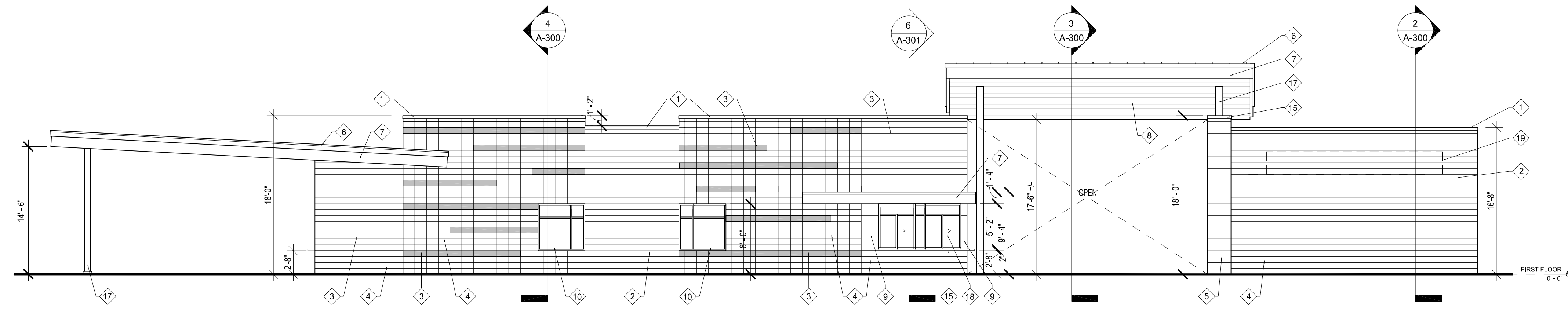
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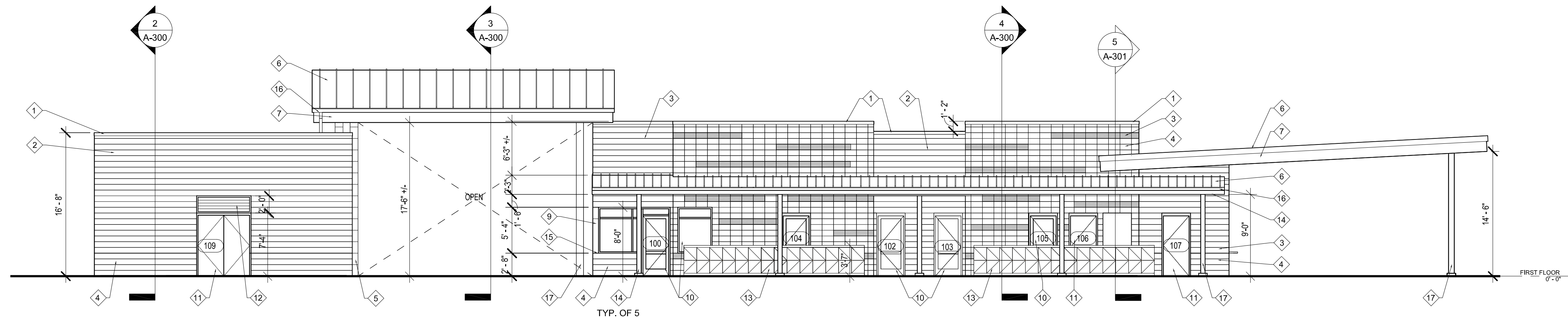
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DRAWING TITLE  
**ROOF PLAN**

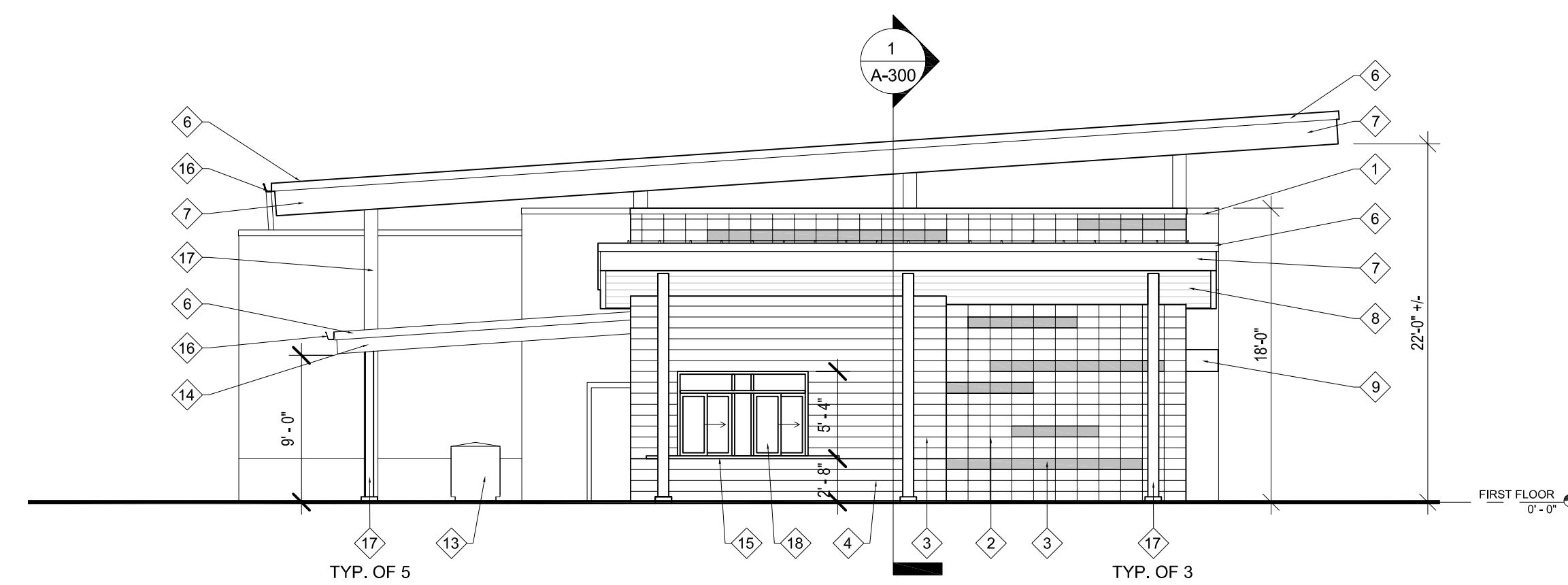
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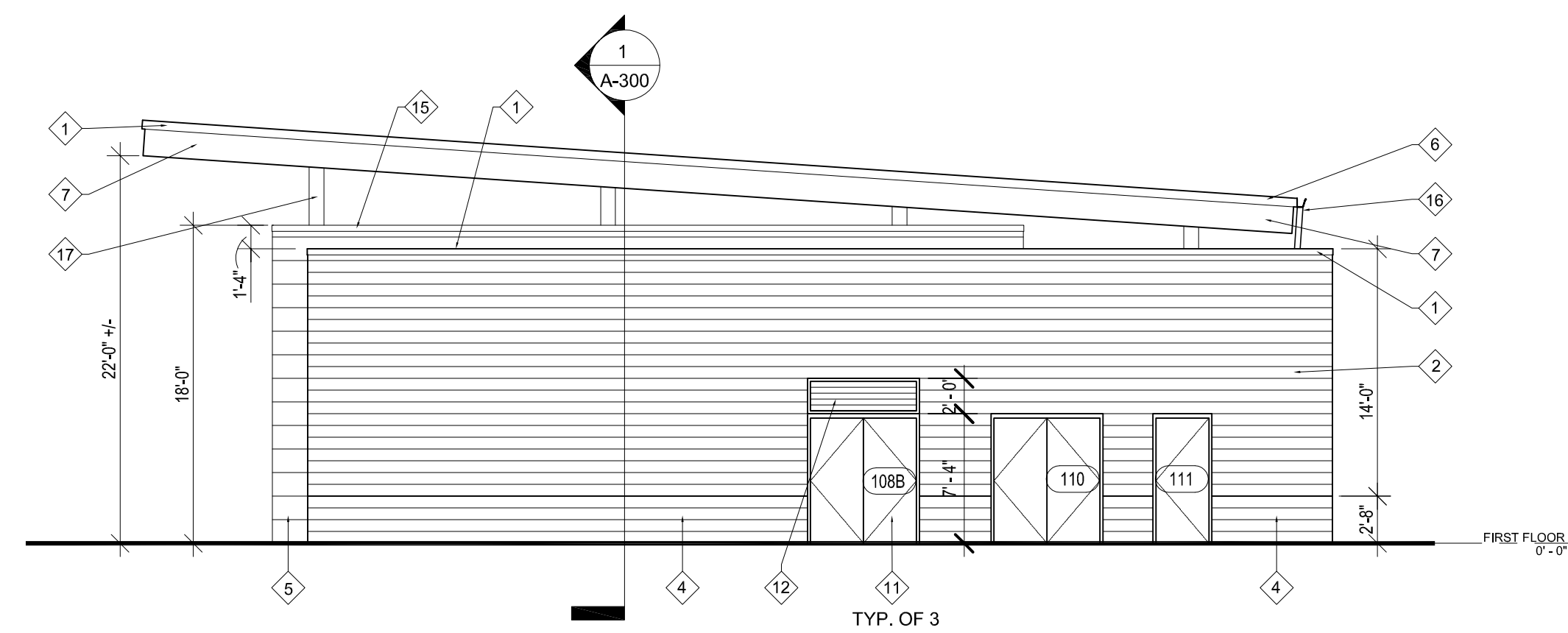
1 EAST ELEVATION  
1/8" = 1'-0"



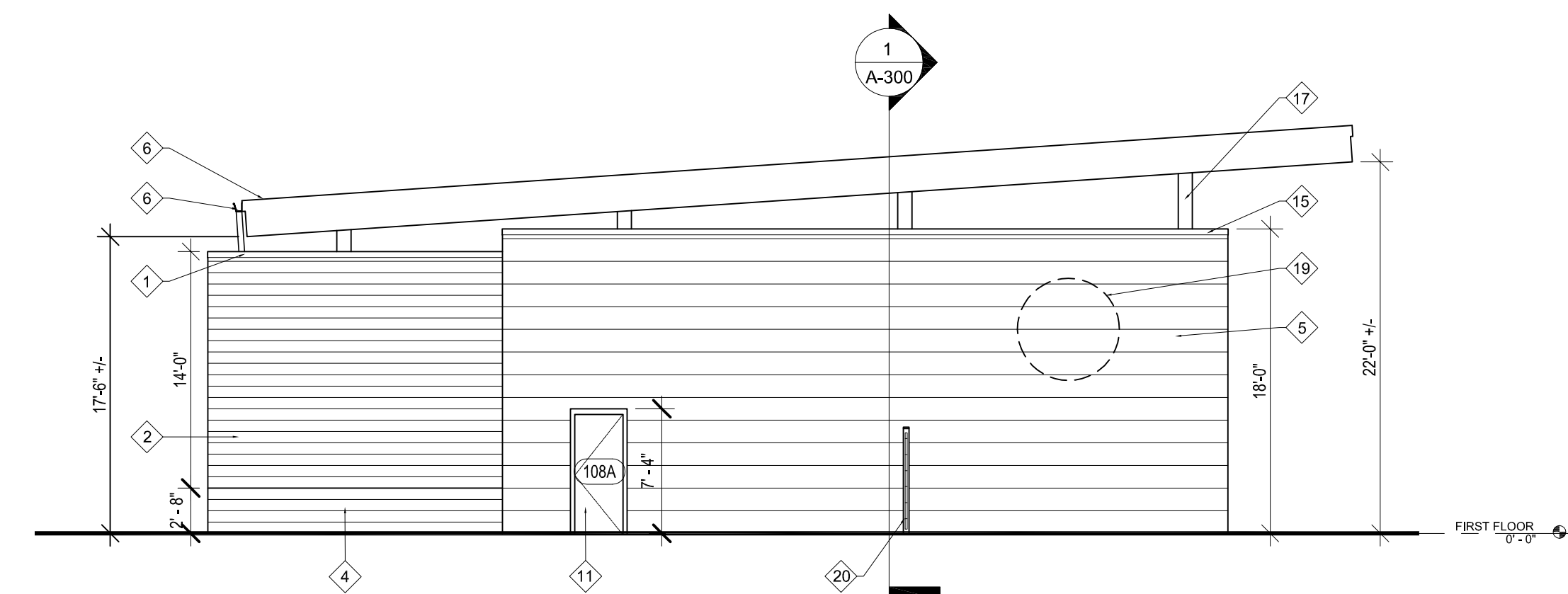
2 WEST ELEVATION  
1/8" = 1'-0"



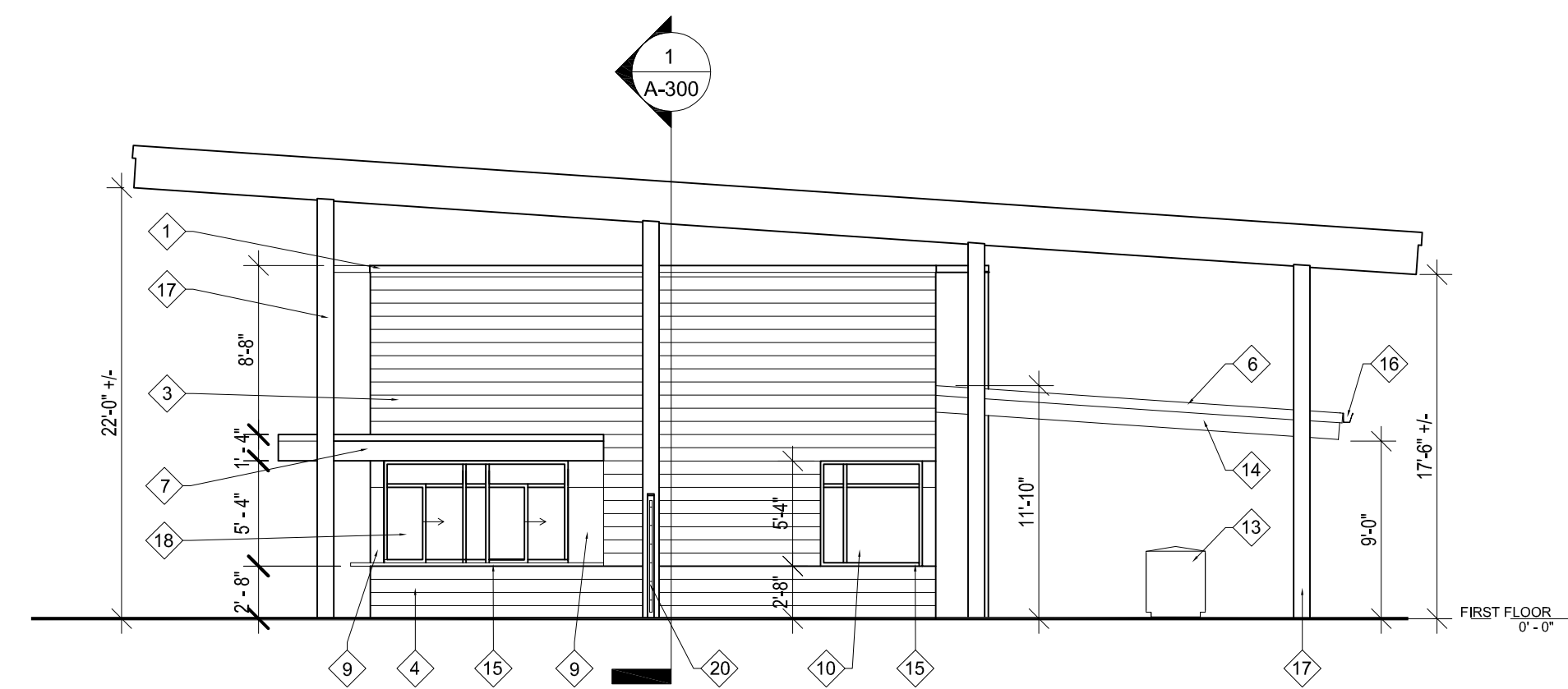
3 SOUTH ELEVATION  
1/8" = 1'-0"



4 NORTH ELEVATION  
1/8" = 1'-0"



5 NORTH ELEVATION AT BREEZEWAY  
1/8" = 1'-0"



6 SOUTH ELEVATION AT BREEZEWAY  
1/8" = 1'-0"

### MATERIALS LEGEND

SYMBOL	MATERIAL	COLOR
1	PRE-FINISHED ALUM COPING	CHARCOAL
2	8"x8"x16" RUNNING BOND GROUND-FACE CMU	COLOR 1
3	8"x8"x16" STACKED BOND GROUND-FACE CMU	COLOR 2 ACCENT
4	8"x8"x16" RUNNING BOND GROUND-FACE CMU	COLOR 3
5	8"x8"x16" RUNNING BOND GROUND-FACE CMU	COLOR 4
6	STANDING SEAM METAL ROOF	CHARCOAL
7	PRE-FINISHED METAL PANEL FASCIA	GREY
8	FIBER-CEMENT SOFFIT BOARD, WOOD-TEXTURED	TBD
9	ALUM METAL WALL PANEL, FLUSH	CHARCOAL
10	ALUMINUM STOREFRONT WITH CLEAR GLASS	CHARCOAL
11	HOLLOW METAL DOOR & FRAME, PAINTED	TBD
12	PREFINISHED ALUM LOUVER	TBD
13	HDPE PLASTIC LOCKERS, PAD LOCK HASP	TBD
14	EXPOSED WOOD FRAMING & DECK, STAINED	TBD
15	PRECAST CONCRETE CAP / SILL	GREY
16	PREFINISHED ALUM GUTTER & DOWNSPOUT	CHARCOAL
17	STEEL PIPE COLUMN, PAINTED	TBD
18	ALUM SERVICE WINDOWS, SLIDING	CHARCOAL
19	BUILDING SIGNAGE (BY OWNER)	TBD
20	ORNAMENTAL STEEL FENCING AND GATES	TBD

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**WILLISTON  
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BUILDERS**

PROJECT DESCRIPTION  
**WILLISTON WATER  
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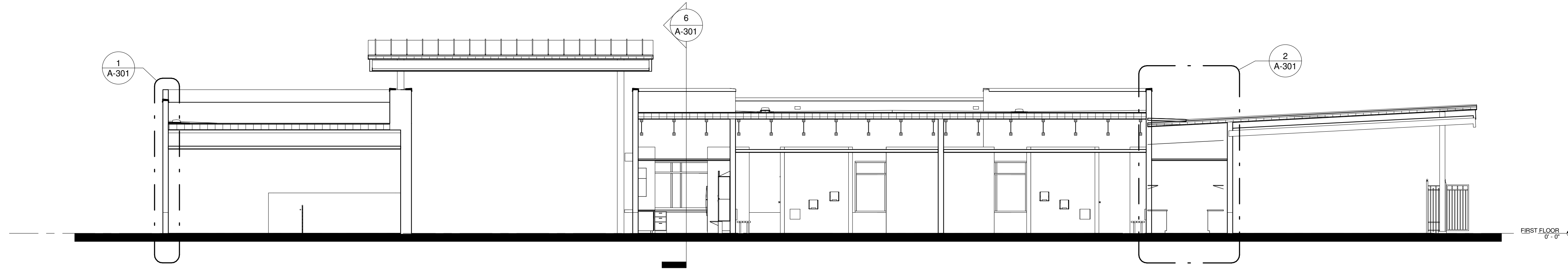
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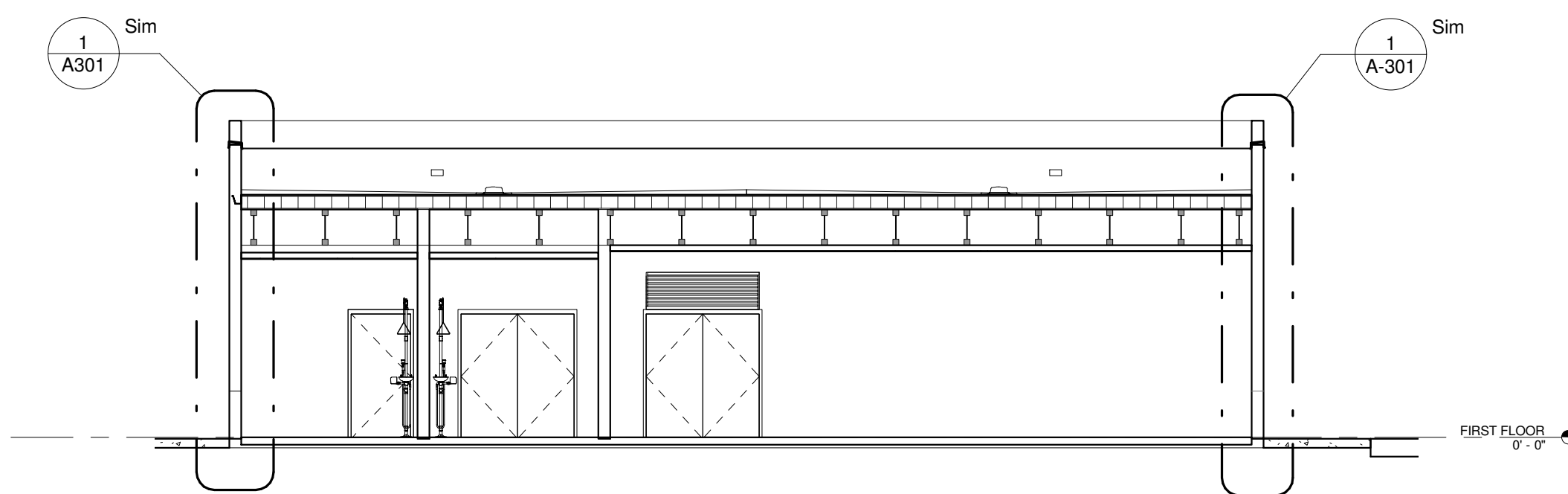
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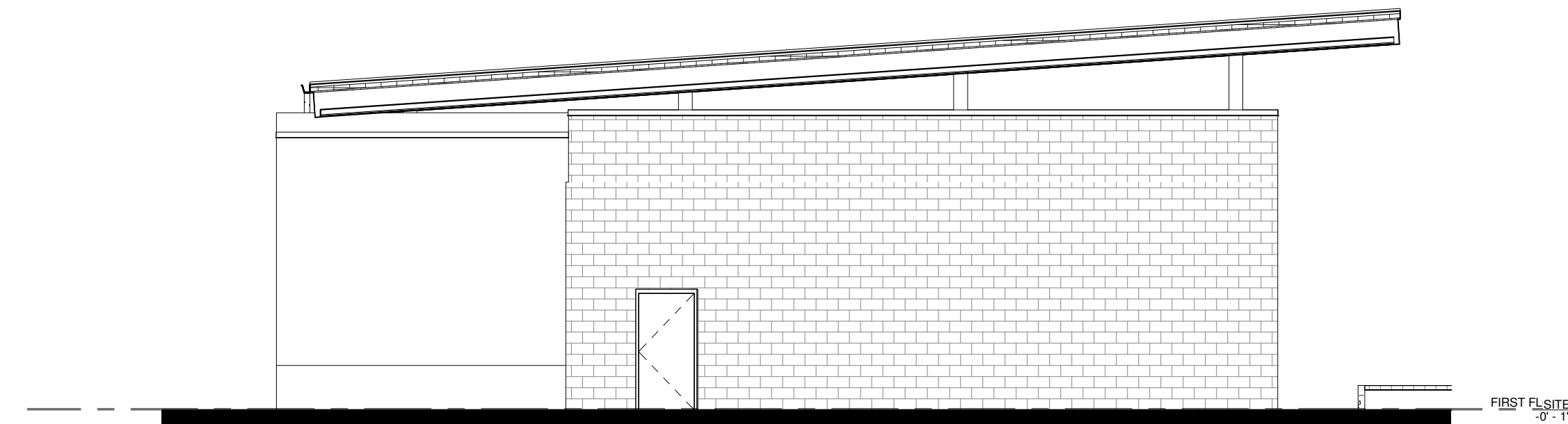
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**EXTERIOR ELEVATIONS**



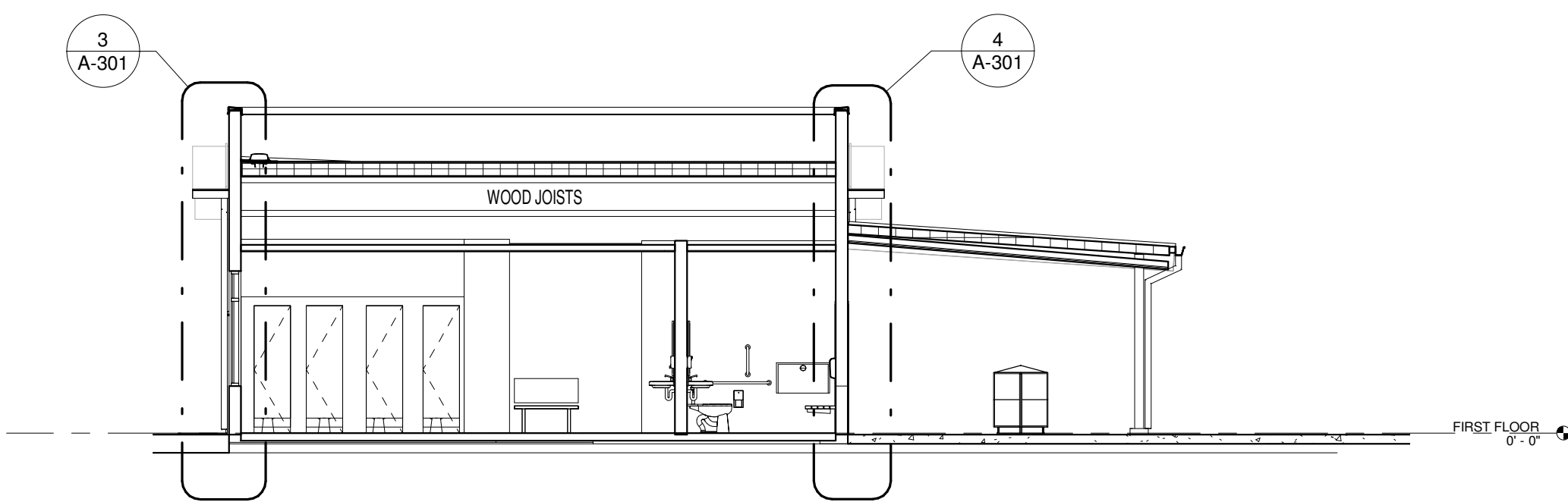
1 BUILDING SECTION -01  
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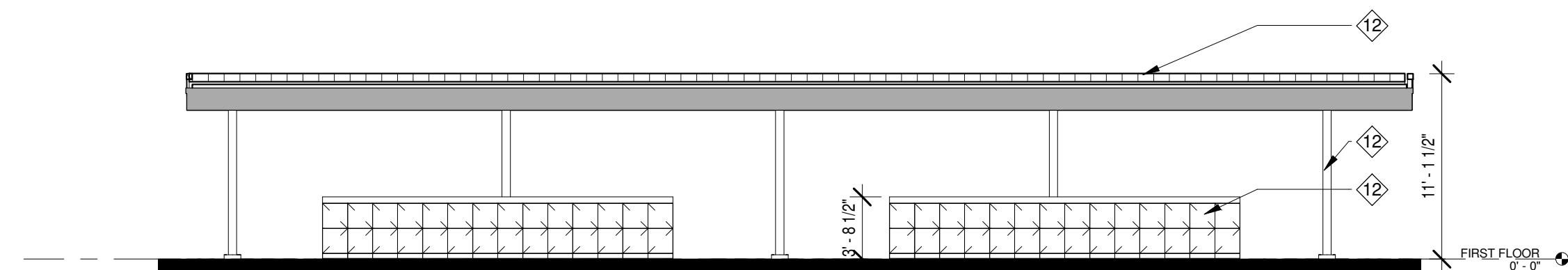
2 BUILDING SECTION -02  
1/8" = 1'-0"



3 BUILDING SECTION -03  
1/8" = 1'-0"



4 BUILDING SECTION -04  
1/8" = 1'-0"



5 LOCKERS ELEVATION  
1/8" = 1'-0"

CLIENT  
WILLISTON  
COMMUNITY  
BUILDERS

PROJECT DESCRIPTION  
WILLISTON WATER  
WORLD

CITY  
STATE

ISSUE DATES

NOT FOR  
CONSTRUCTION

MARK	DESCRIPTION	DATE
SD	SCHEMATIC DESIGN	01/01/2022
DD	DESIGN DEVELOPMENT	01/20/2023

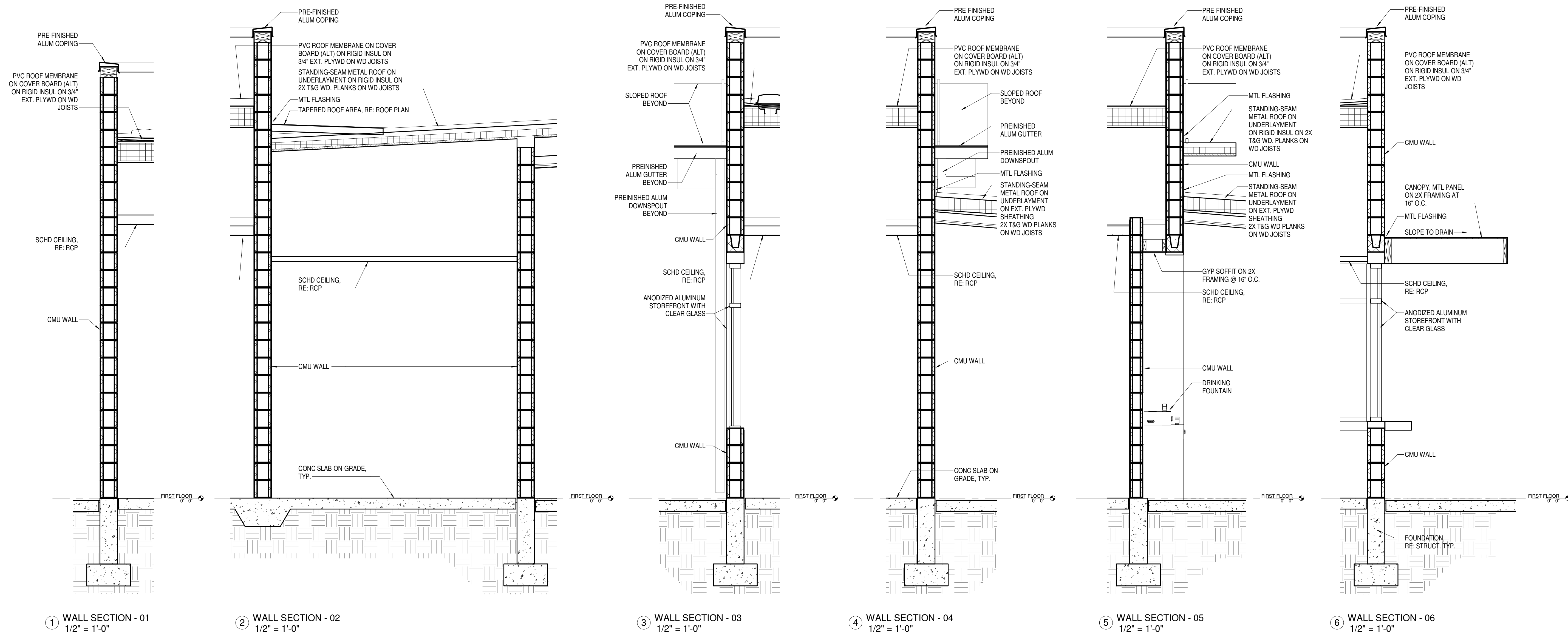
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BUILDING SECTIONS

A-300



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**WILLISTON COMMUNITY BUILDERS**

PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY  
 STATE

ISSUE DATES

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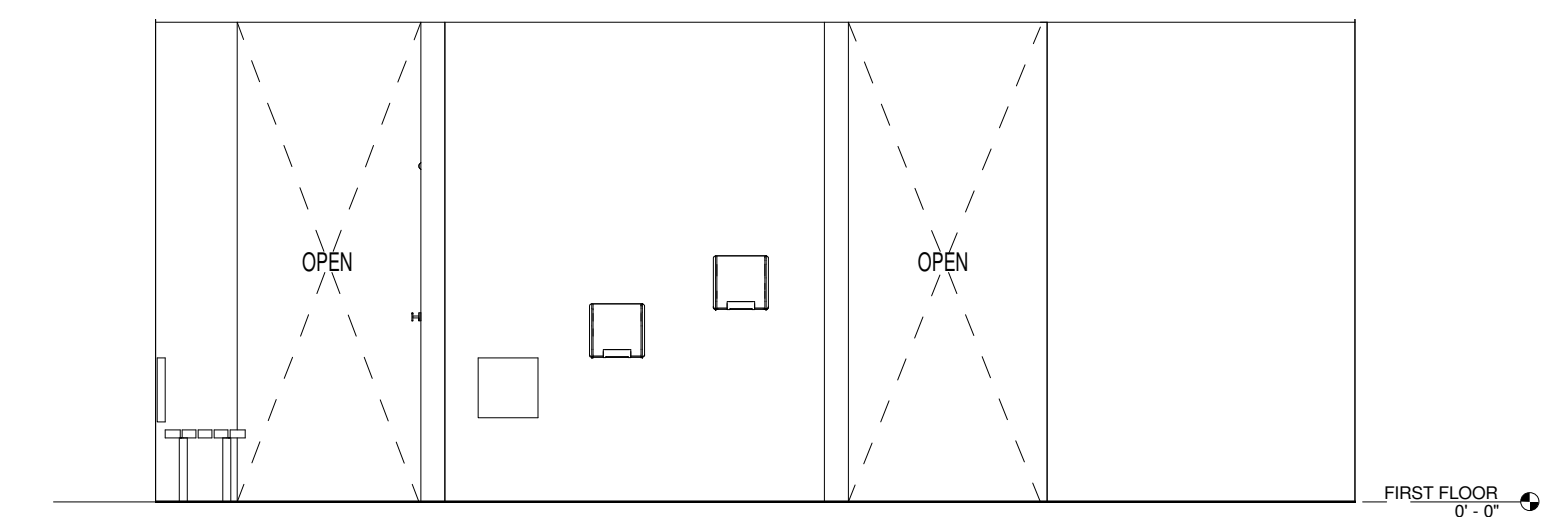
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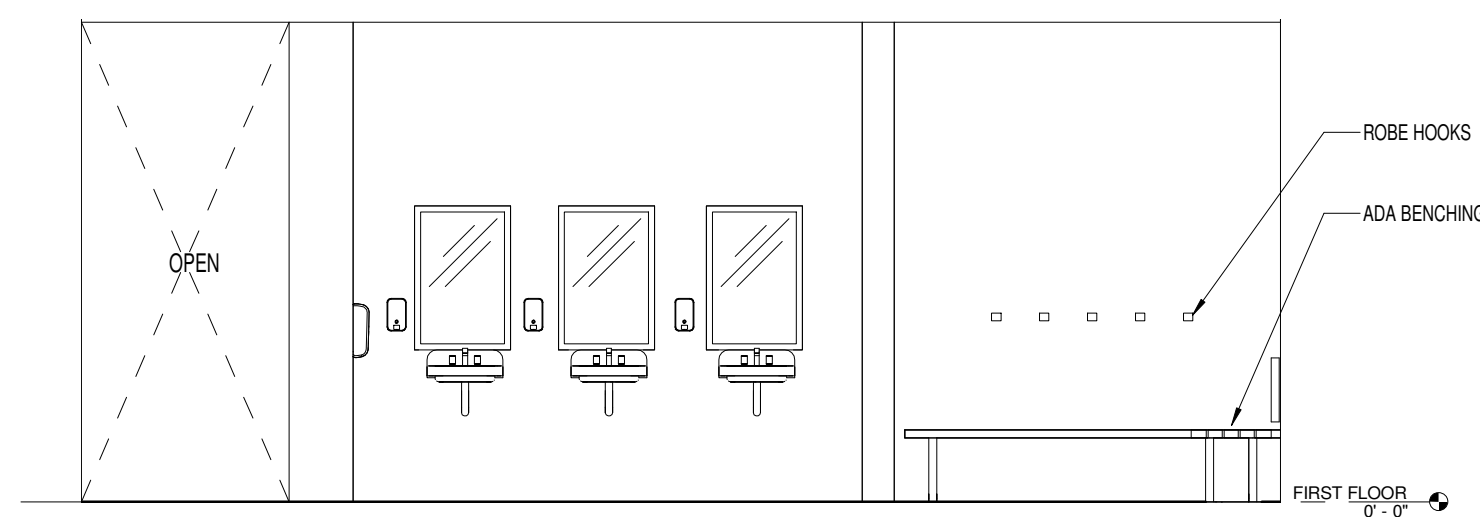
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**WALL SECTIONS**

**A-301**

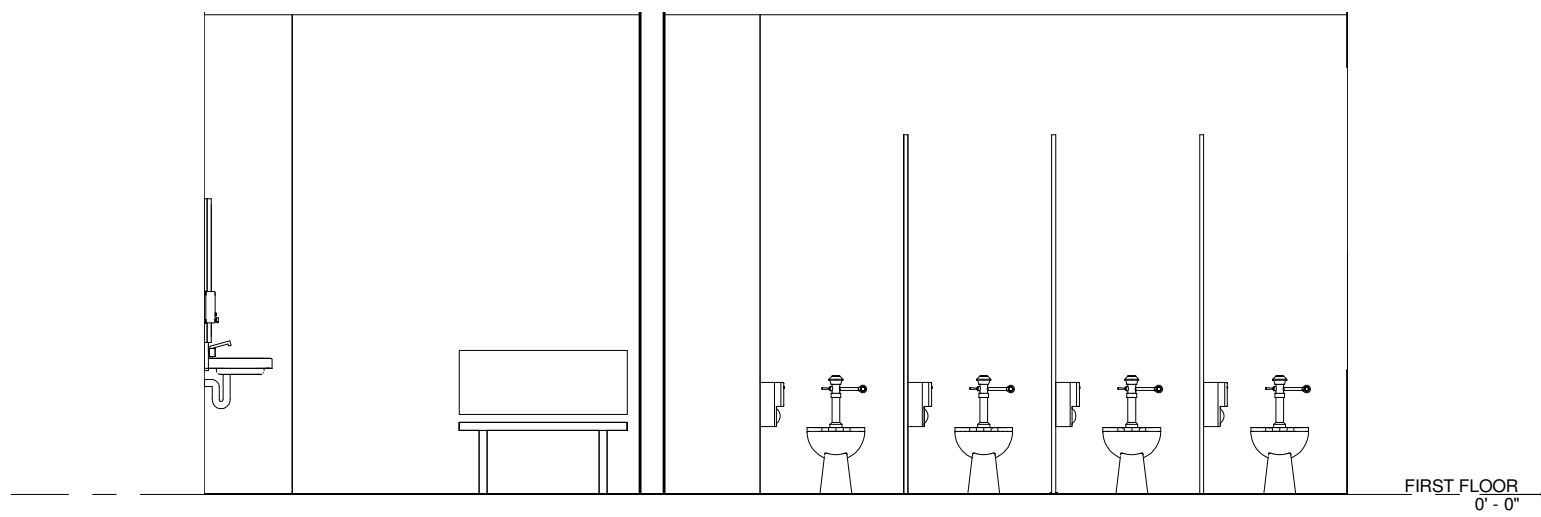




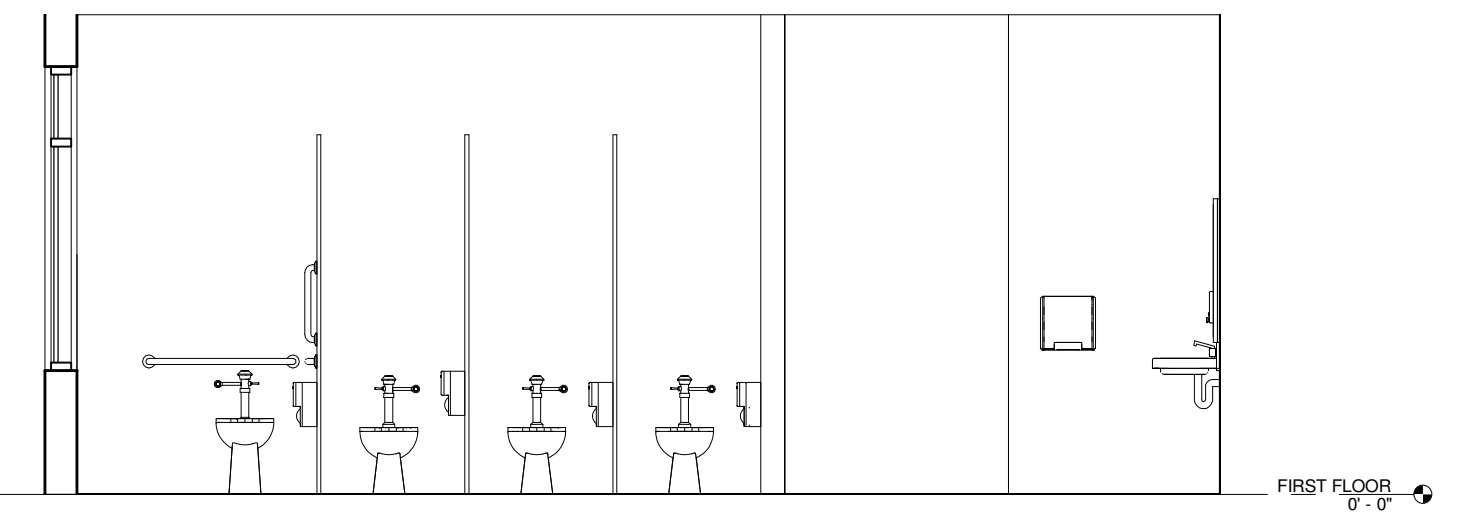
1 102-WOMEN'S CHANGING ELEV-1  
1/4" = 1'-0"



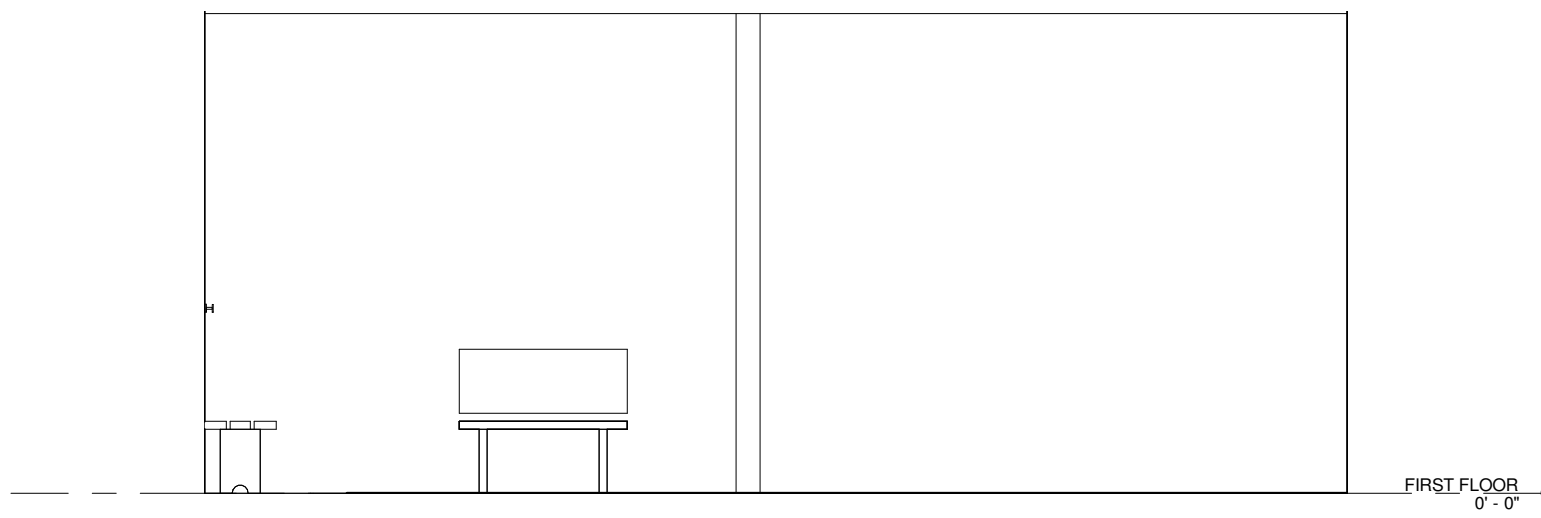
2 102-WOMEN'S CHANGING ELEV-2  
1/4" = 1'-0"



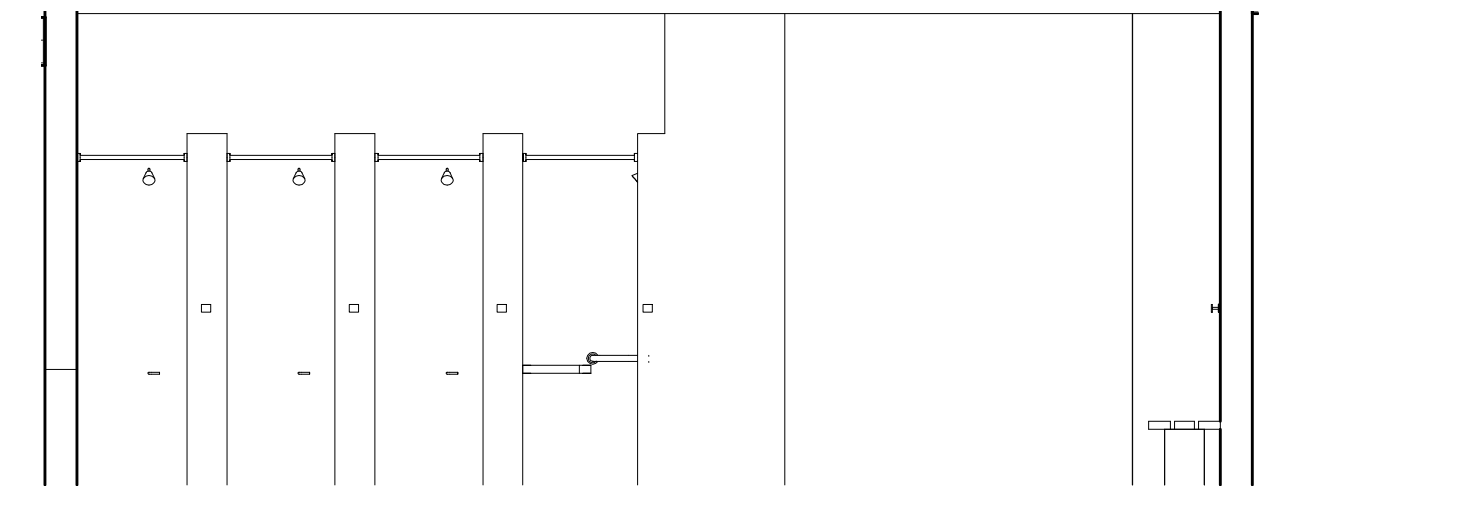
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1/4" = 1'-0"



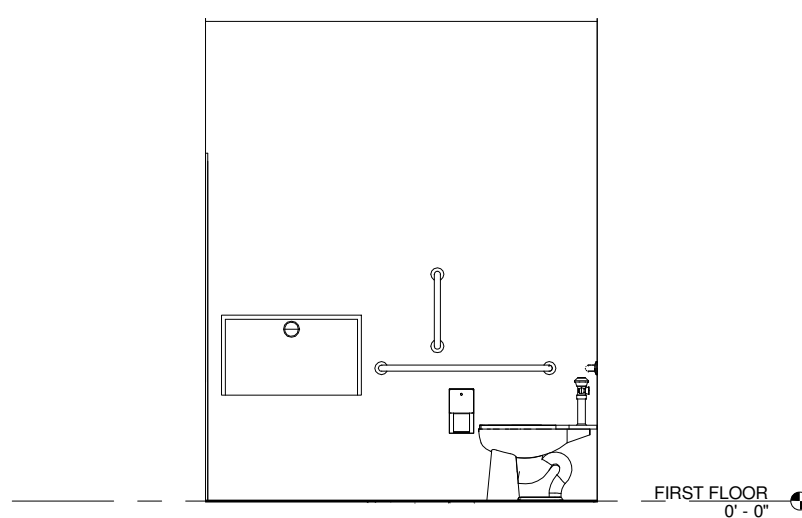
6 102-WOMEN'S CHANGING ELEV-4  
1/4" = 1'-0"



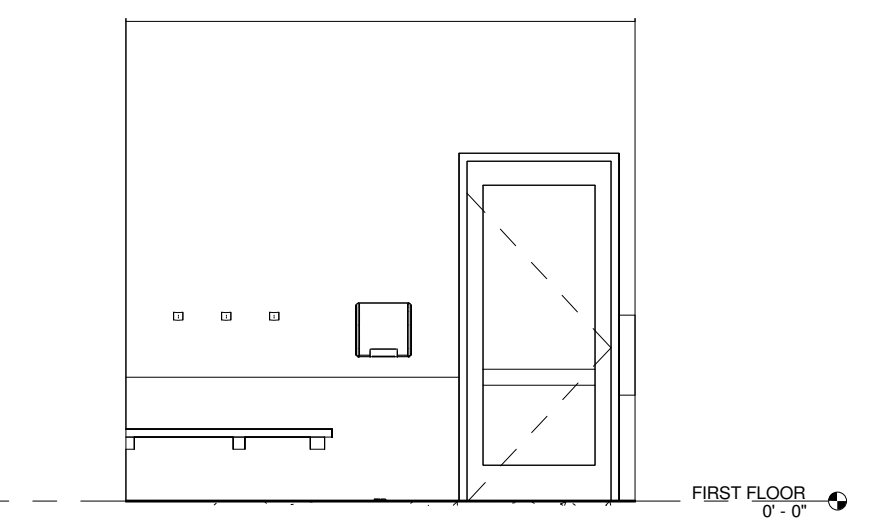
9 102-WOMEN'S CHANGING ELEV-5  
1/4" = 1'-0"



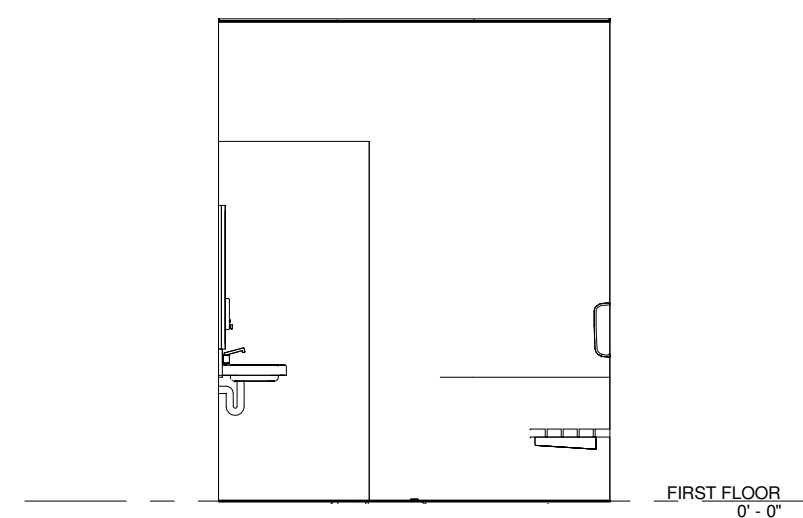
10 102-WOMEN'S CHANGING ELEV-6  
1/4" = 1'-0"



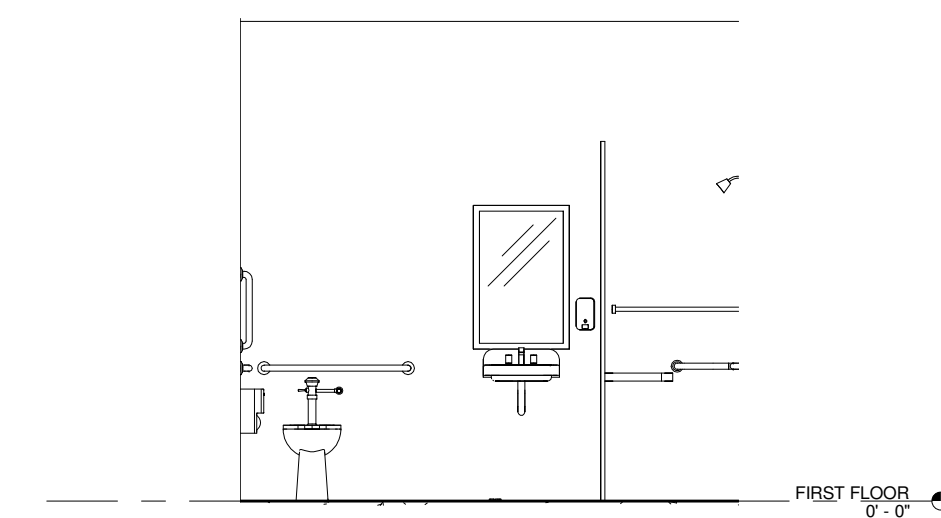
13 104-FAMILY-1 ELEV-1  
1/4" = 1'-0"



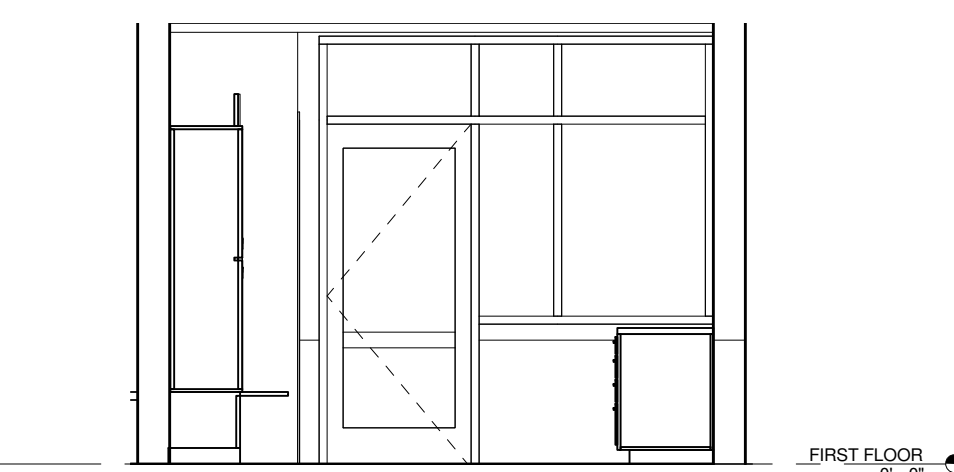
14 104-FAMILY-1 ELEV-2  
1/4" = 1'-0"



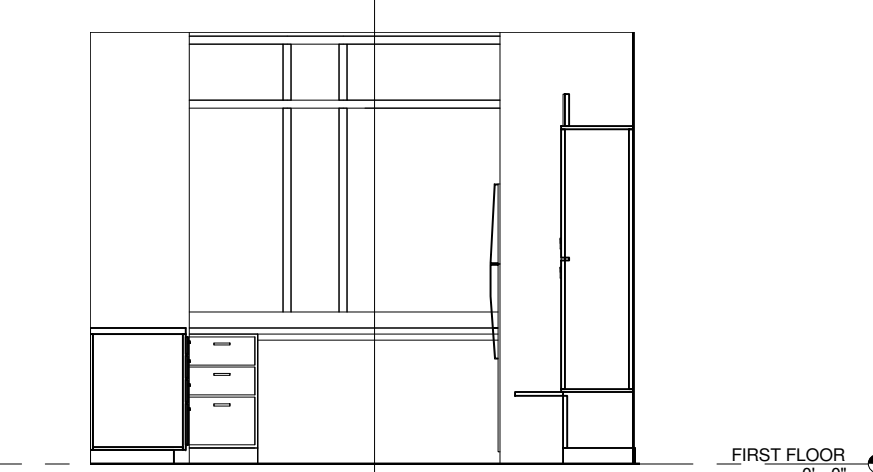
15 104-FAMILY-1 ELEV-3  
1/4" = 1'-0"



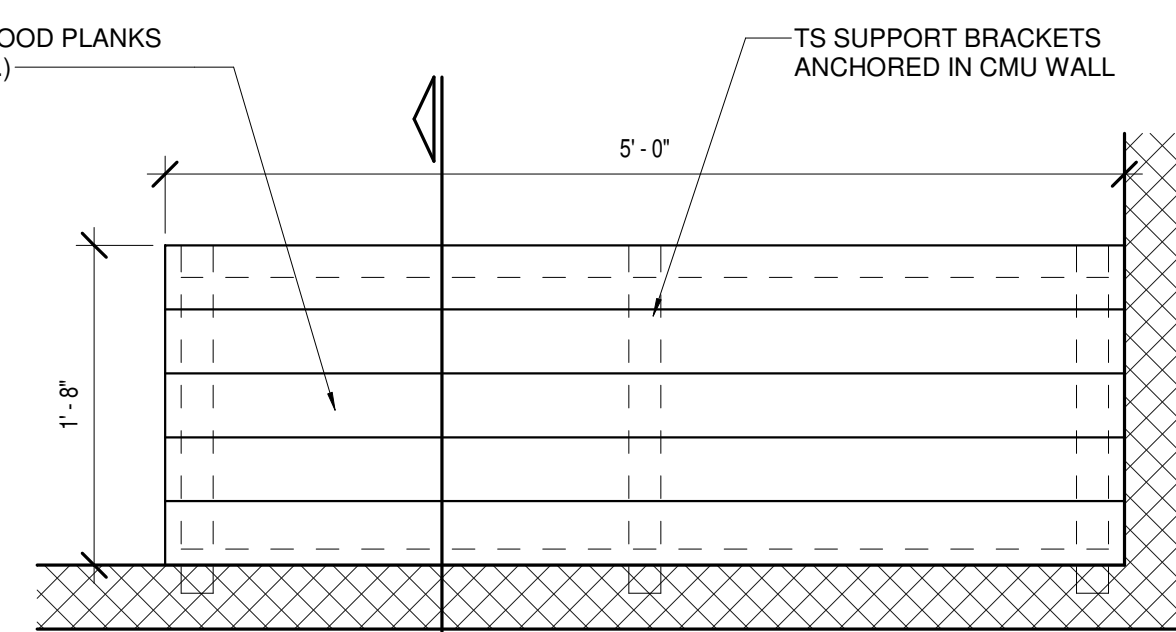
16 104-FAMILY-1 ELEV-4  
1/4" = 1'-0"



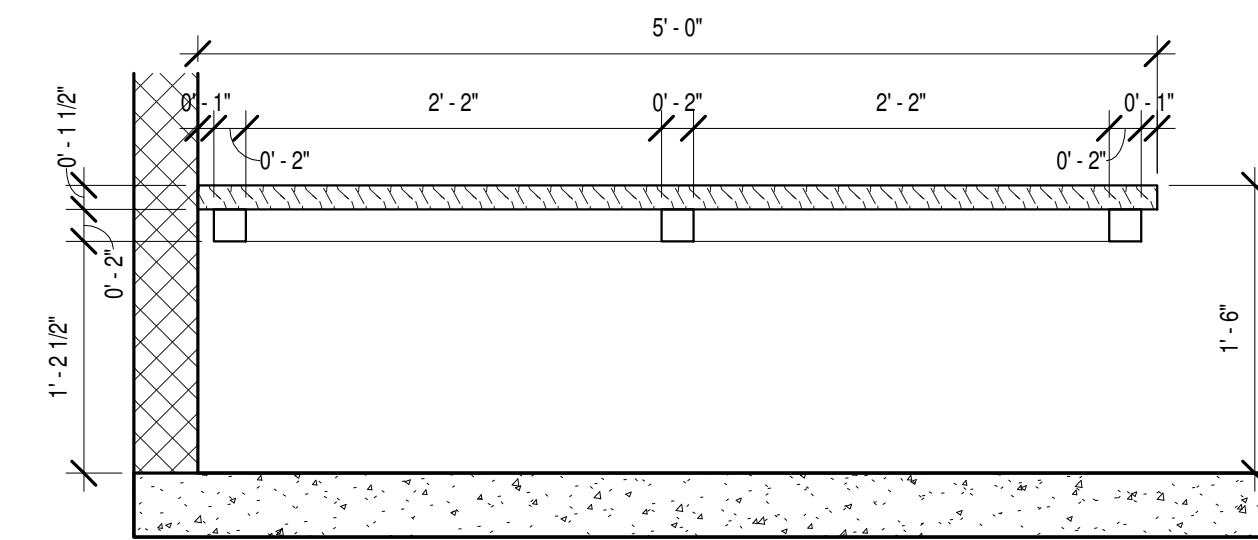
17 100-CHECK-IN/GUARDS ELEV-2  
1/4" = 1'-0"



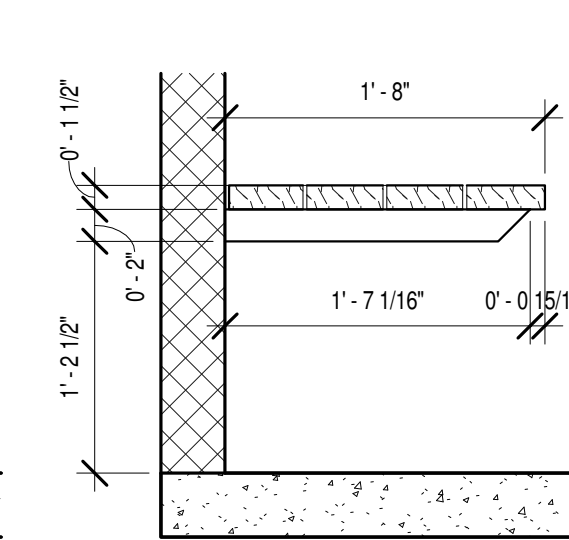
18 100-CHECK-IN/GUARDS ELEV-4  
1/4" = 1'-0"



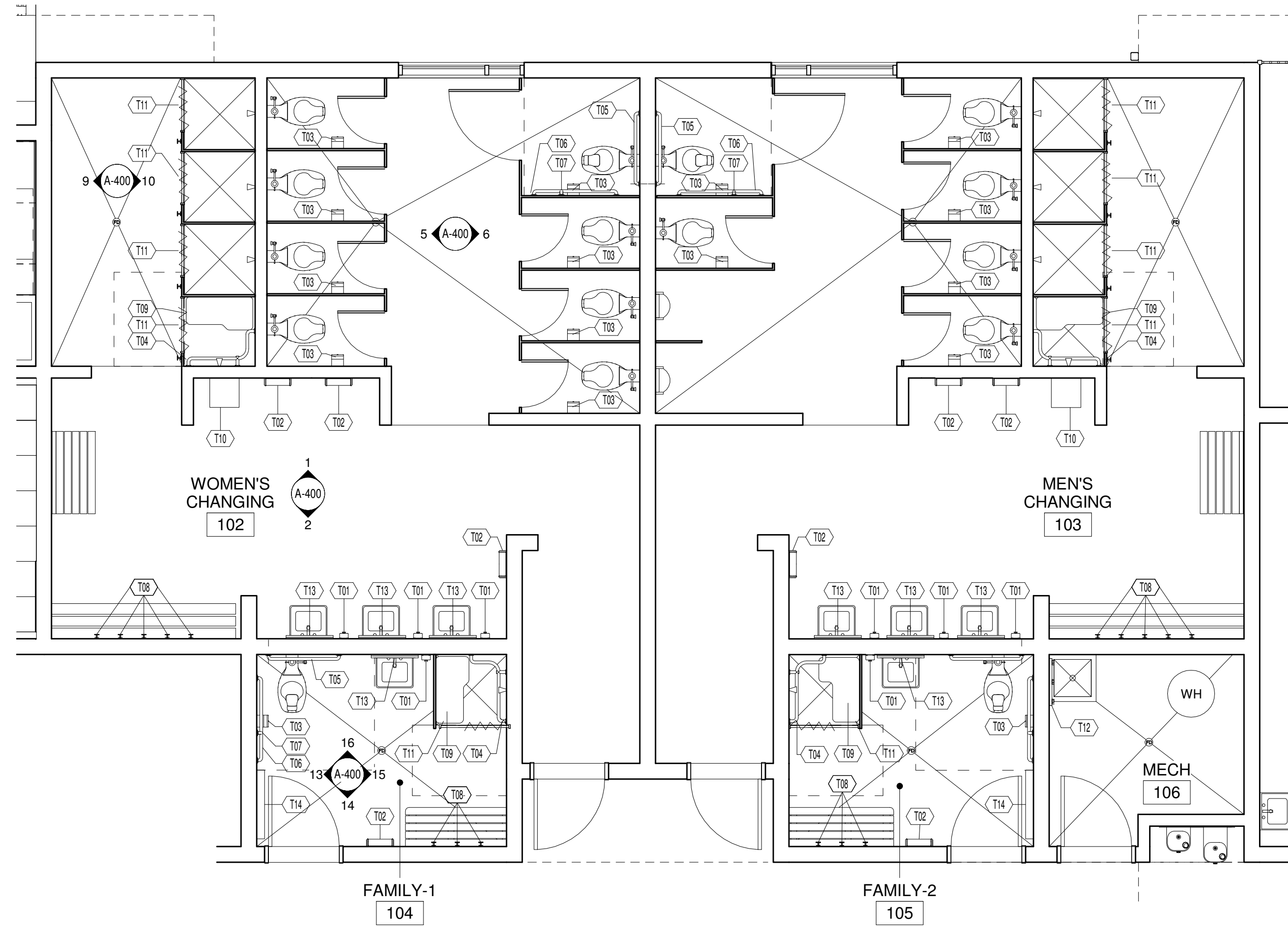
19 ADA BENCH DETAIL  
1" = 1'-0"



FRONT VIEW



SECTION



11 ENLARGED WET AREA PLAN  
1/4" = 1'-0"

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CLIENT  
**WILLISTON  
 COMMUNITY  
 BUILDERS**

PROJECT DESCRIPTION  
**WILLISTON WATER  
 WORLD**

CITY  
 STATE

ISSUE DATES

**NOT FOR  
 CONSTRUCTION**

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DD	DESIGN DEVELOPMENT	01/20/2023

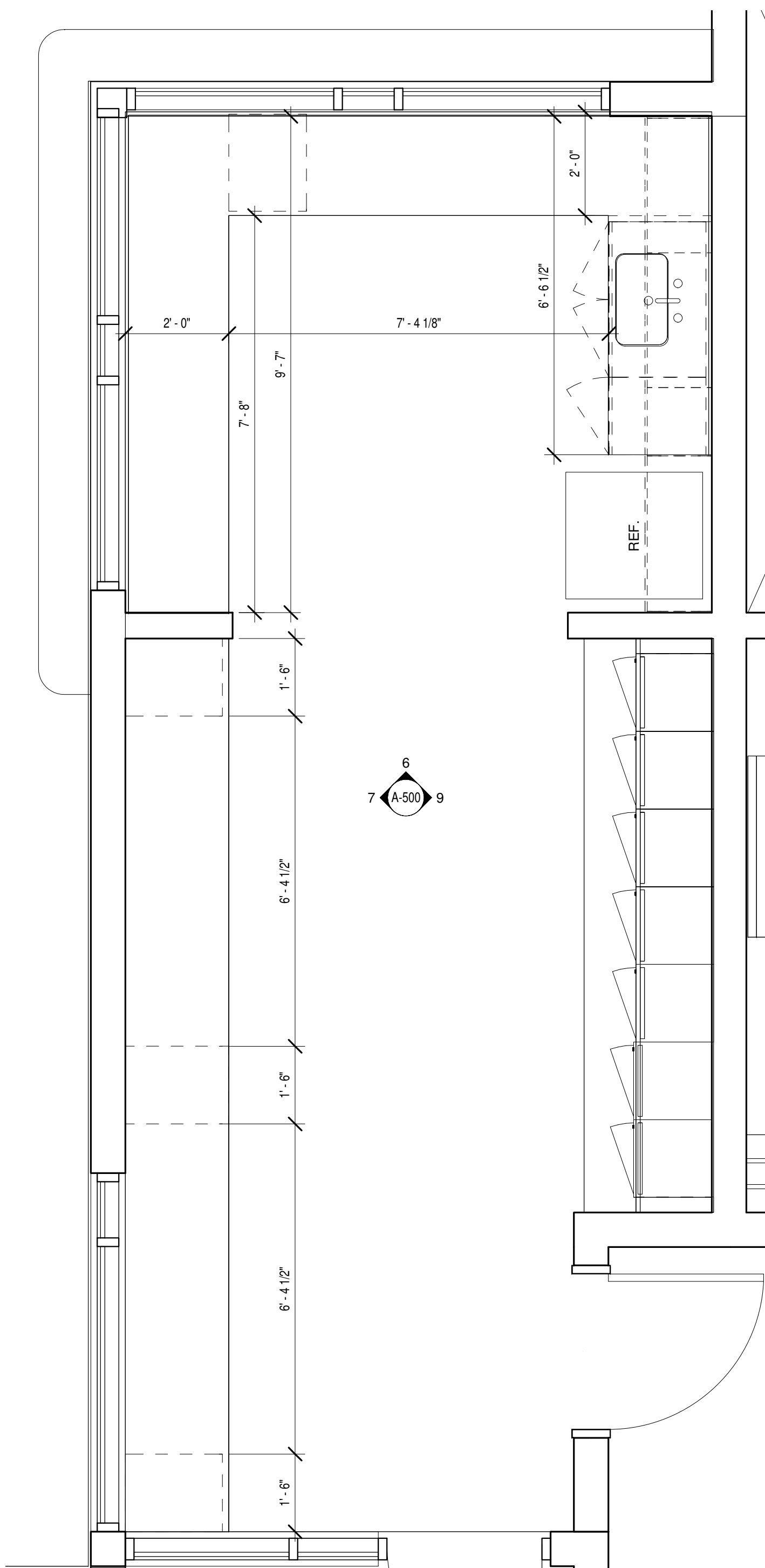
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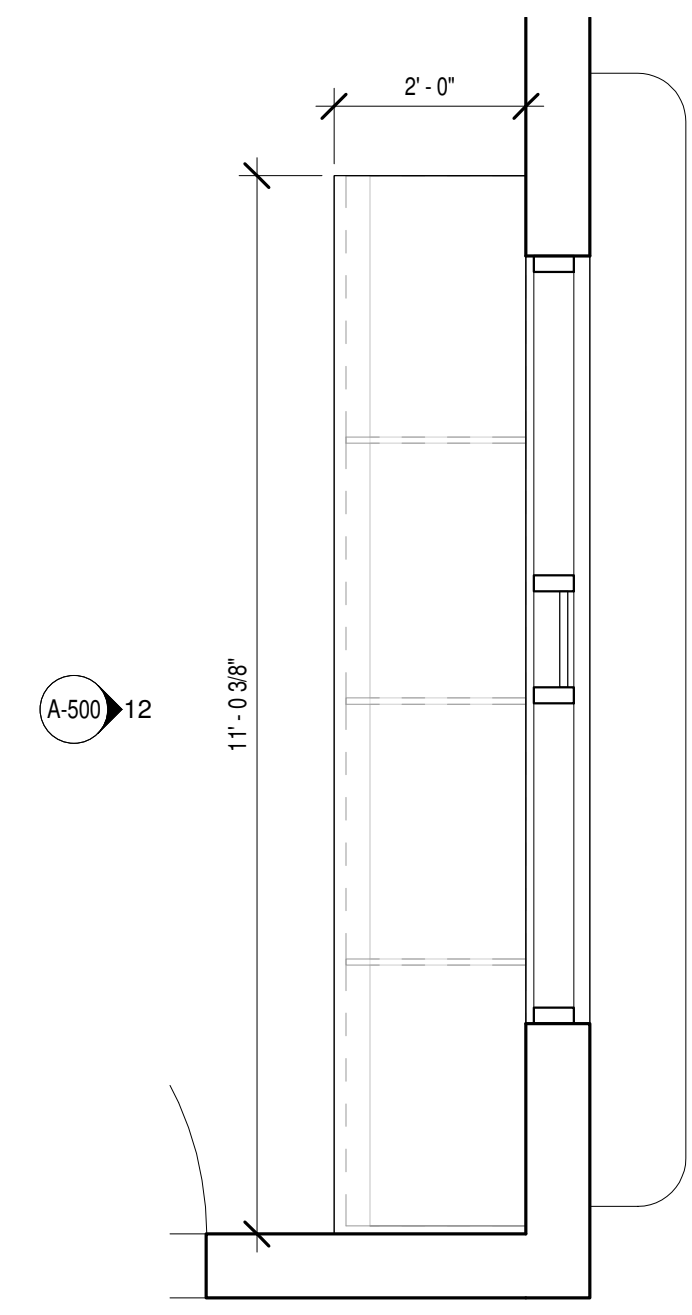
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DRAWING TITLE  
**ENLARGED WET AREA**

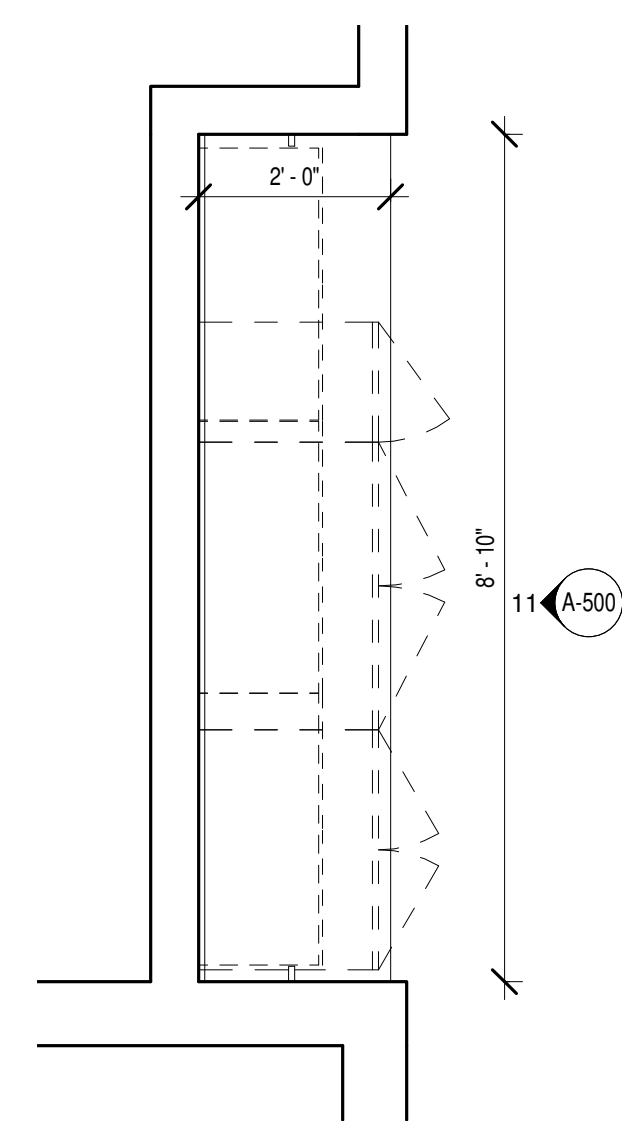
**A-400**



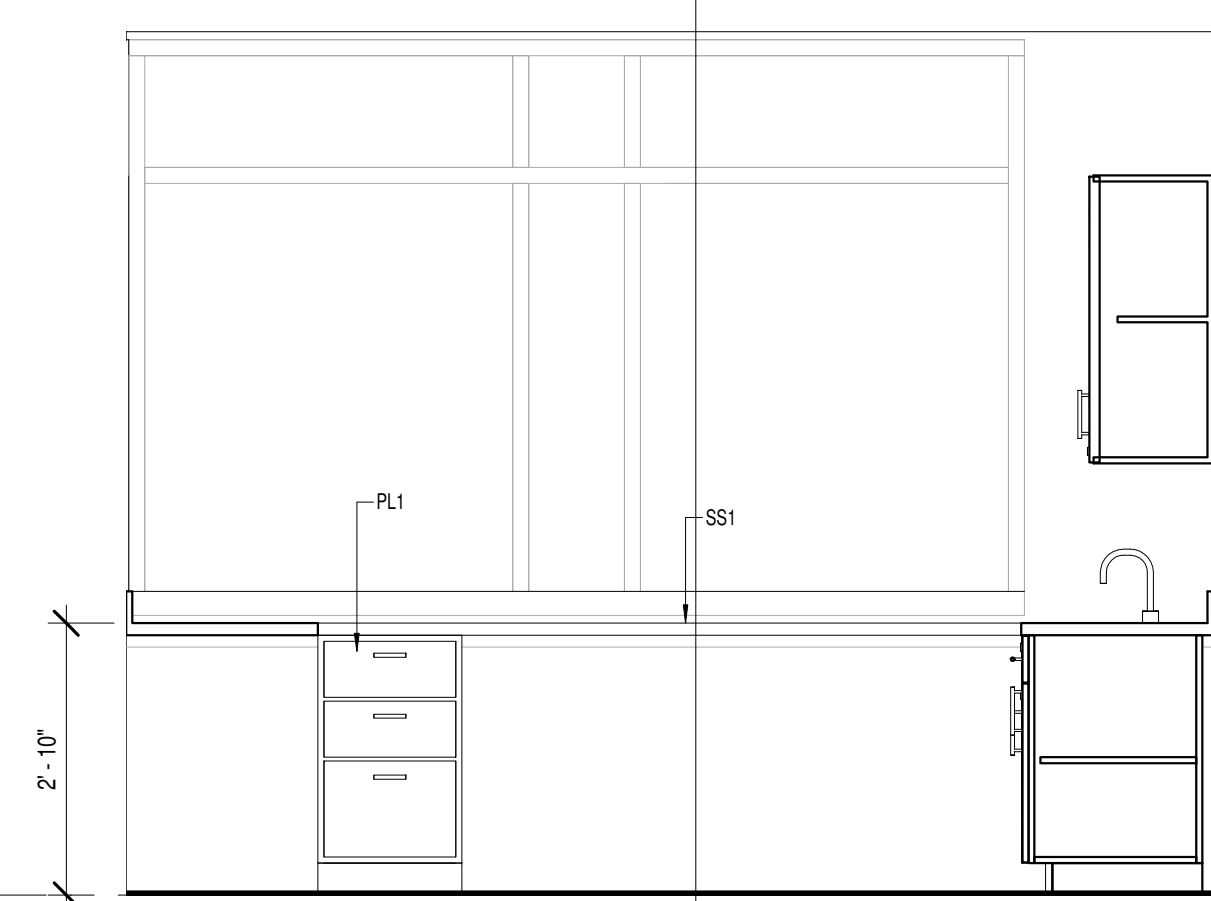
5 M1 PLAN @ 100-CHECK-IN/GUARDS  
1/2" = 1'-0"



2 M2 PLAN @ 107-CONCESS  
1/2" = 1'-0"

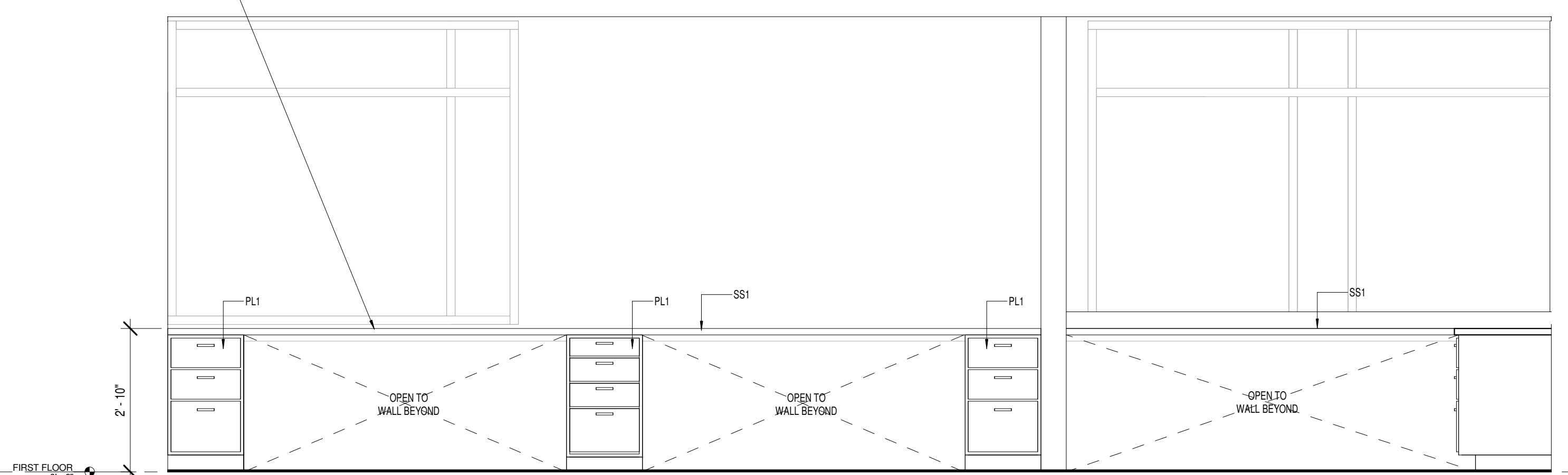


3 M3 PLAN @ 112-MULTI-PURPOSE  
1/2" = 1'-0"

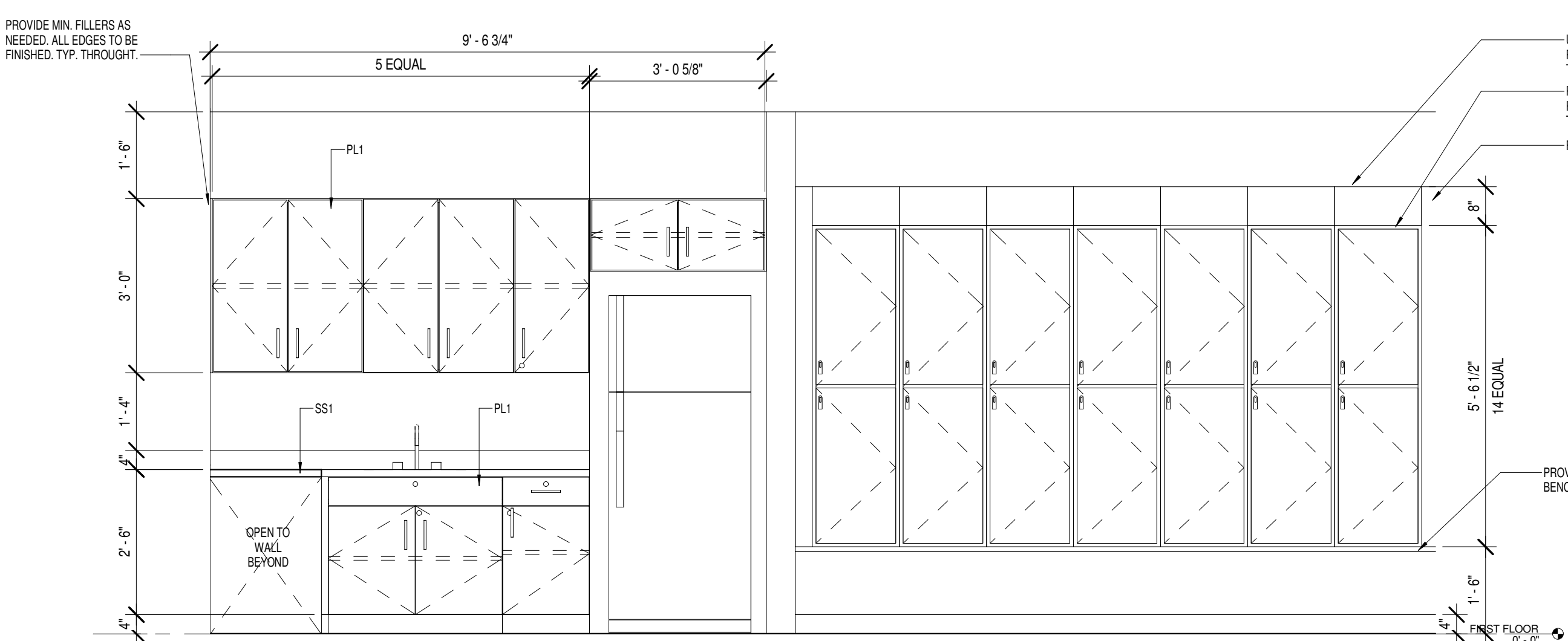


6 M1 ELEV-2  
1/2" = 1'-0"

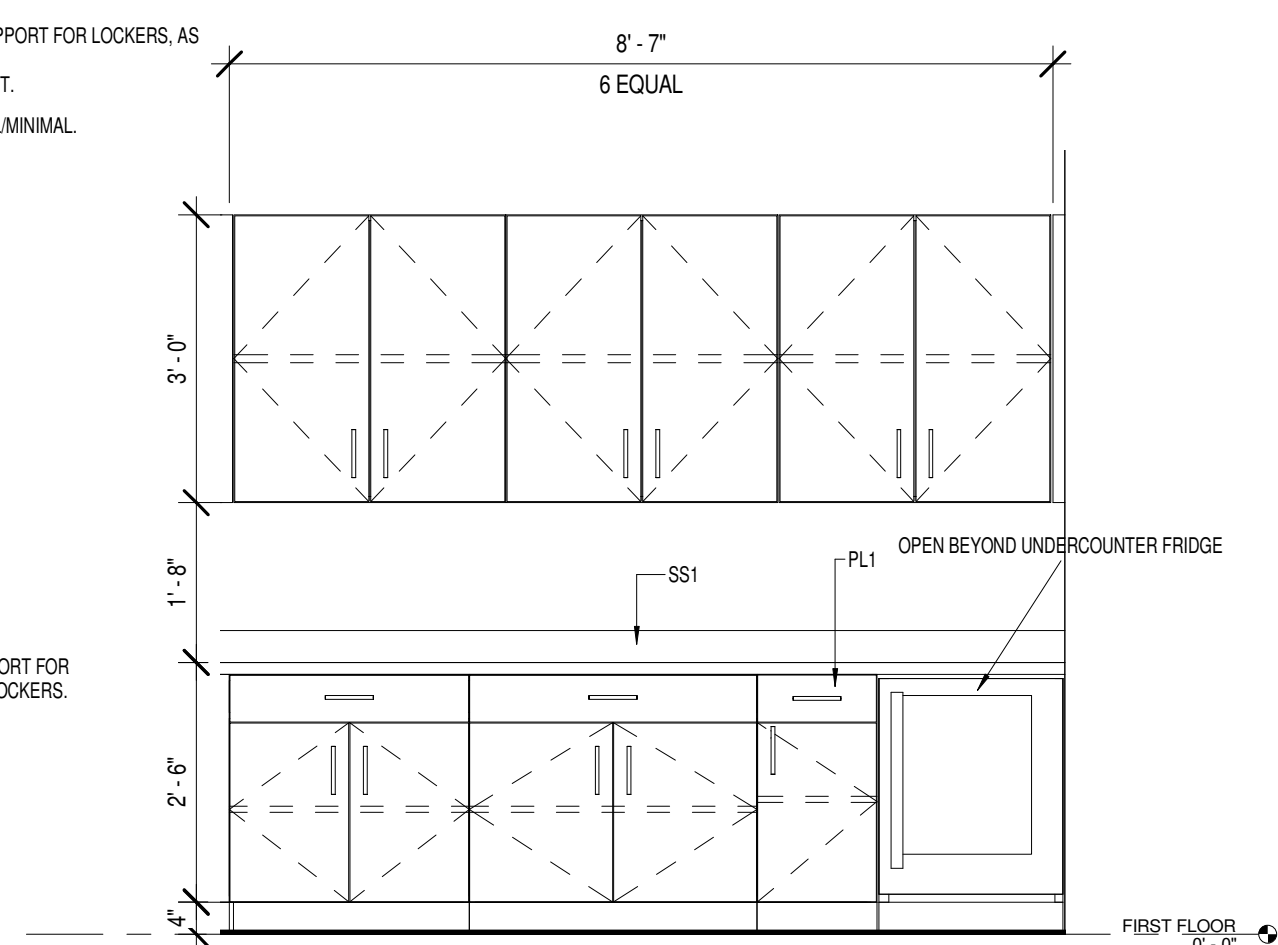
PROVIDE BRACKET SUPPORT AT ALL COUNTERTOPS, AS REQUIRED, TYPICAL THROUGHOUT.



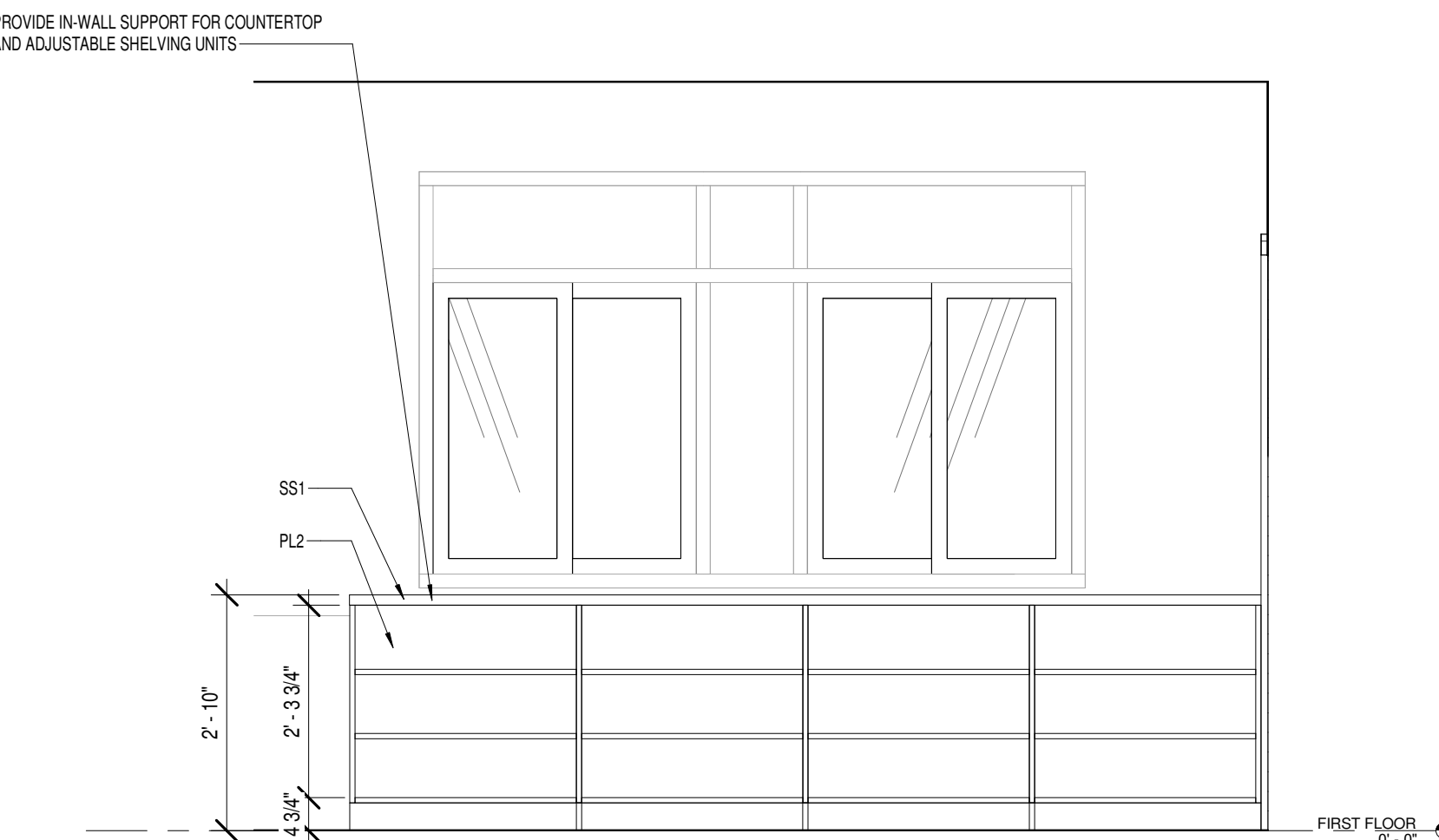
7 M1 ELEV-1  
1/2" = 1'-0"



9 M1 ELEV-3  
1/2" = 1'-0"



11 M3-ELEV.  
1/2" = 1'-0"



12 M2 ELEV.  
1/2" = 1'-0"

Plot Date: 1/20/2023 6:34:15 PM

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**WILLISTON COMMUNITY BUILDERS**

PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY  
STATE

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MARK	DESCRIPTION	DATE
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DRAWING TITLE  
**MILLWORK**

**A-500**

DOOR SCHEDULE											
	DOOR						FRAME			H.W. GROUP	REMARKS
	MAT.	TYPE	FINISH	THK.	SIZE WD. HGT.	MAT.	TYPE	FINISH			
100	AL	A	FF	1 3/4"	3' - 0"	7' - 2"	AL	FC#	FF		
101	AL	A	FF	1 3/4"	3' - 4"	7' - 4"	AL	A	FF		
102	AL	A	FF	1 3/4"	3' - 4"	7' - 4"	AL	FC#	FF		
103	AL	A	FF	1 3/4"	3' - 4"	7' - 4"	AL	FC#	FF		
104	AL	A	FF	1 3/4"	3' - 4"	7' - 4"	AL	A	FF		
105	AL	A	FF	1 3/4"	3' - 4"	7' - 4"	AL	A	FF		
106	HM	B	PT	1 3/4"	3' - 4"	7' - 4"	HM	B	PT		
107	HM	B	PT	2"	3' - 4"	7' - 0"	HM	B	PT		
108A	AL	A	FF	2"	3' - 4"	7' - 0"	AL	A	FF		
108B	HM	C	PT	2"	6' - 4"	7' - 0"	HM	B	PT		
109	HM	B	PT	2"	6' - 4"	7' - 0"	HM	B	PT		
110	HM	C	PT	2"	6' - 4"	7' - 0"	HM	B	PT		
111	HM	B	PT	2"	3' - 4"	7' - 0"	HM	B	PT		

TOILET ACCESSORIES SCHEDULE				
TYPE MARK	MANUFACTURE	MODEL	DESCRIPTION	TYPE COMMENTS
T01	BOBRICK	B-4112	SURFACE-MOUNTED SOAP DISPENSER	
T02	BOBRICK	B-7128	SURFACE MOUNTED AUTOMATIC HAND DRYER	
T03	BOBRICK	B-2888	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	
T04				
T05	BOBRICK	B-6806 X 36"	1 1/4" DIA STAINLESS STEEL TOILET COMP. HORIZONTAL GRAB BAR	CONTRACTOR SUPPLIED/ INSTALLED
T06	BOBRICK	B-6806 X 42"	1 1/4" DIA STAINLESS STEEL TOILET COMP. HORIZONTAL GRAB BAR	CONTRACTOR SUPPLIED/ INSTALLED
T07	BOBRICK	B-6806 X 18"	1 1/4" DIA STAINLESS STEEL TOILET COMP. VERTICAL GRAB BAR	CONTRACTOR SUPPLIED/ INSTALLED
T08	BOBRICK	B-6707	SURFACE MOUNTED UTILITY HOOK	
T09				
T10				
T11	BOBRICK	B-207 X36"	HEAVY DUTY SHOWER CURTAIN ROD W/ CONCEALED MOUNTING & STAINLESS STEEL SHOWER CURTAIN HOOKS	CONTRACTOR SUPPLIED/ INSTALLED
T12	BOBRICK	B-223-24	MOP-BROOM HOLDER W/3 HOLDERS 24" W	
T13	BOBRICK	B-2908, 24"X36"	STAINLESS STEEL FRAMED MIRROR	
T14	KOALA BEAR	KB 200	KOALA BABY CHANGING STATION	CONTRACTOR SUPPLIED/ INSTALLED

ROOM FINISH SCHEDULE										
NUMBER	NAME	MAIN ROOM FINISH				FINISH NORTH	FINISH EAST	FINISH SOUTH	FINISH WEST	FINISH COMMENT
		WALL FINISH	BASE FINISH							
100	CHECK-IN / GUARDS									
101	STAFF									
102	WOMEN'S CHANGING									
103	MEN'S CHANGING									
104	FAMILY-1									
105	FAMILY-2									
106	MECH									
107	CONCESS									
108	POOL EQUIPMENT									
109	STORAGE									
110	CHLOR									
111	CO2									



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CLIENT  
WILLISTON  
COMMUNITY  
BUILDERS

PROJECT DESCRIPTION  
WILLISTON WATER  
WORLD

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ISSUE DATES

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PROJECT NO: 22061  
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SCHEDULES

A-600

**DEFERRED APPROVAL NOTICE**

INSTALLATION OF THE WATERSLIDE/SPRAY FEATURES AND ASSOCIATED FEATURE FOOTINGS SHALL NOT COMMENCE UNTIL CONTRACTOR PROVIDES DETAILED DRAWINGS, SPECIFICATIONS, AND COMPLETE ZONE 4 SEISMIC CALCULATIONS BEARING THE SEAL, SIGNATURE, AND DATE OF A LICENSED PROFESSIONAL ENGINEER TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY OR THE DEPARTMENT HAVING JURISDICTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING PROCESS AND ALL COSTS ASSOCIATED WITH OBTAINING PERMITTING APPROVAL.

**CONTRACTOR SUPPLIED POOL CHEMICALS**

DESCRIPTION	AMOUNT
CALCIUM HYPOCHLORITE	FULL FEEDERS +300 LBS
CO2	FULL BULK TANKS: 750 LBS EACH
SODIUM BICARBONATE	200 LBS
CALCIUM CARBONATE	100 LBS
SODIUM THIOSULFATE	50 LBS

**DESIGN DATA**

	UNITS	FITNESS POOL	LEISURE POOL
LENGTH	FT.	75	VARIABLES
WIDTH	FT.	55	VARIABLES
WATER SURFACE AREA	SO. FT.	4,125	4,539
PERIMETER	FT.	260	312
VOLUME	GALLON	126,272	86,136
RECIRCULATION SYSTEM			
POOL TURNOVER RATE	HOURLY	4.21	1.86
RECIRCULATION RATE	GPM	500	800
SEWER CAPACITY	GPM	REFER TO PLUMBING	REFER TO PLUMBING
BATHER LOAD	PERSON	219	261
MAXIMUM FACILITY BATHER LOAD	PERSON	480	

**GENERAL POOL NOTES**

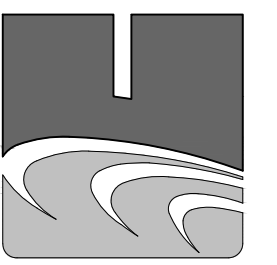
1. DENOTES WATER DEPTH FROM WATER LEVEL.
2. POOL FINISH MUST BE A PROPRIETARY AGGREGATE PLASTER WITH A 6" CERAMIC TILE BAND WITH A CAST-IN-PLACE PERIMETER COPING AND TILE DECK MARKINGS.
3. ALL POOL FLOOR AREAS 18" AND SHALLOWER AND ALL STAIR TREADS MUST HAVE A SLIP RESISTANT FINISH.
4. TYPICAL POOL DIMENSIONS SHOWN ARE FROM INSIDE FINISHED POOL WALL.
5. REFER TO POOL STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ALL DIMENSIONS RELATING TO THE THICKNESS OF THE POOL SHELL AND CONCRETE CURING METHODS.
6. THE JUNCTION BETWEEN THE SWIMMING POOL WALL AND THE FLOOR MUST BE COVED WITH A MAXIMUM 6" RADIUS.
7. DEPTH MARKERS AND WARNING SIGNS ARE SHOWN IN APPROXIMATE LOCATIONS. DEPTH MARKERS AND WARNING SIGNS MUST NOT EXCEED 25'-0" APART FROM EACH OTHER, AND MUST BE PLACED AT EVEN FOOT INTERVALS PER LOCAL CODE.
8. ALL PROPRIETARY NAMES MENTIONED ARE TO DESIGNATE PERFORMANCE STANDARDS. EQUIVALENT PRODUCTS MUST BE SUBMITTED FOR APPROVAL.
9. SLIP RESISTANT DECK FINISH REQUIRED. REFER TO ARCHITECT.
10. REFER TO PLUMBING FOR DECK DRAINS AND HOSE BIBBS.
11. ALL SURFACE WATER MUST DRAIN AWAY FROM THE POOL.
12. REFER TO ELECTRICAL FOR GFI OUTLETS ON POOL DECK.
13. ELECTRICAL INSPECTOR MUST APPROVE INSTALLATION OF BONDING GRID FOR POOL REINFORCING AND ALL POOL EMBEDS PRIOR TO PLACEMENT OF CONCRETE.
14. NO GROUND WATER MUST BE ALLOWED TO RISE ABOVE ANY PORTION OF THE POOL BOTTOM DURING CONSTRUCTION.
15. COMPETITION POOL HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS OF USA SWIMMING (USA-S).
16. REFER TO SWIMMING POOL SPECIFICATIONS FOR COMPETITION RACE COURSE TOLERANCES.
17. ALL METALLIC PORTIONS OF PLAY FEATURE MUST BE EPOXY COATED STAINLESS STEEL.
18. ALL POOL REINFORCING STEEL, METAL FITTINGS, EQUIPMENT WITHIN 5'-0" OF POOL EDGE AND ANY METAL PARTS OF POOL EQUIPMENT IN CONTACT WITH POOL RECIRCULATION SYSTEM MUST BE BONDED PER NEC 680. REFER.
19. IT IS RECOMMENDED THAT ZONE EVALUATIONS ACCORDING TO THE AMERICAN RED CROSS OR A SIMILAR APPLICABLE LIFEGUARD AGENCY ARE CONDUCTED PRIOR TO OPERATING THE FACILITY AND REGULARLY ACCORDING TO AGENCY GUIDELINES. ZONE EVALUATIONS ARE NECESSARY TO CONFIRM APPROPRIATE LIFEGUARD PLACEMENT AND ZONE COVERAGE.
20. CONTRACTOR TO PROVIDE CHEMICAL QUANTITIES PER CONTRACTOR SUPPLIED POOL CHEMICAL SCHEDULE AFTER INITIAL WATER BALANCE IS REACHED PRIOR TO OWNER TURNOVER.
21. THE POOLS MUST BE WATER TESTED IN ACCORDANCE TO THE HYDROSTATIC TIGHTNESS TESTING OF AN OPEN CONCRETE CONTAINMENT STRUCTURE AS REQUIRED BY THE AMERICAN CONCRETE INSTITUTE (ACI) 308.1-10 SECTION 2. REFER TO SPECIFICATIONS. REFER.

**DRAWING INDEX**

SHEET	DESCRIPTION
AQ000	POOL REFERENCE PLAN
AQ200	FITNESS POOL PLAN & SECTIONS
AQ201	FITNESS POOL DETAILS
AQ202	FITNESS POOL DETAILS
AQ300	LEISURE POOL PLAN & SECTIONS
AQ301	LEISURE POOL DETAILS
AQ302	LEISURE POOL DETAILS
AQ400	WATERSLIDE PLAN, SECTION AND DETAILS
AQ700	POOL MECHANICAL NOTES & SCHEDULES
AQ701	POOL MECHANICAL ROOM PLAN & SECTIONS
AQ702	POOL MECHANICAL DETAILS
AQ703	POOL MECHANICAL DETAILS
AQ704	POOL MECHANICAL DETAILS
AQ800	FITNESS POOL SYSTEMS SCHEMATIC
AQ801	LEISURE POOL SYSTEMS SCHEMATIC
AQ900	ELECTRICAL COVER SHEET
AQ901	ELECTRICAL OVERALL PLAN
AQ902	ENLARGED ELECTRICAL FITNESS POOL PLAN
AQ903	ENLARGED ELECTRICAL LEISURE POOL PLAN
AQ904	ENLARGED WATERSLIDE POOL PLAN
AQ905	ENLARGED ELECTRICAL POOL MECHANICAL ROOM PLAN



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AQUATICS FOR LIFE  
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CLIENT  
**WILLISTON COMMUNITY BUILDERS**

PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY **WILLISTON**  
STATE **NORTH DAKOTA**

ISSUE DATES

DD	DESCRIPTION	DATE
DD	DESIGN DEVELOPMENT	01/20/2023
SD	SCHEMATIC DESIGN	12/15/2022
MARK	DESCRIPTION	DATE

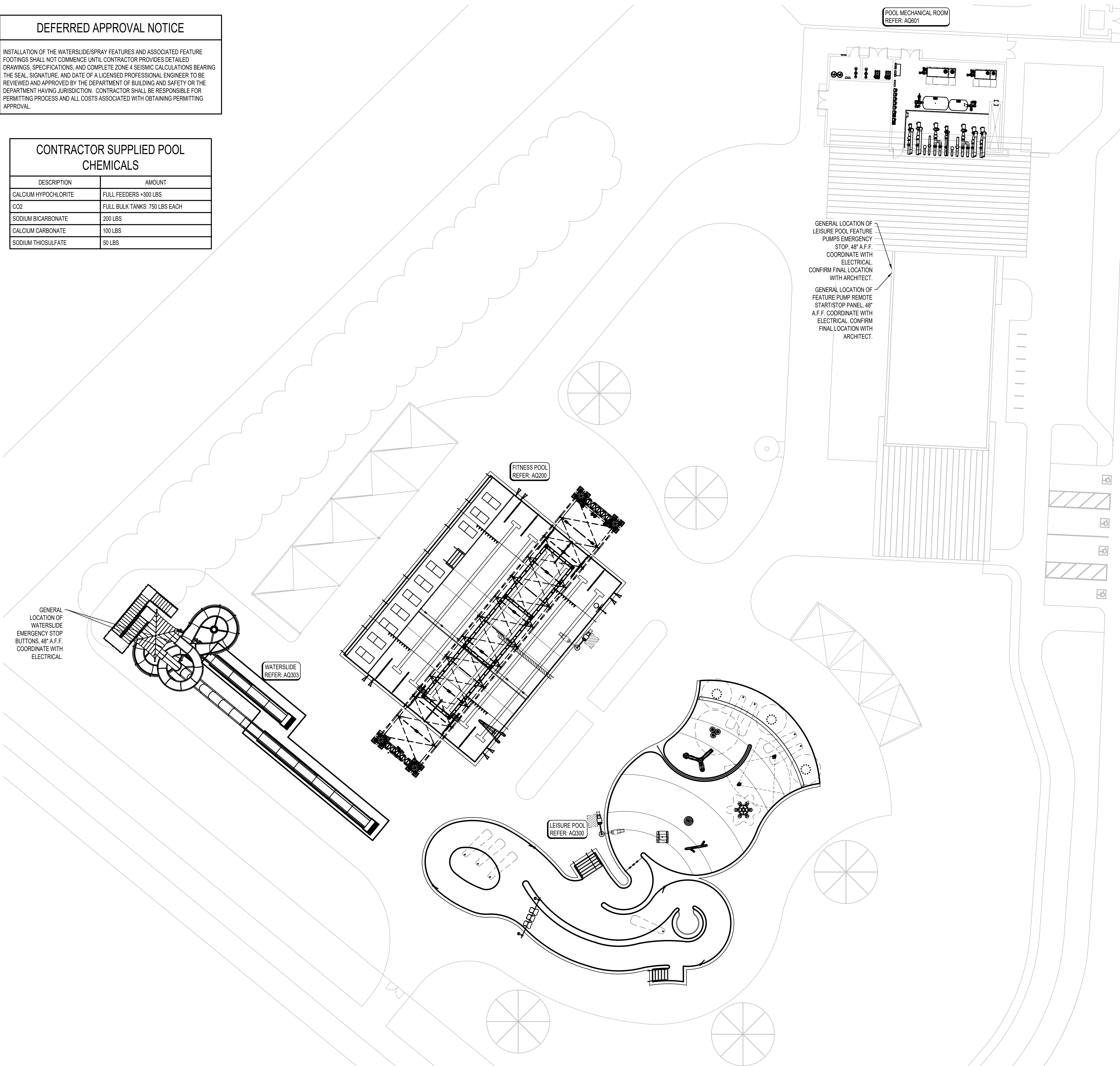
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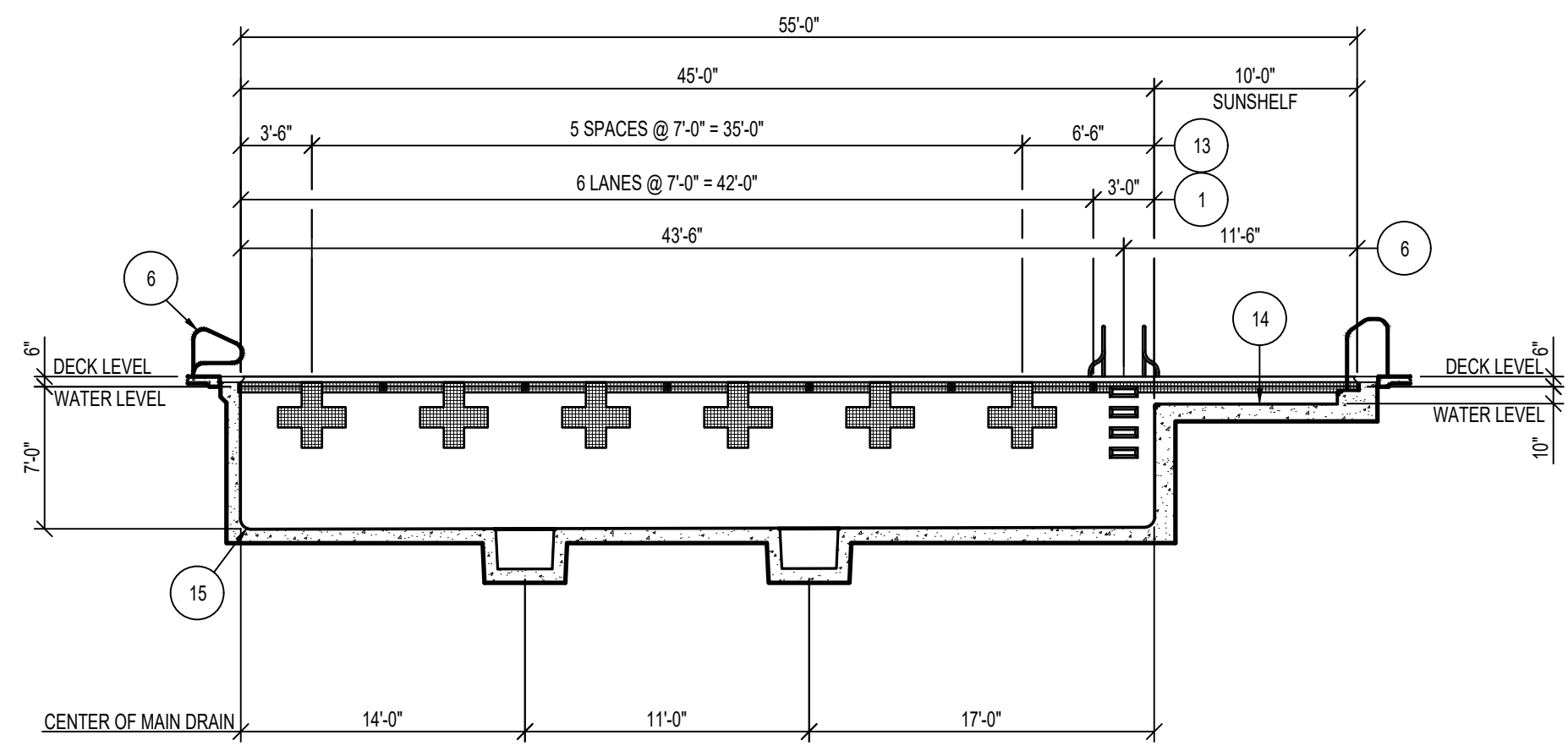
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DRAWING TITLE  
**POOL REFERENCE PLAN**

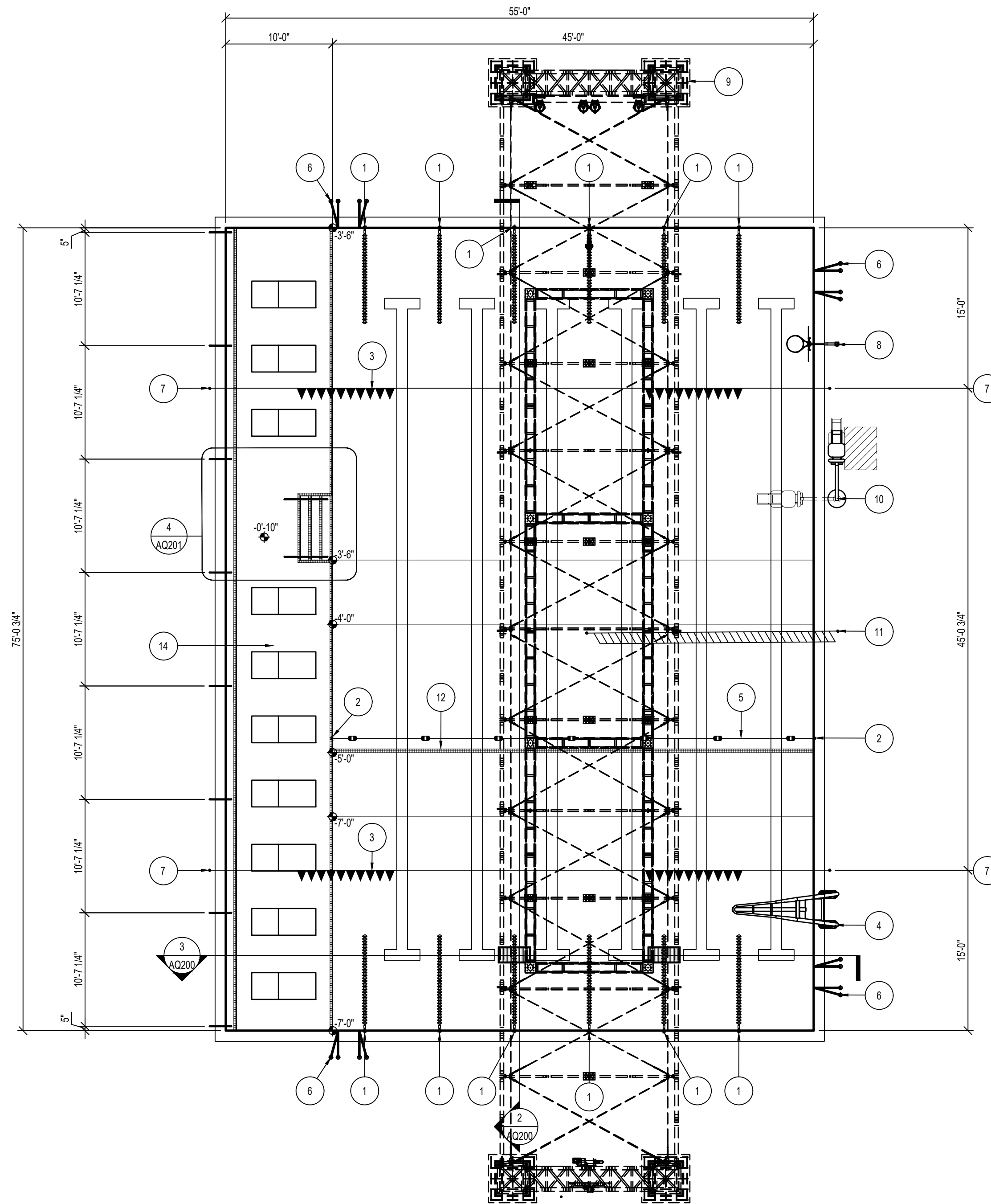
**AQ000**



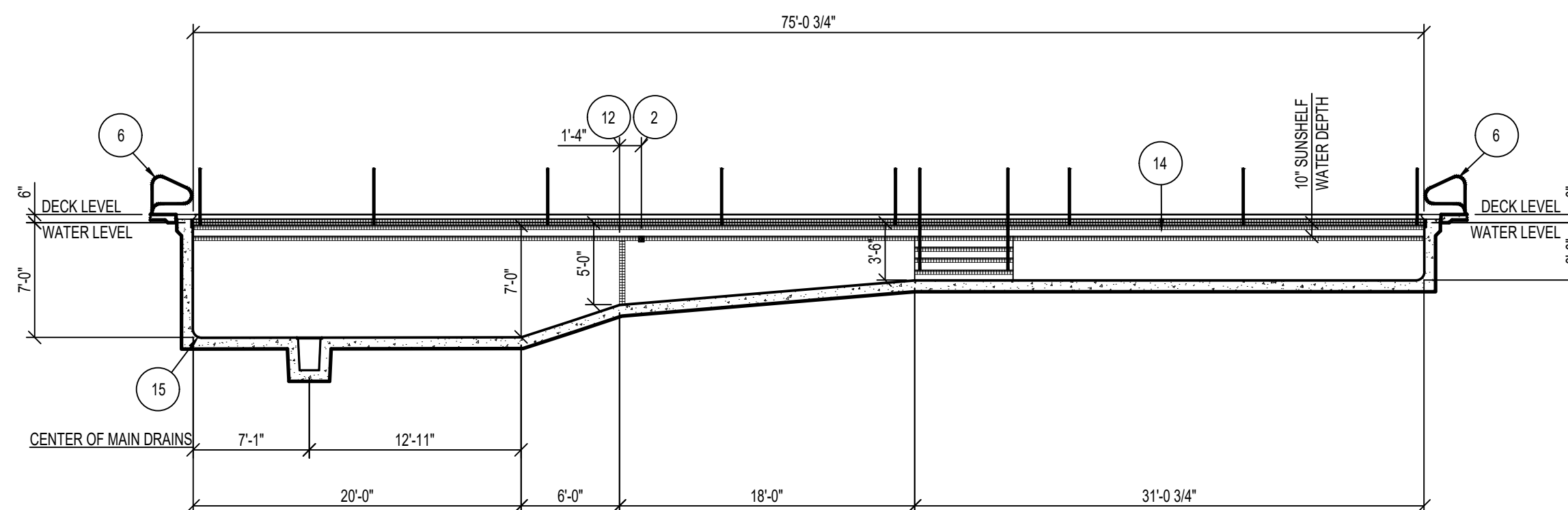
1  
AQ000  
POOL REFERENCE PLAN  
1/4" = 1'-0"



**3 FITNESS POOL SECTION**  
AQ200 1/8" = 1'-0"



**1 FITNESS POOL PLAN**  
AQ200 1/8" = 1'-0"



**2 FITNESS POOL SECTION**  
AQ200 1/8" = 1'-0"

**DEPTH & WARNING SIGNAGE SCHEDULE**

ID	SIGNAGE
(A)	0 FT 10 IN
(B)	3 FT 6 IN
(C)	4 FT 0 IN
(D)	5 FT 0 IN
(E)	7 FT 0 IN
(Z)	NO DIVING

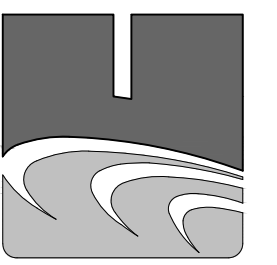
NOTE:  
REFER: XIAQX FOR DETAIL.

**EQUIPMENT SCHEDULE**

ID	ITEM
(1)	LANE ROPE CUP ANCHOR REFER:
(2)	SAFETY ROPE CUP ANCHOR REFER:
(3)	BACKSTROKE PENNANT
(4)	AQUA ZIP'N FEATURE REFER:
(5)	SAFETY ROPE
(6)	GRAB RAILS & RECESSED STEPS REFER:
(7)	STANCHION POST & ANCHOR REFER:
(8)	WATER BASKETBALL GOAL REFER:
(9)	NINJA CROSS REFER:
(10)	POOL LIFT & ANCHOR REFER:
(11)	WATER VOLLEYBALL STANCHION POST & ANCHOR REFER:
(12)	4" CONTRASTING TILE BAND COLOR BY ARCHITECT
(13)	WALL TARGET REFER:
(14)	UNDERWATER SHELF REFER:
(15)	POOL COVE REFER:



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PROJECT DESCRIPTION  
WILLISTON WATER  
WORLD

CITY WILLISTON  
STATE NORTH DAKOTA

ISSUE DATES

DD	DESCRIPTION	DATE
DD	DESIGN DEVELOPMENT	01/20/2023
SD	SCHEMATIC DESIGN	12/15/2022
MARK	DESCRIPTION	DATE

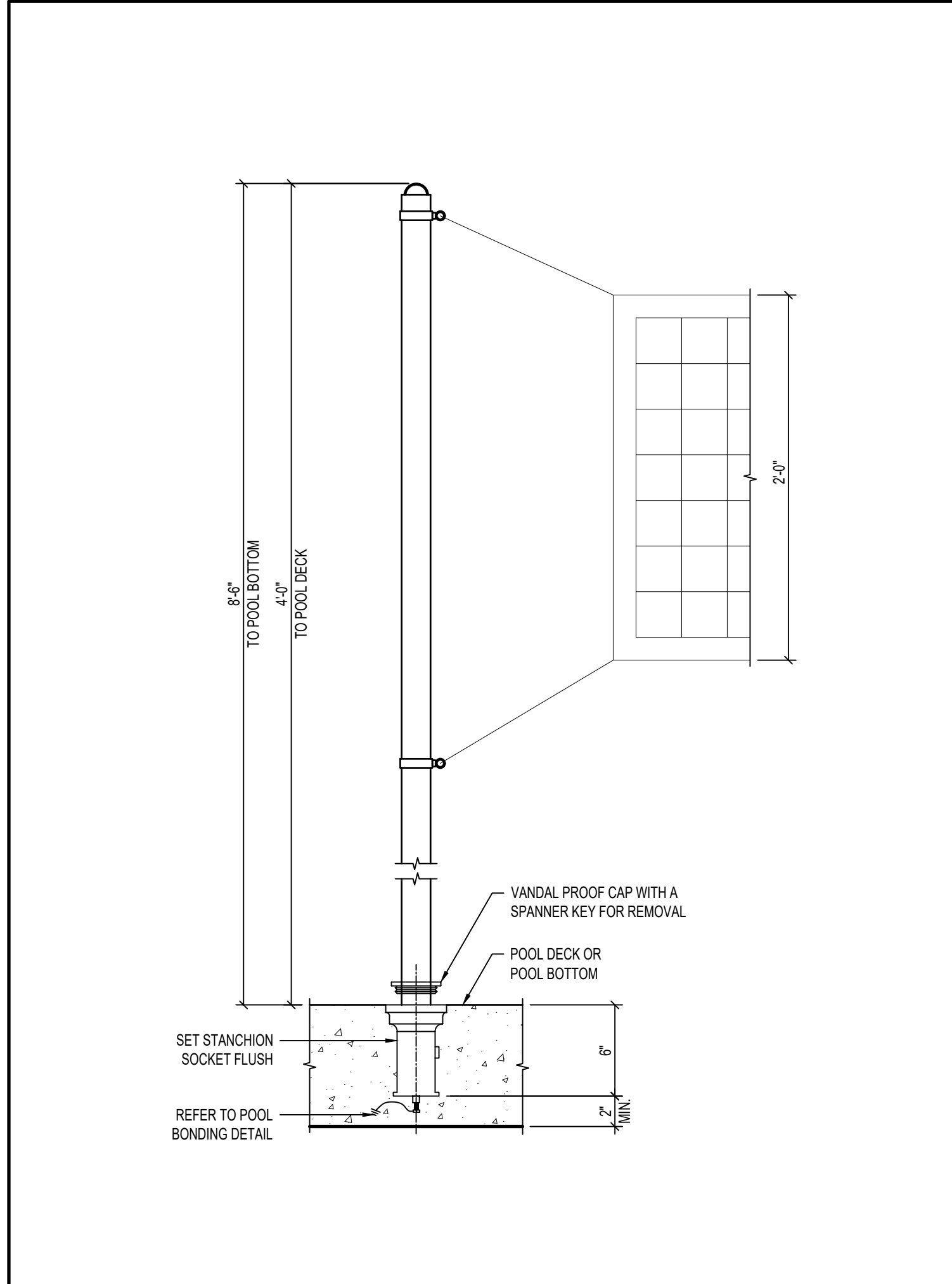
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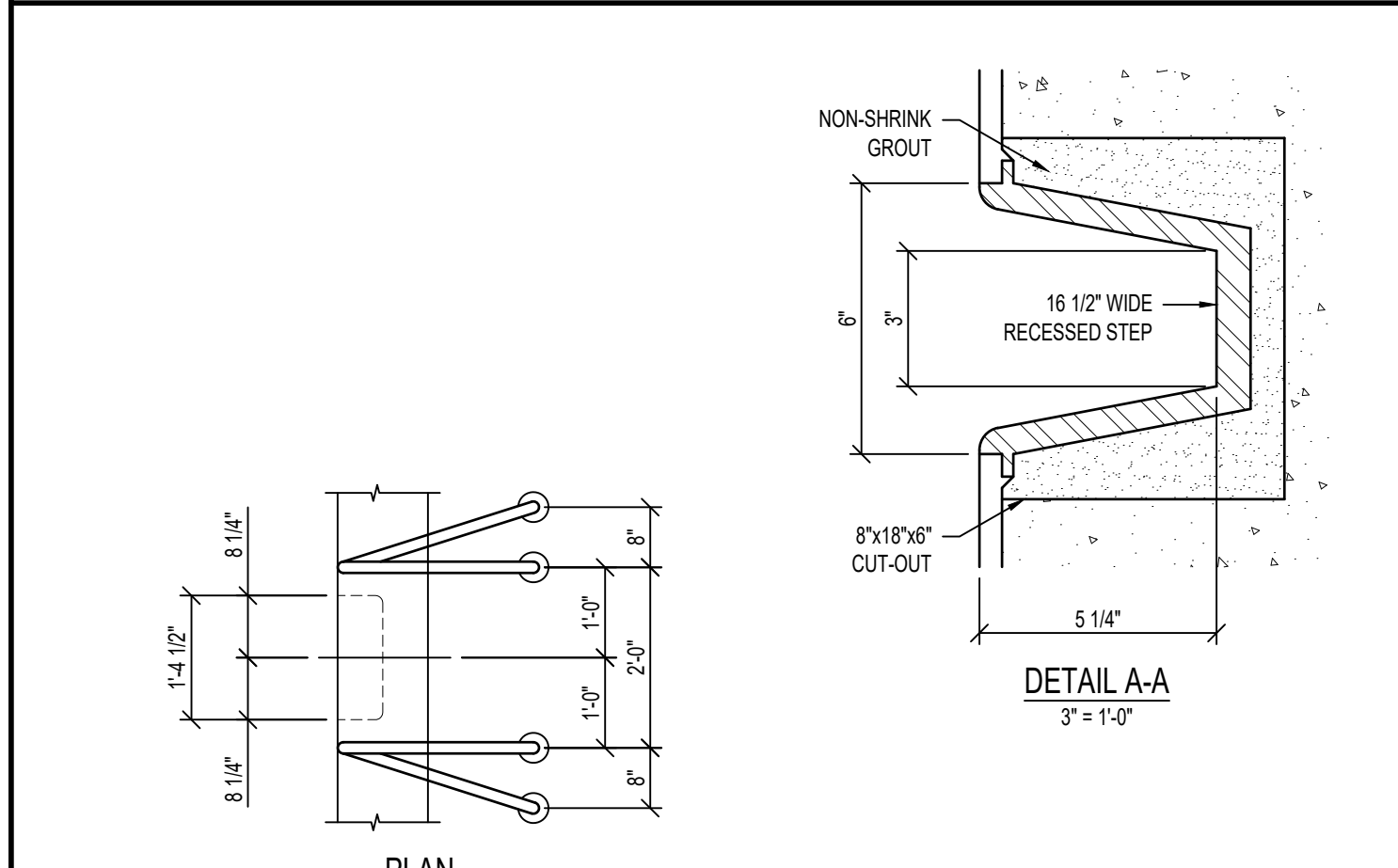
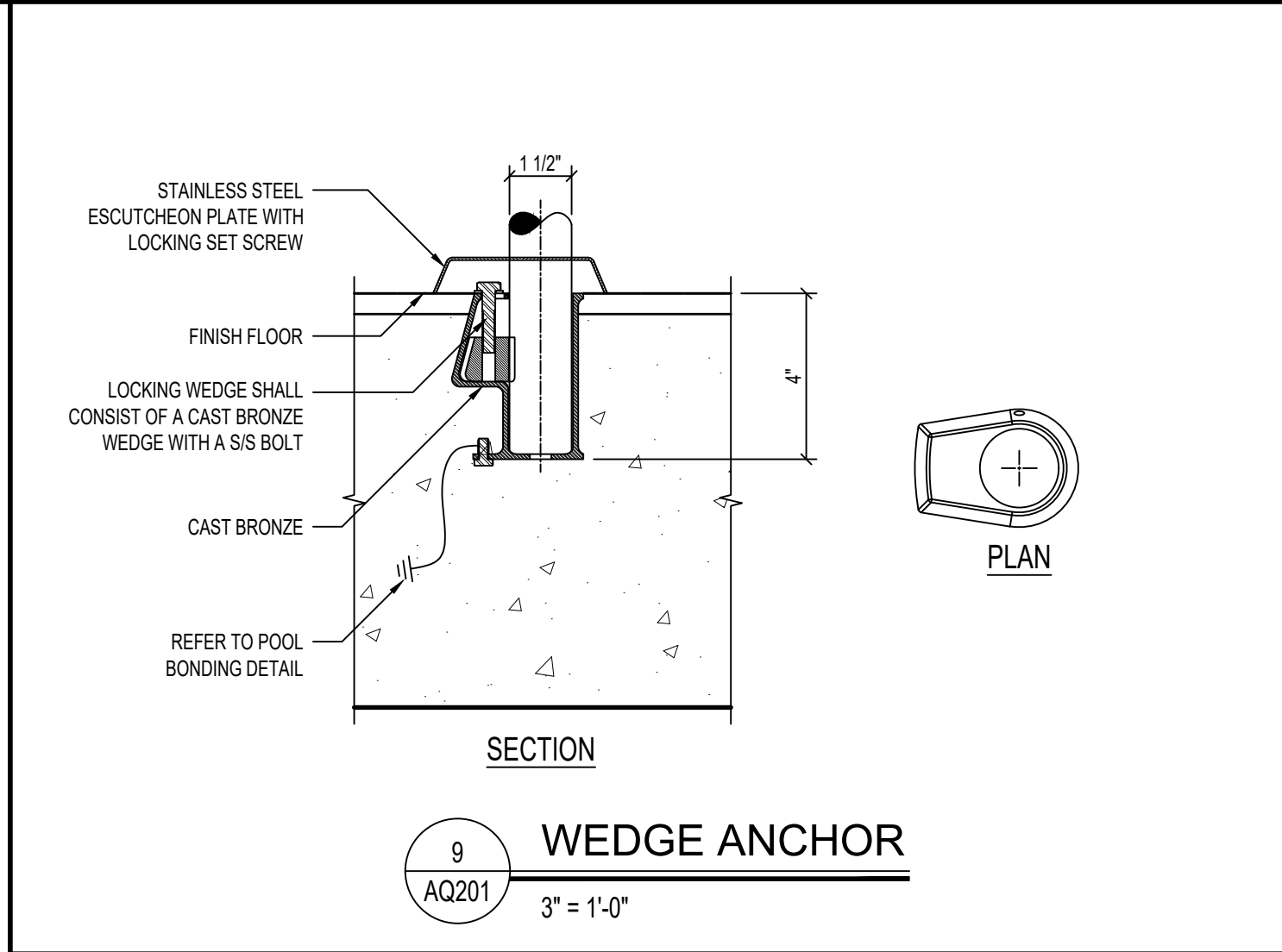
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DRAWING TITLE  
FITNESS POOL PLAN  
& SECTIONS

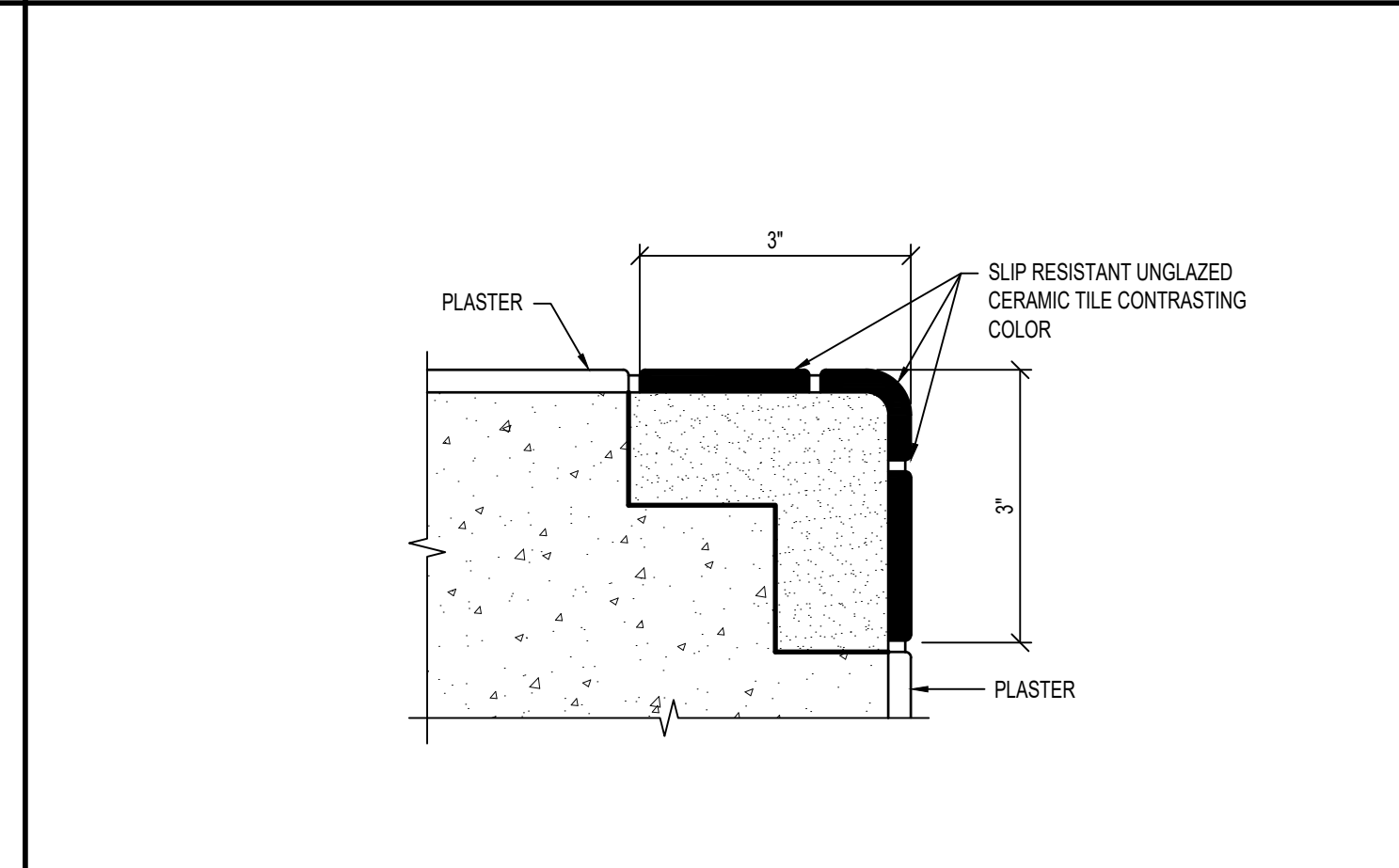
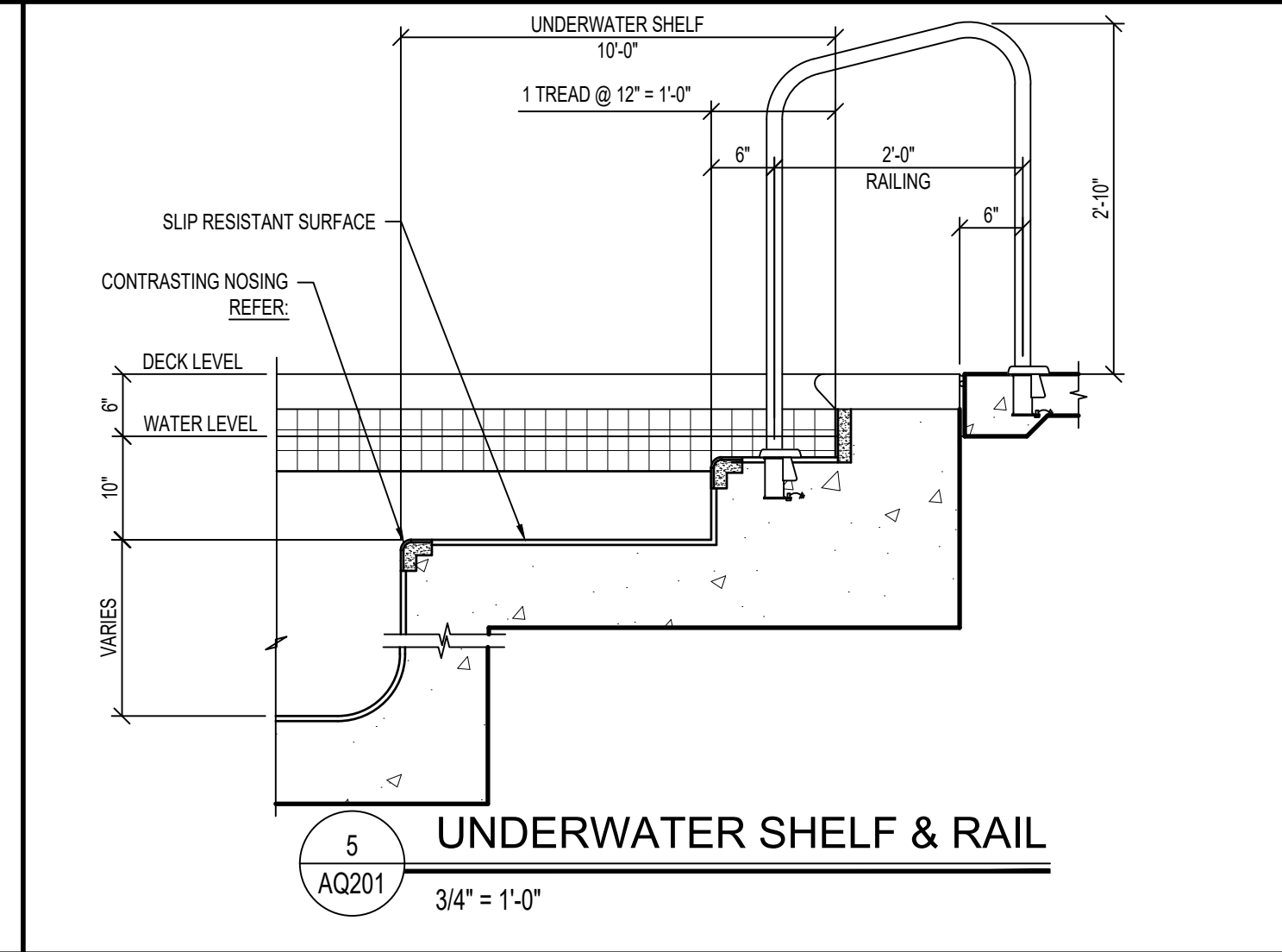
**AQ200**



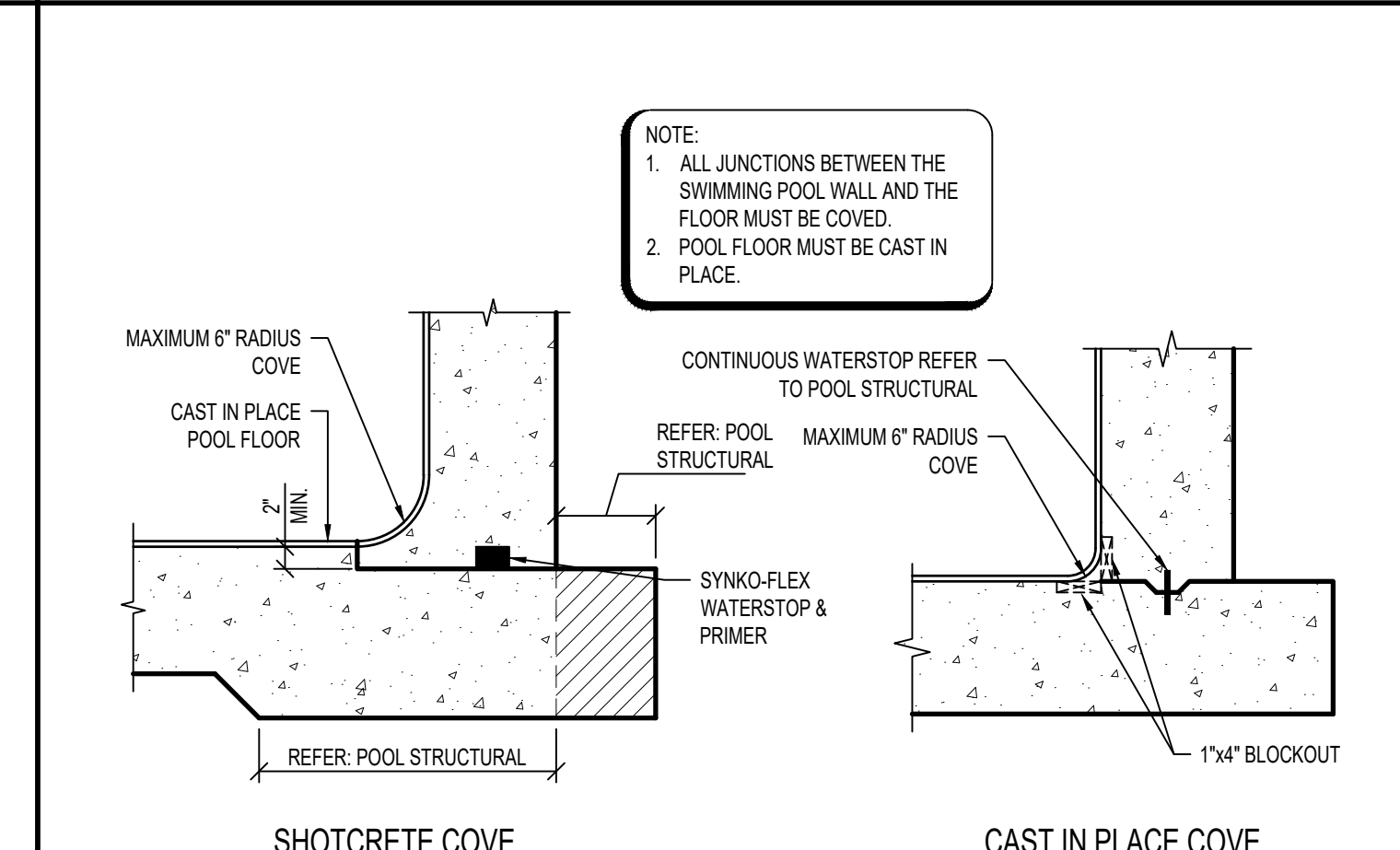
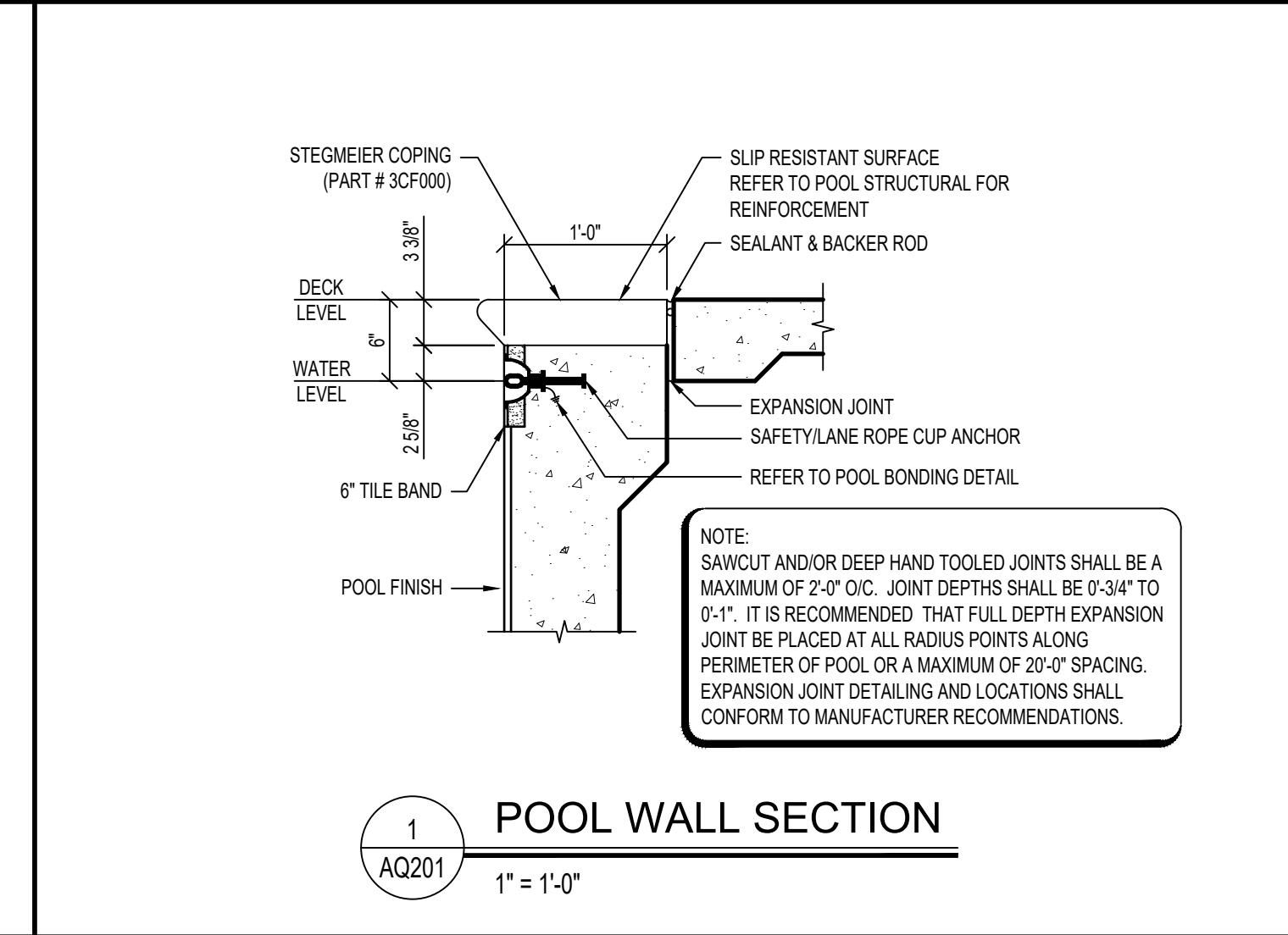
12 AQ201 WATER VOLLEYBALL STANCHION POST AND ANCHOR  
1 1/2" = 1'-0"



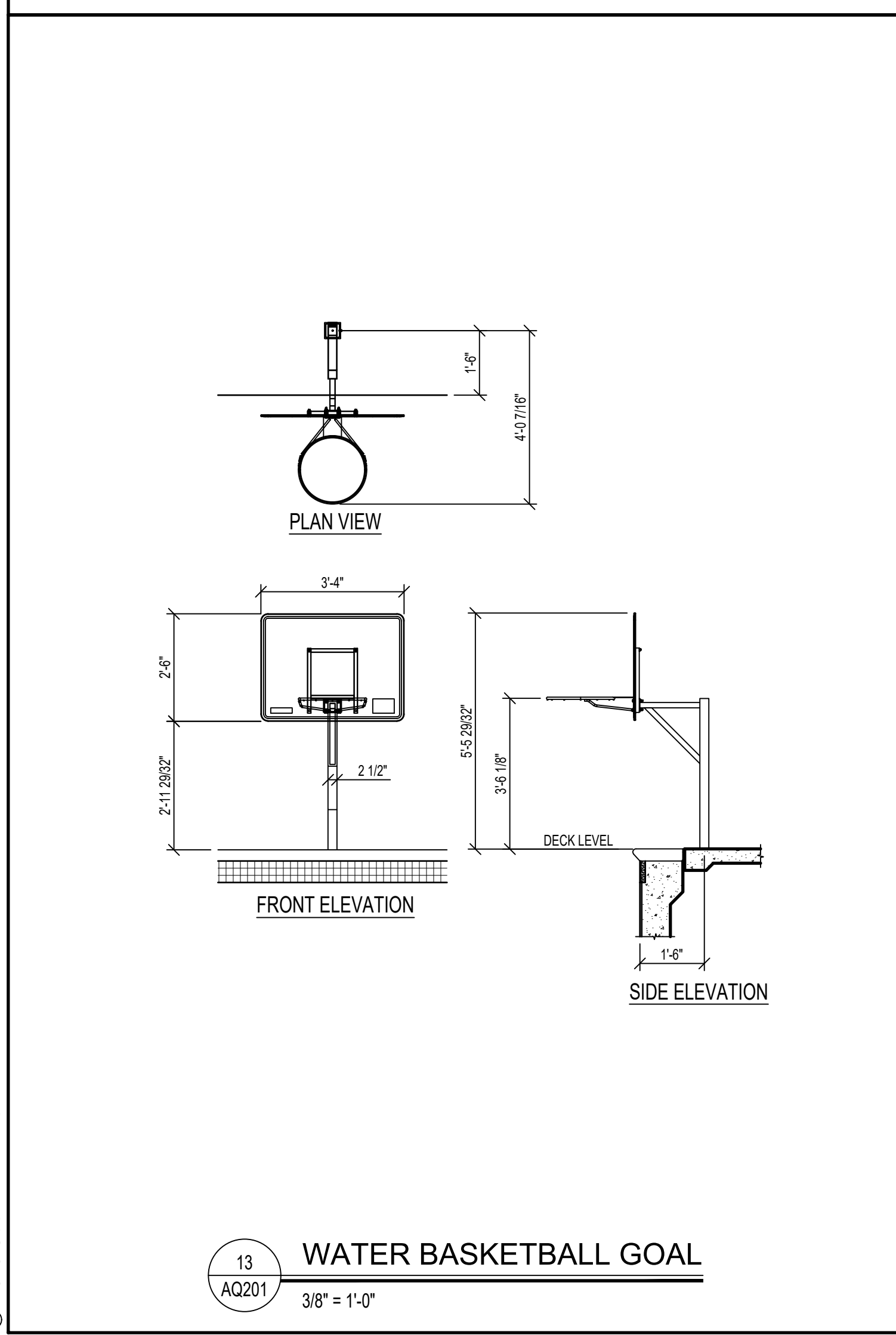
9 AQ201 WEDGE ANCHOR  
3" = 1'-0"



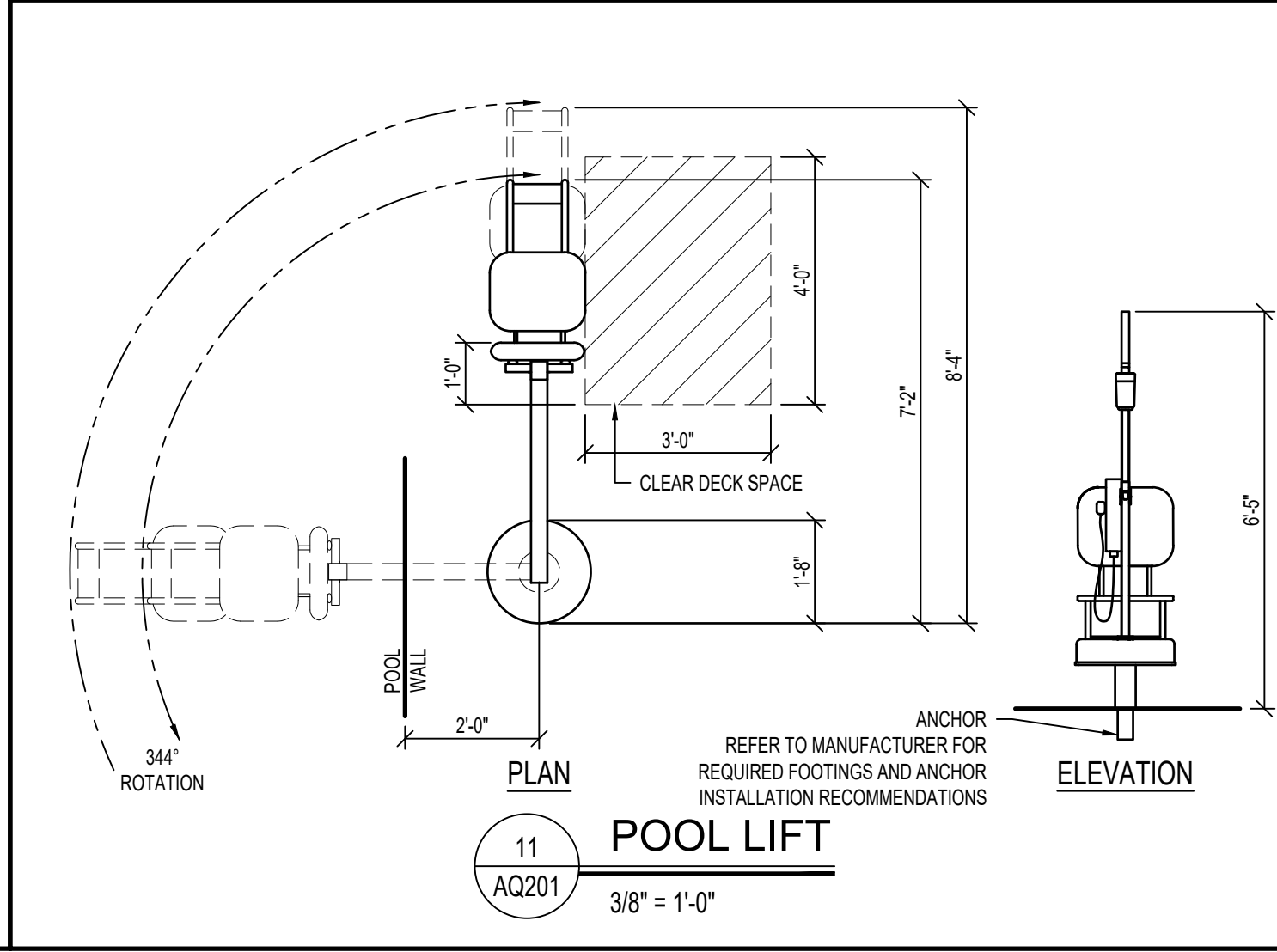
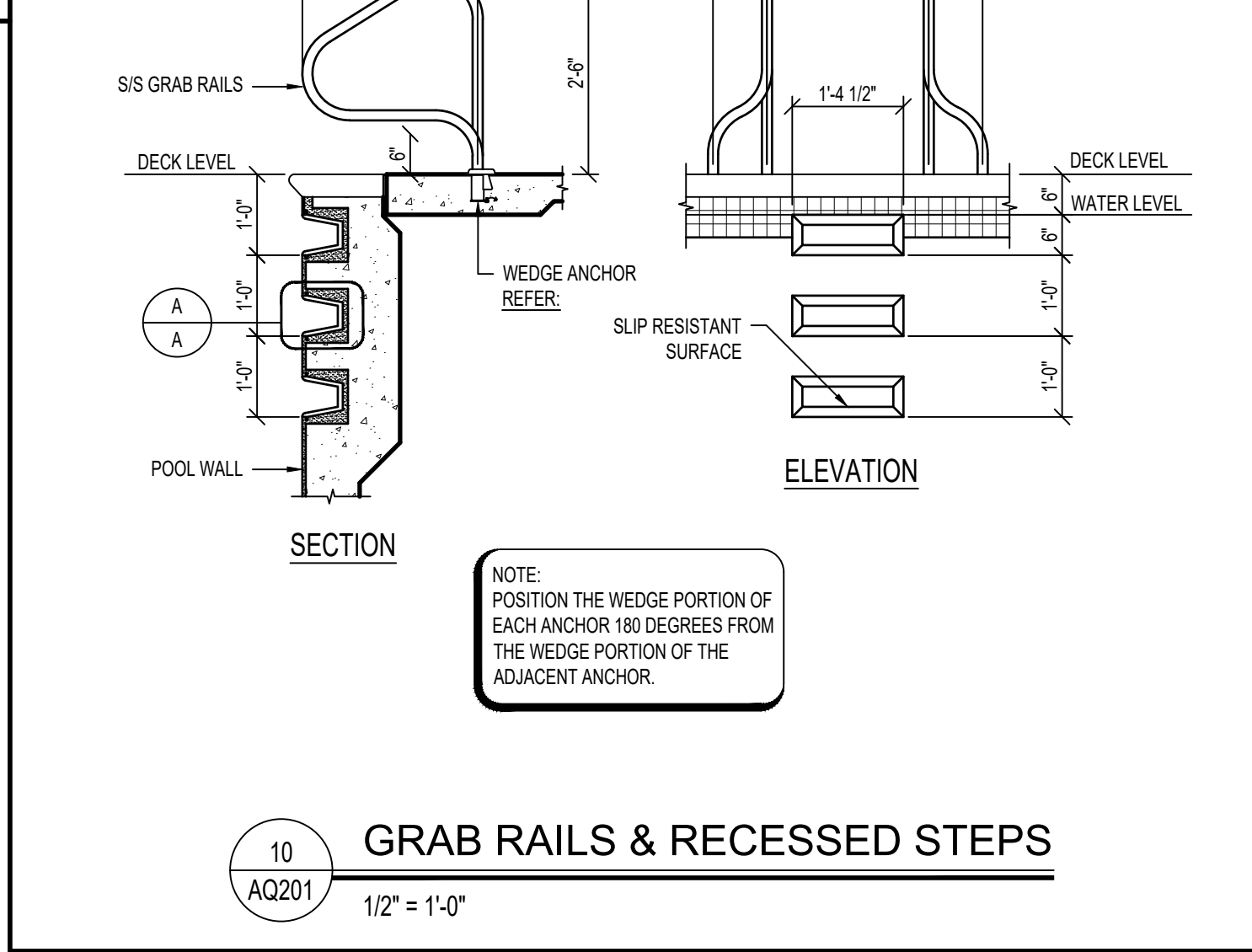
5 AQ201 UNDERWATER SHELF & RAIL  
3/4" = 1'-0"



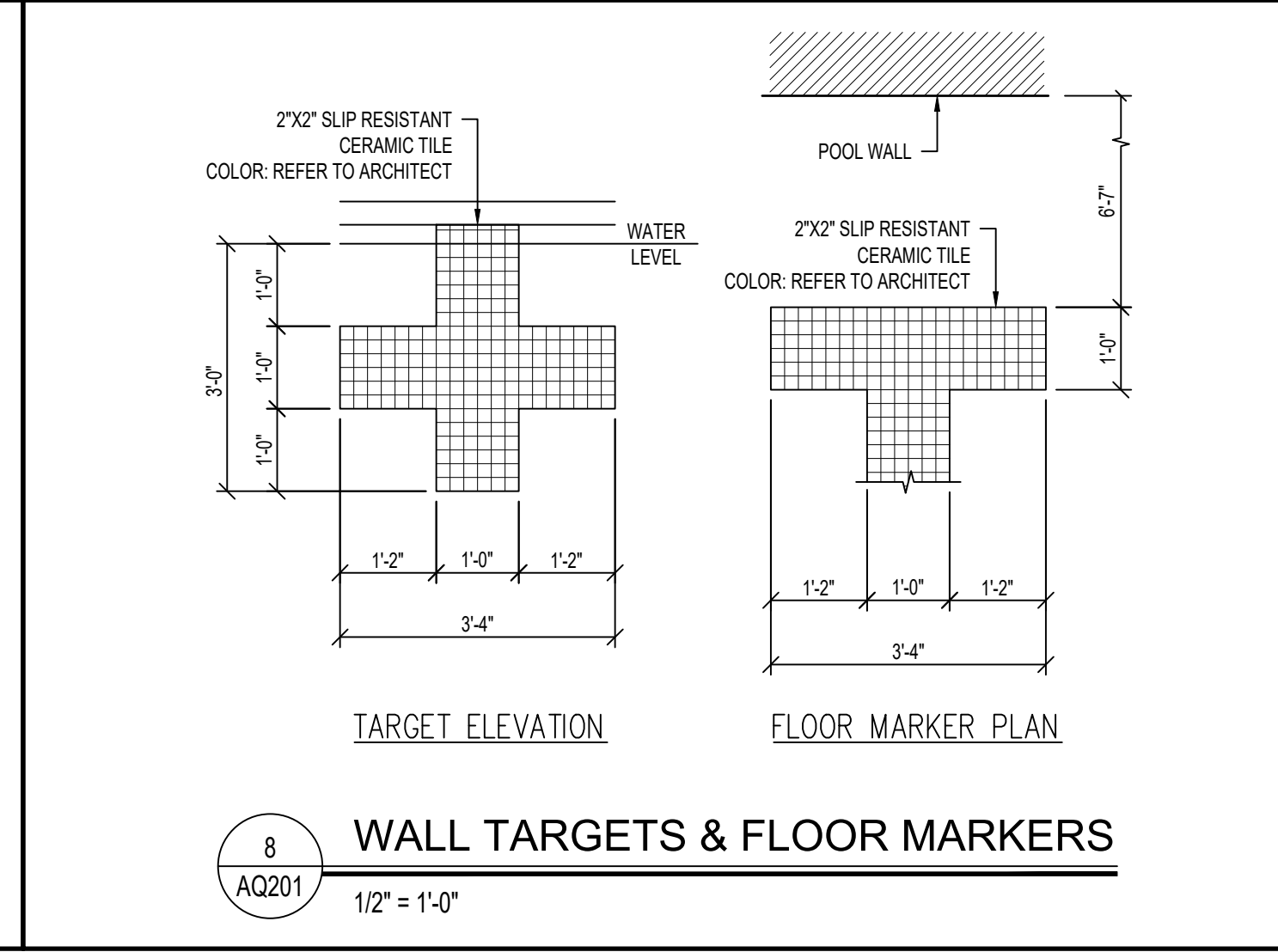
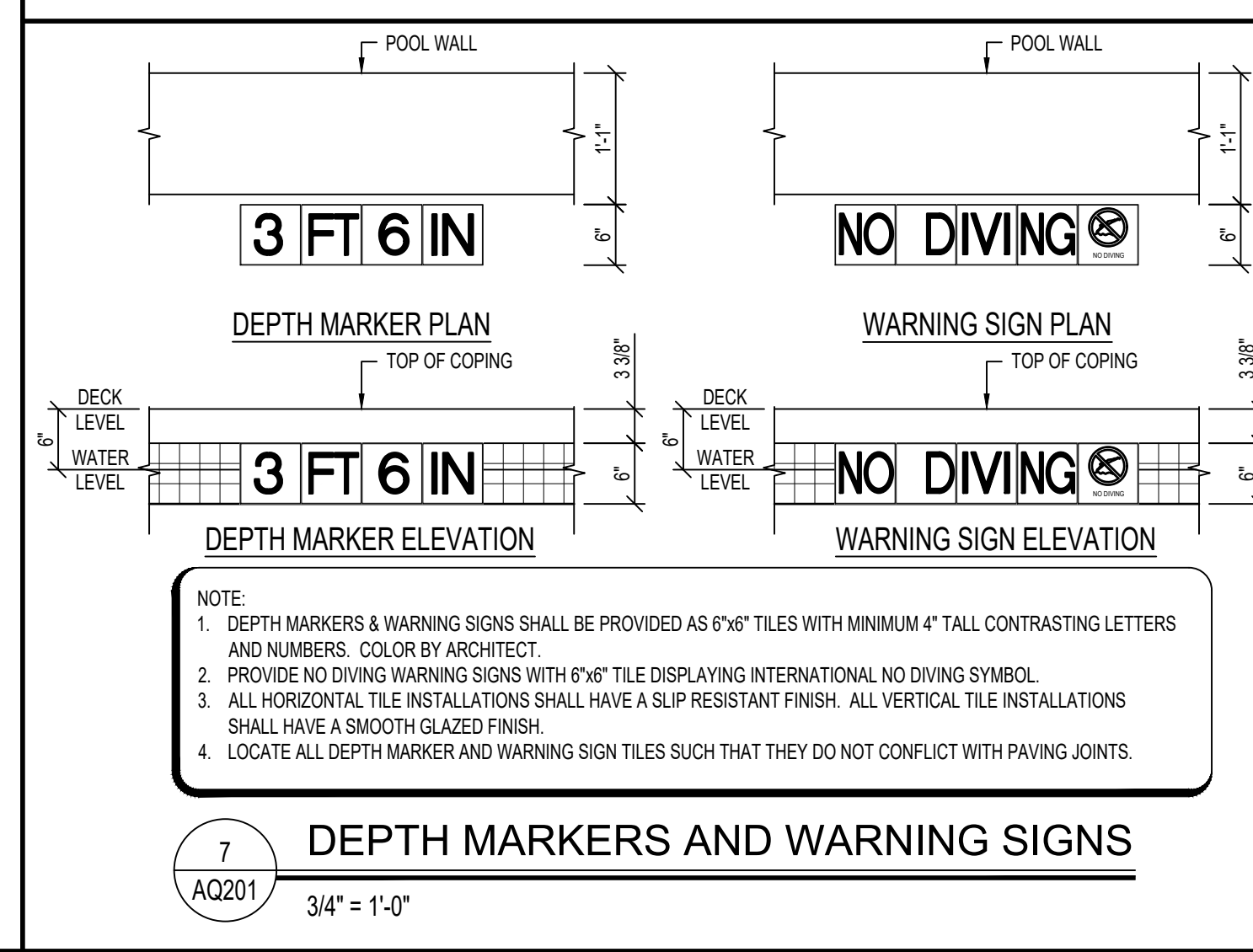
2 AQ201 POOL COVE  
3/4" = 1'-0"



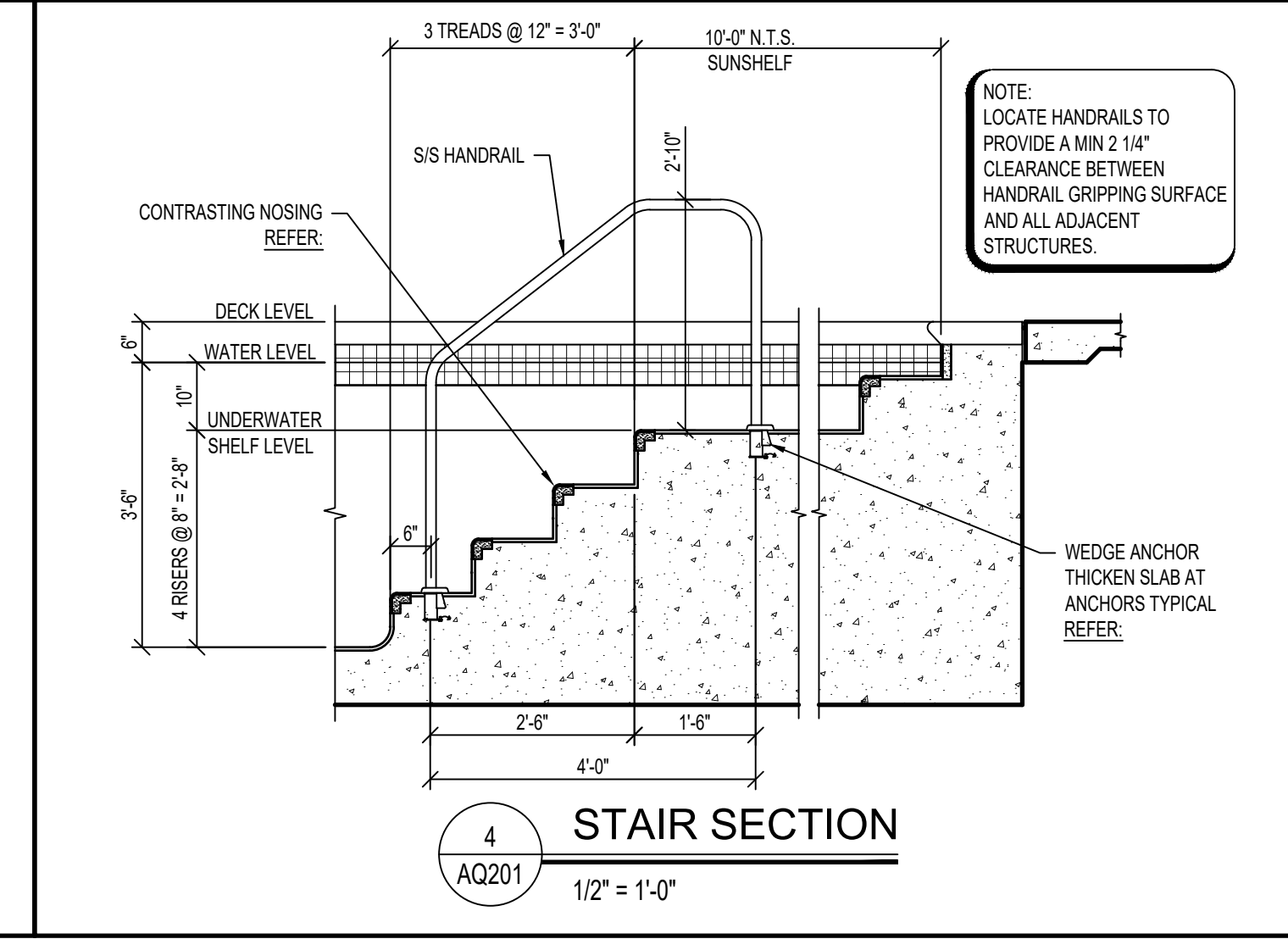
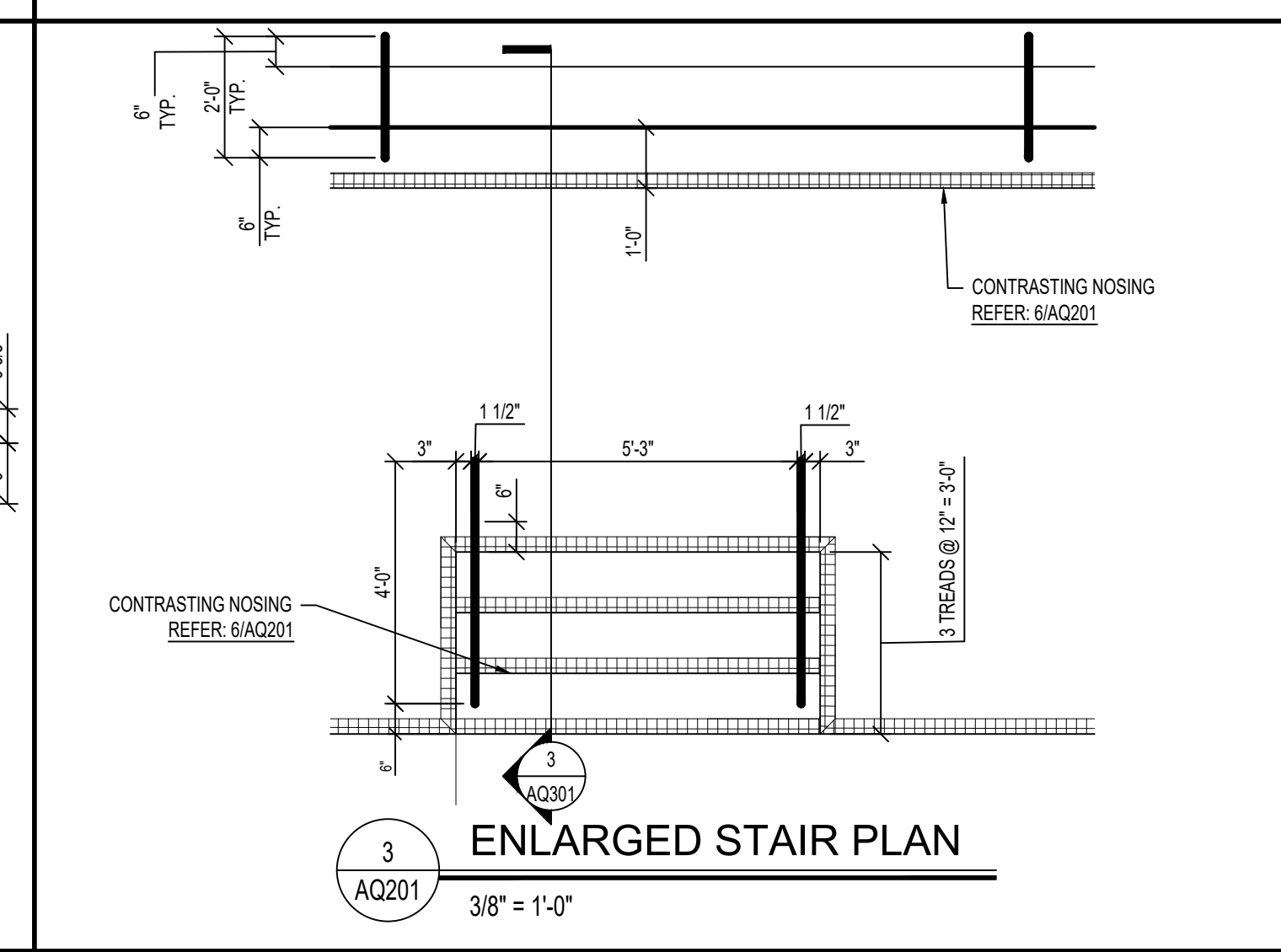
13 AQ201 WATER BASKETBALL GOAL  
3/8" = 1'-0"



7 AQ201 DEPTH MARKERS AND WARNING SIGNS  
3/4" = 1'-0"



3 AQ201 ENLARGED STAIR PLAN  
3/8" = 1'-0"



8 AQ201 WALL TARGETS & FLOOR MARKERS  
1/2" = 1'-0"

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PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY WILLISTON  
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ISSUE DATES

PRELIMINARY - NOT FOR CONSTRUCTION

DD	DESIGN DEVELOPMENT	01/20/2023
SD	SCHEMATIC DESIGN	12/15/2022
MARK	DESCRIPTION	DATE

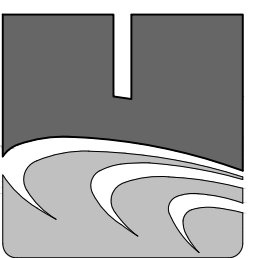
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DRAWING TITLE  
**FITNESS POOL DETAILS**

**AQ201**



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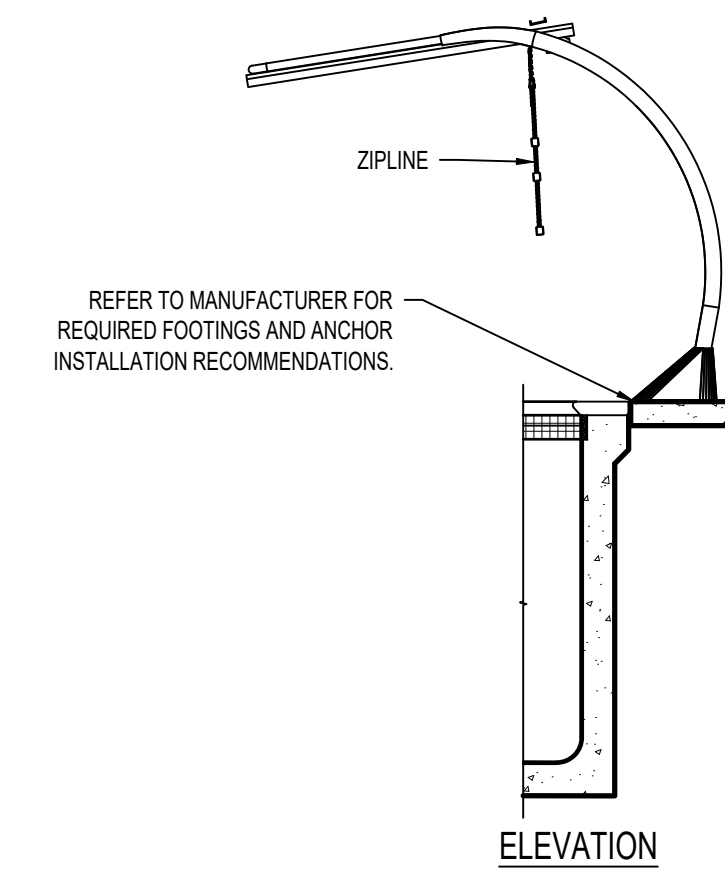
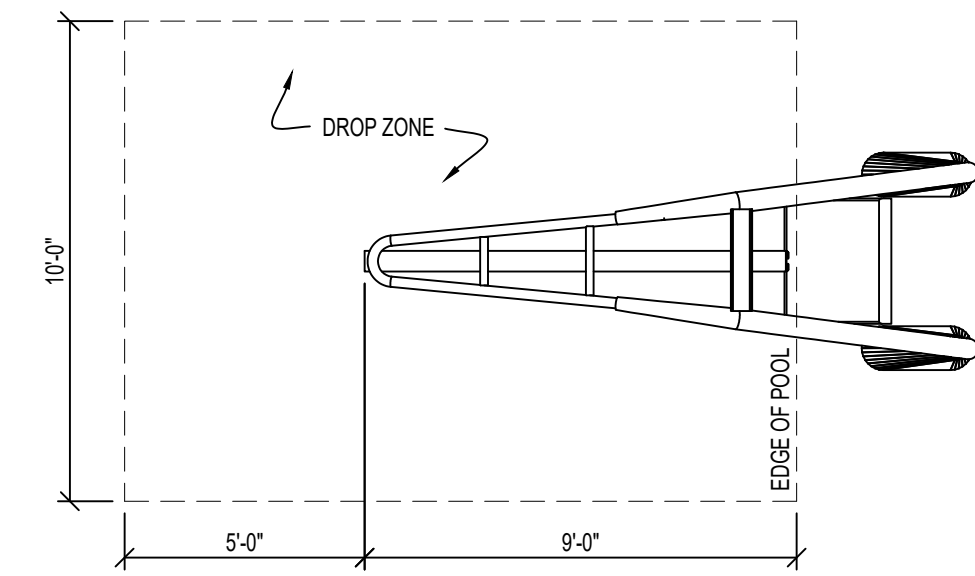
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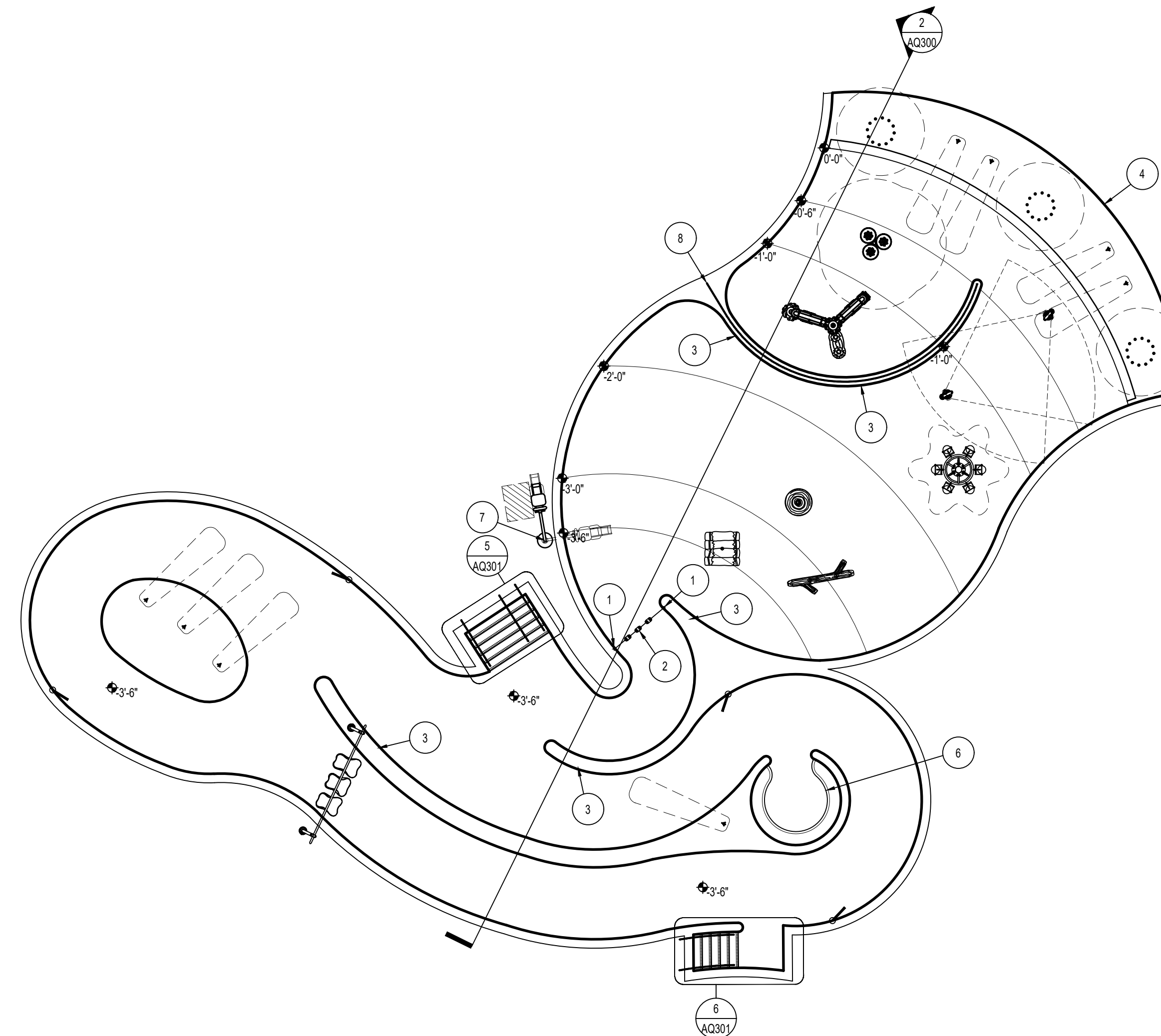
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DRAWING TITLE  
**FITNESS POOL DETAILS**

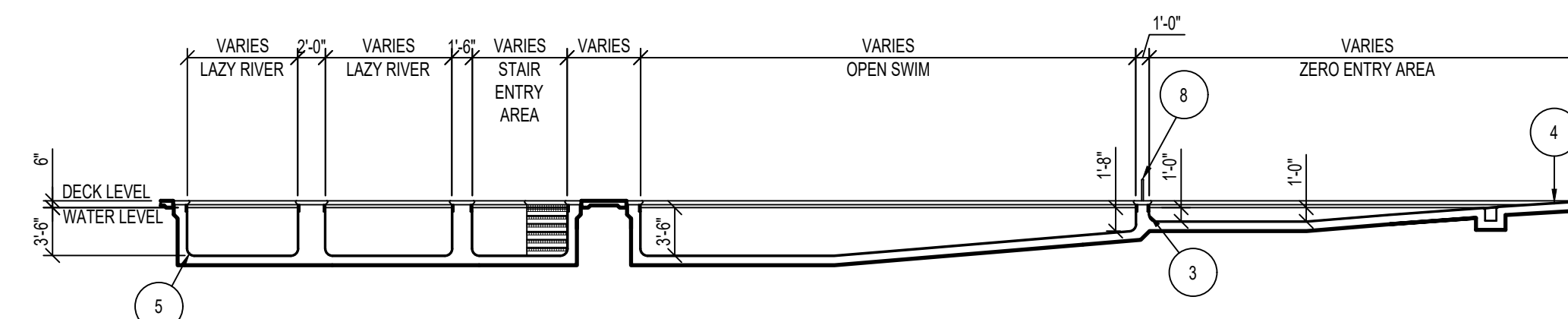
**AQ202**



**1 ZIPLINE FEATURE**  
AQ202 1/4" = 1'-0"



1 LEISURE POOL PLAN  
AQ300 3/32" = 1'-0"



2 LEISURE POOL SECTION  
AQ300 3/32" = 1'-0"

DEPTH & WARNING SIGNAGE SCHEDULE

ID	SIGNAGE
(A)	1 FT 0 IN
(B)	2 FT 0 IN
(C)	3 FT 3 IN
(Z)	NO DIVING

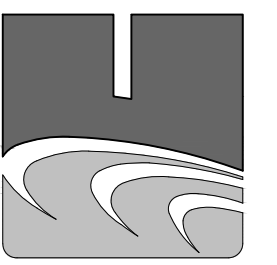
NOTE:  
REFER X/AQX.X FOR DETAIL.

EQUIPMENT SCHEDULE

ID	ITEM
(1)	SAFETY ROPE CUP ANCHORS REFER:
(2)	SAFETY ROPE
(3)	WING WALL REFER:
(4)	ZERO ENTRY REFER:
(5)	POOL COVE REFER:
(6)	UNDERWATER BENCH REFER:
(7)	POOL LIFT & ANCHOR REFER:
(8)	WING WALL RAILING REFER:



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WILLISTON WATER  
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CITY WILLISTON  
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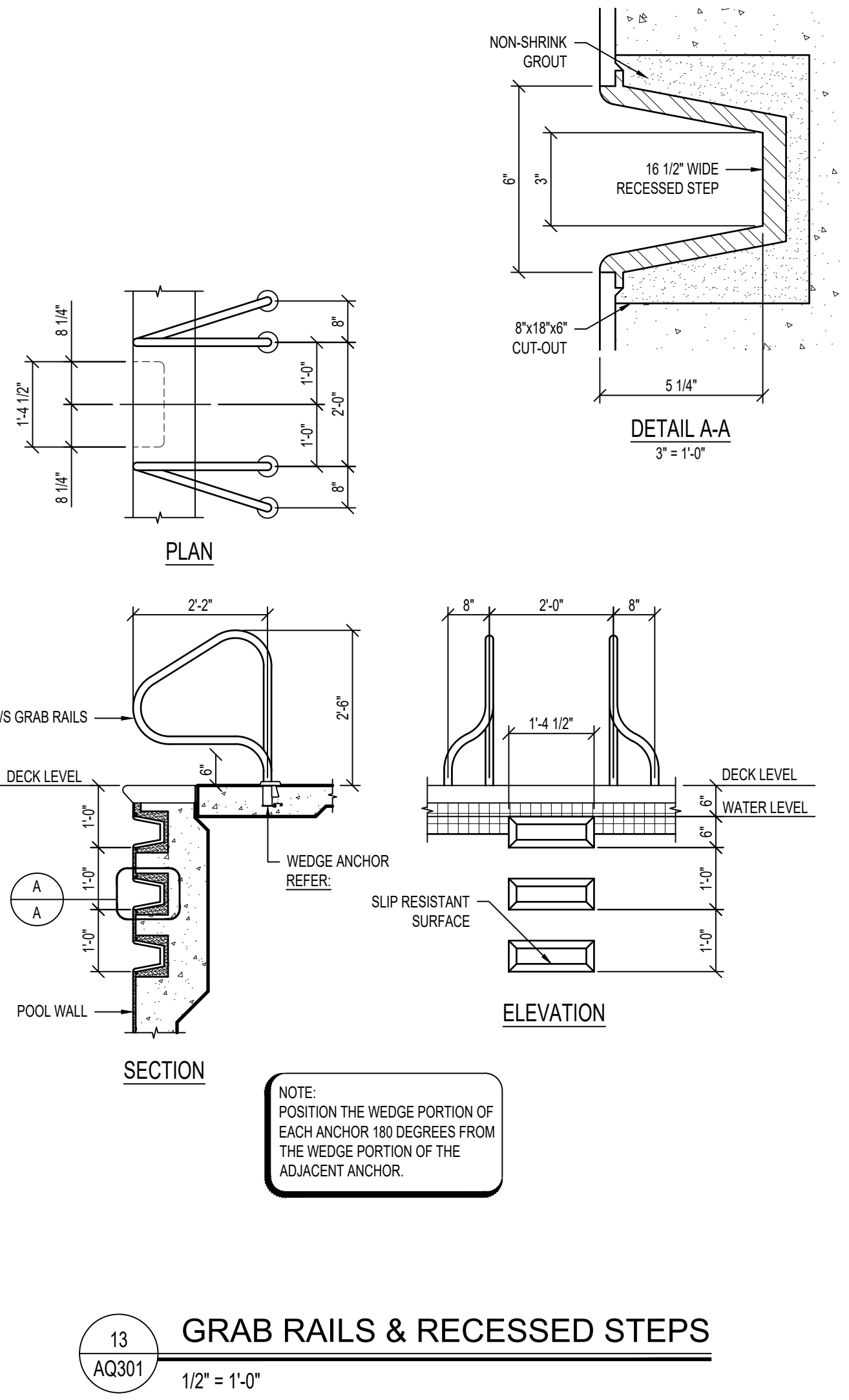
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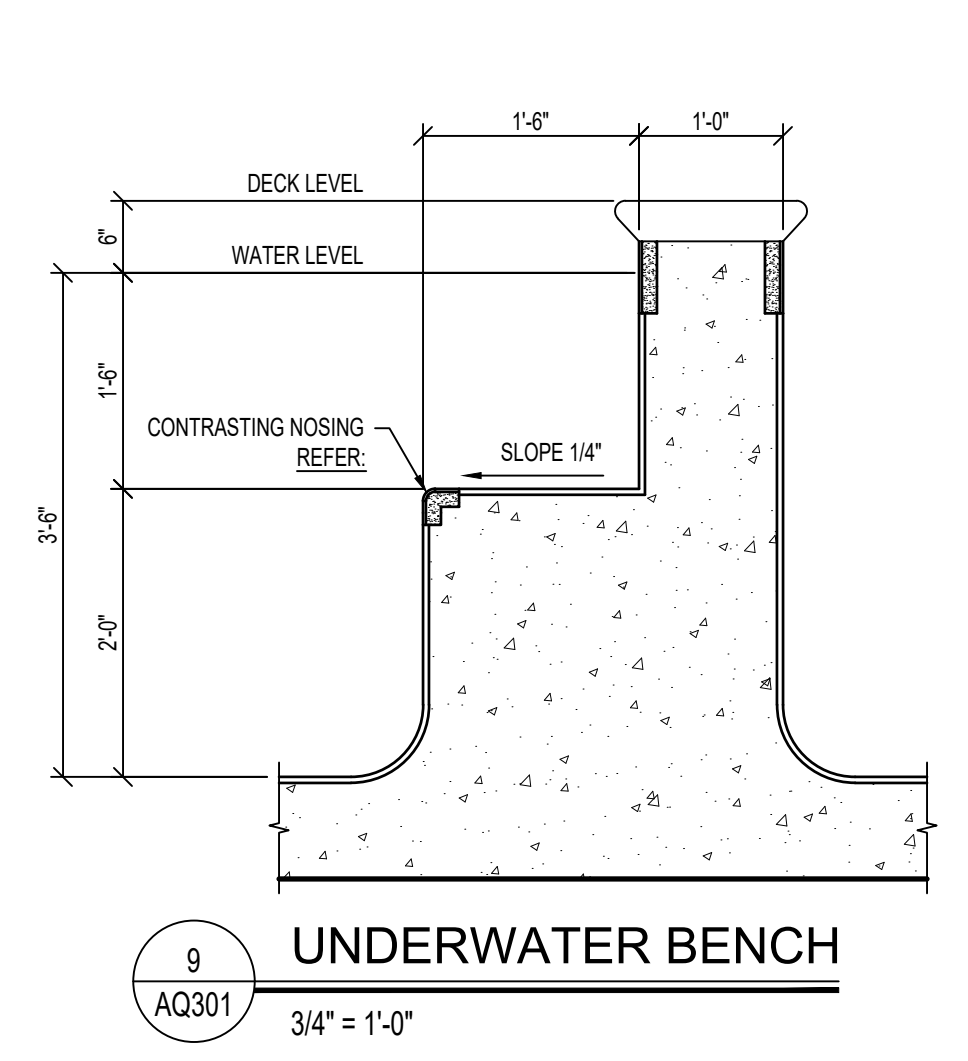
DRAWING TITLE  
LEISURE POOL PLAN  
& SECTIONS

AQ300

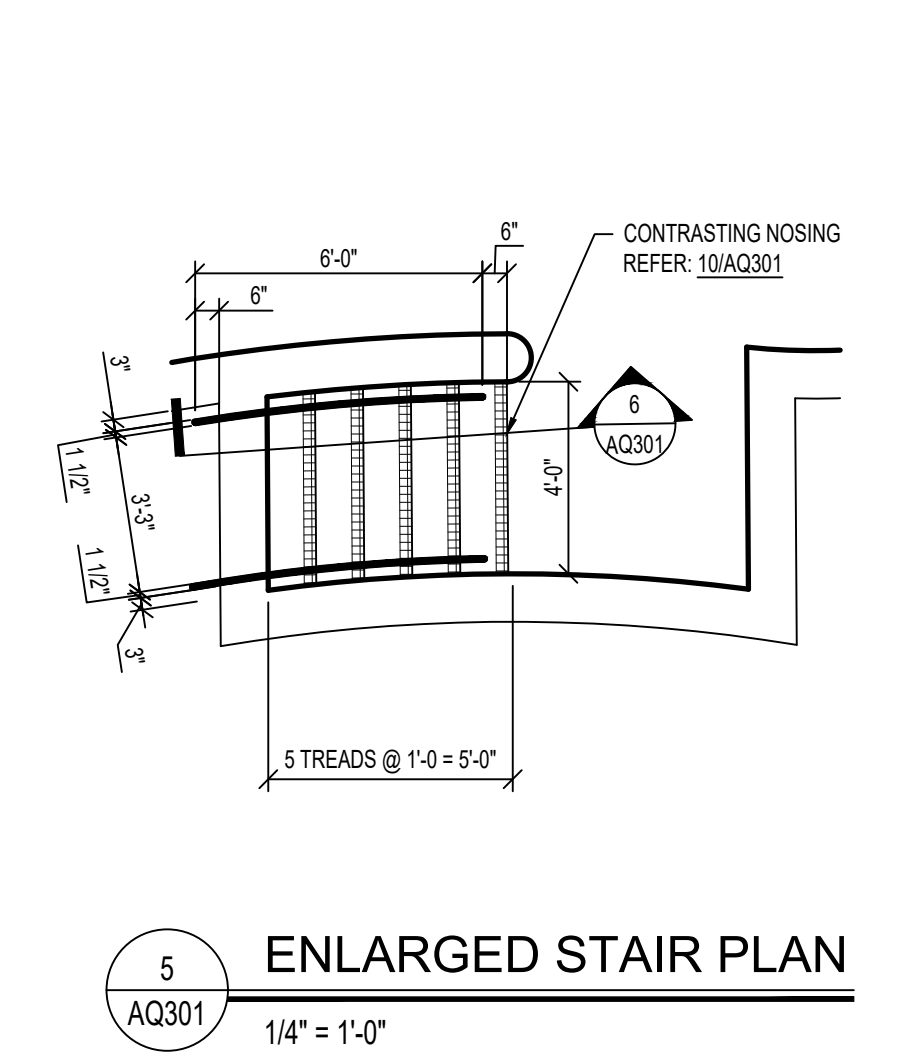




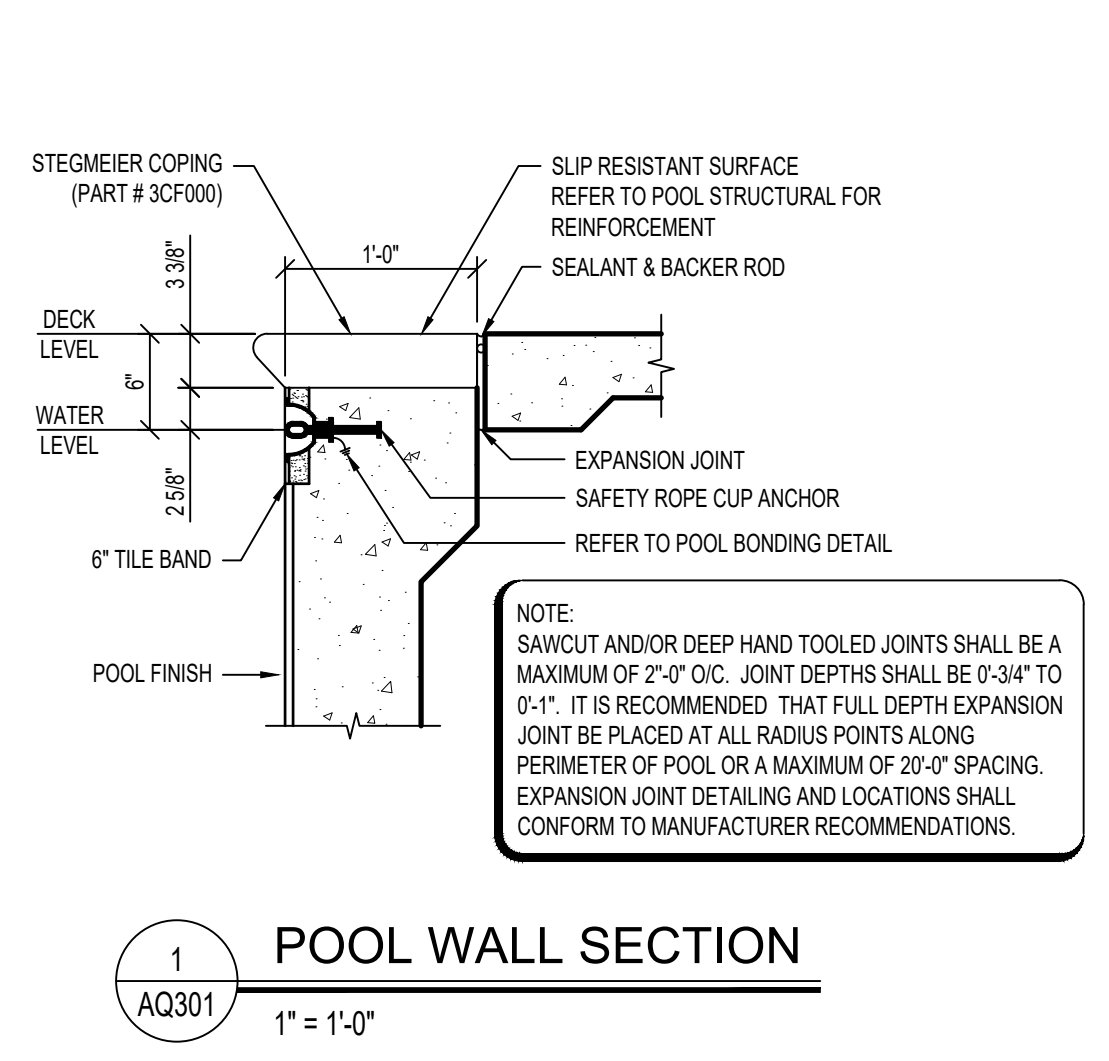
**13 GRAB RAILS & RECESSED STEPS**  
AQ301 1/2" = 1'-0"



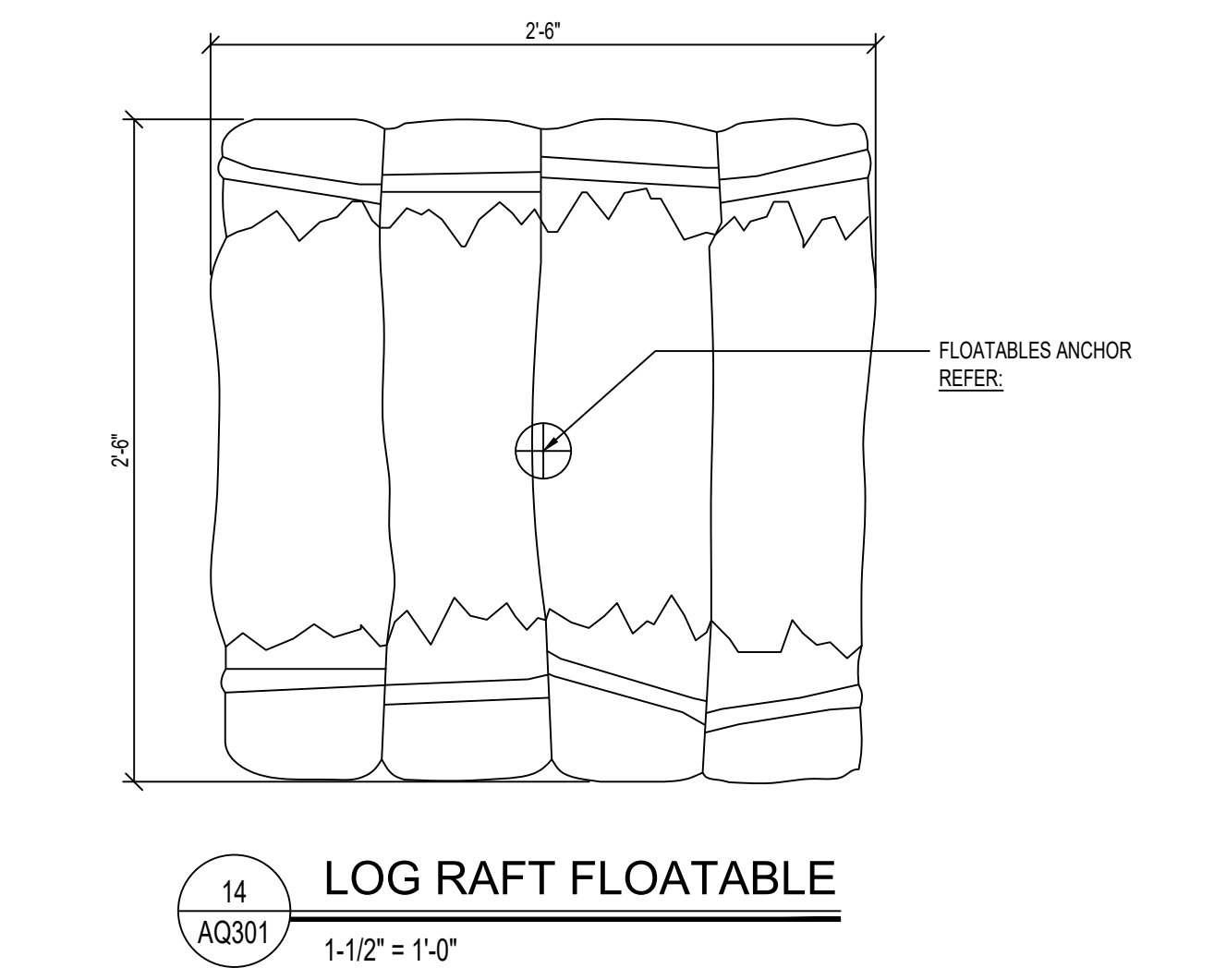
**9 UNDERWATER BENCH**  
AQ301 3/4" = 1'-0"



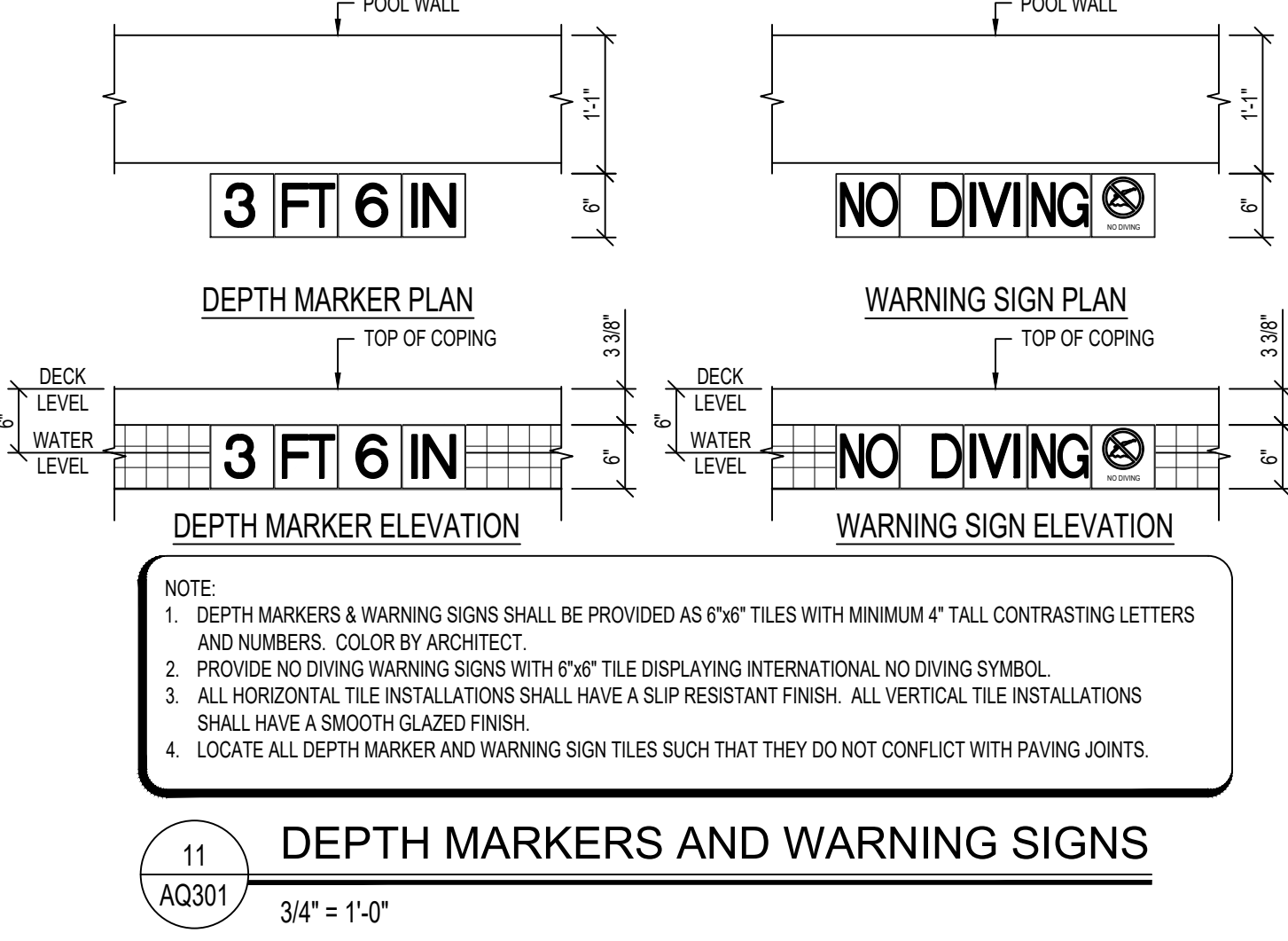
**5 ENLARGED STAIR PLAN**  
AQ301 1/4" = 1'-0"



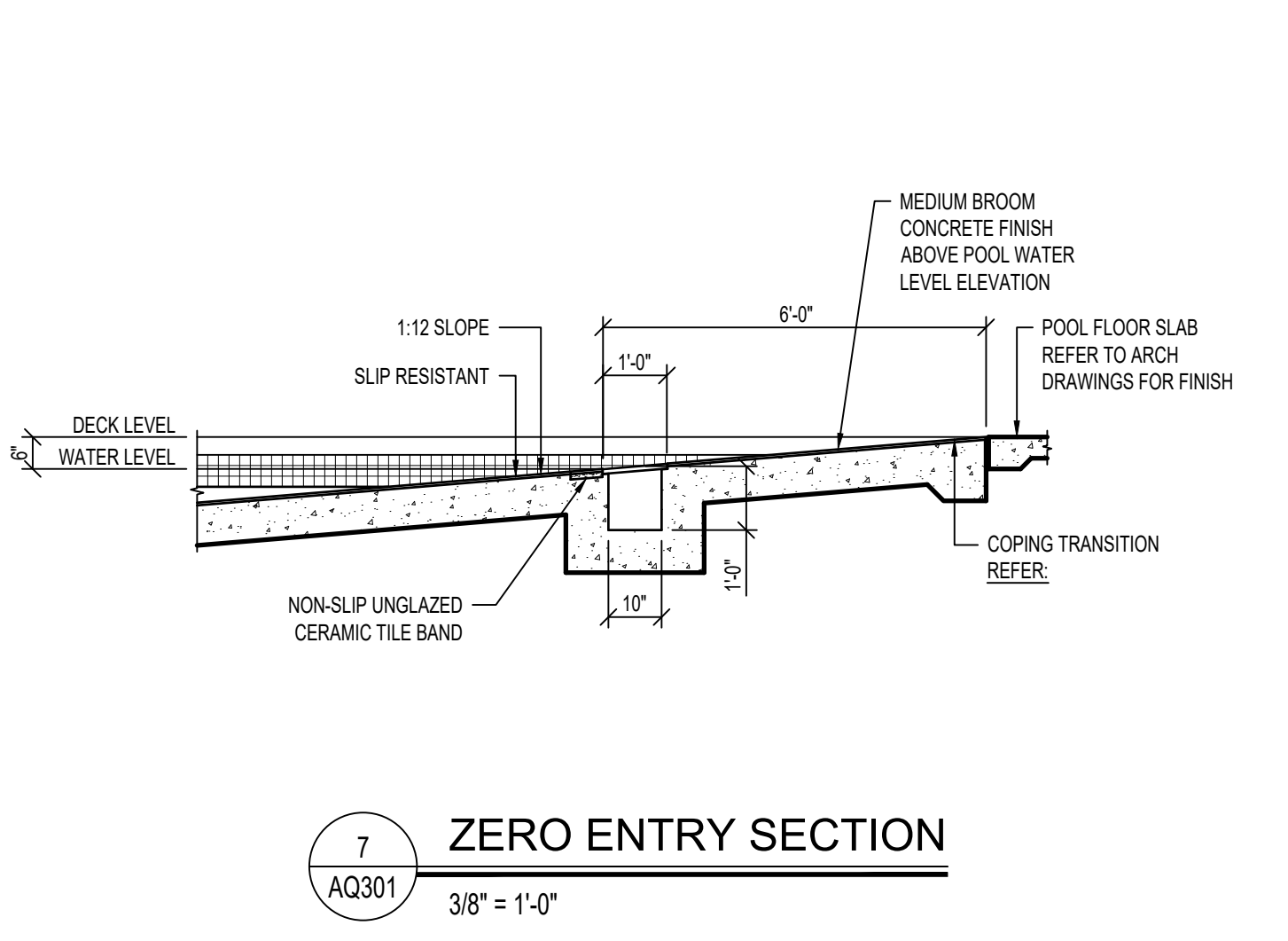
**1 POOL WALL SECTION**  
AQ301 1" = 1'-0"



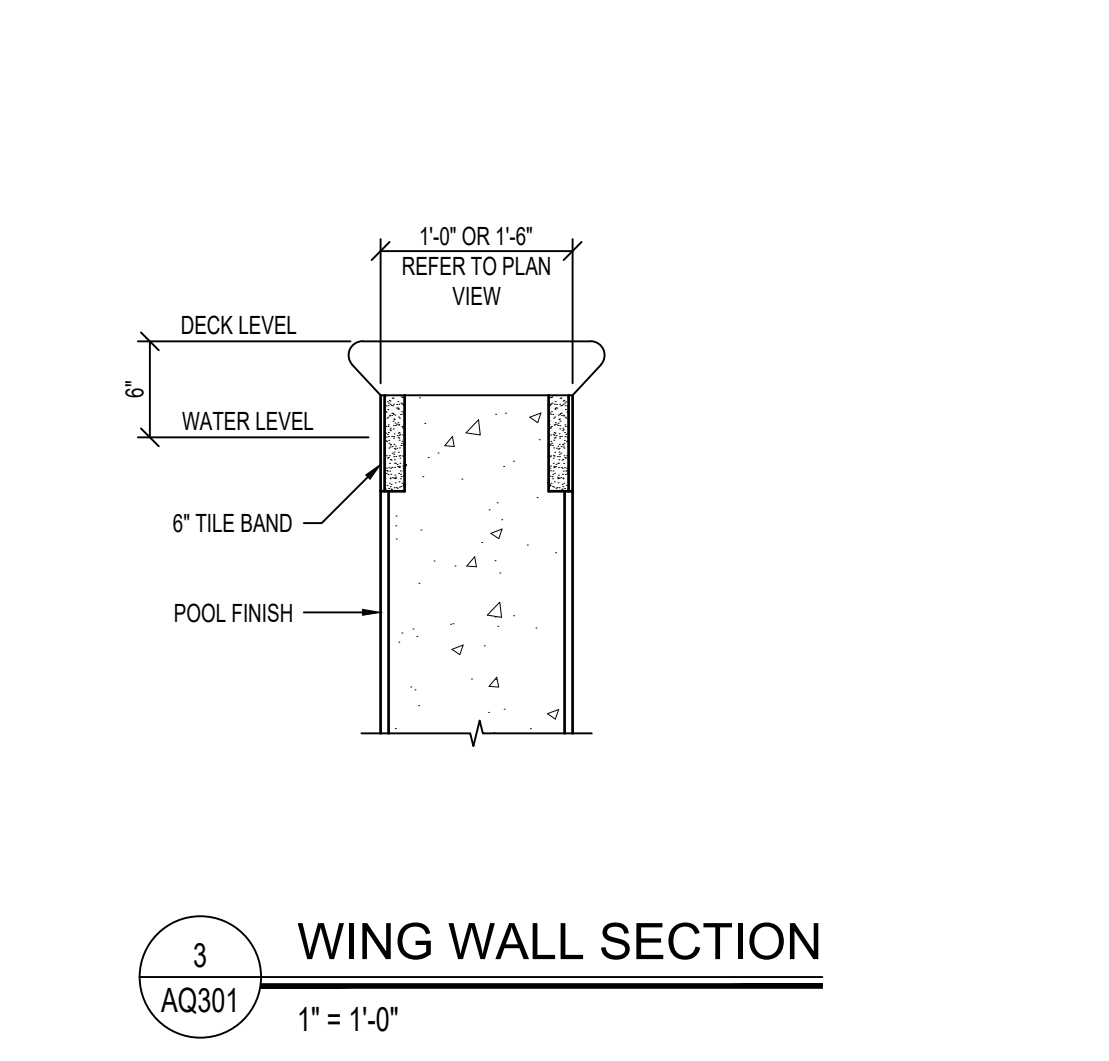
**14 LOG RAFT FLOATABLE**  
AQ301 1-1/2" = 1'-0"



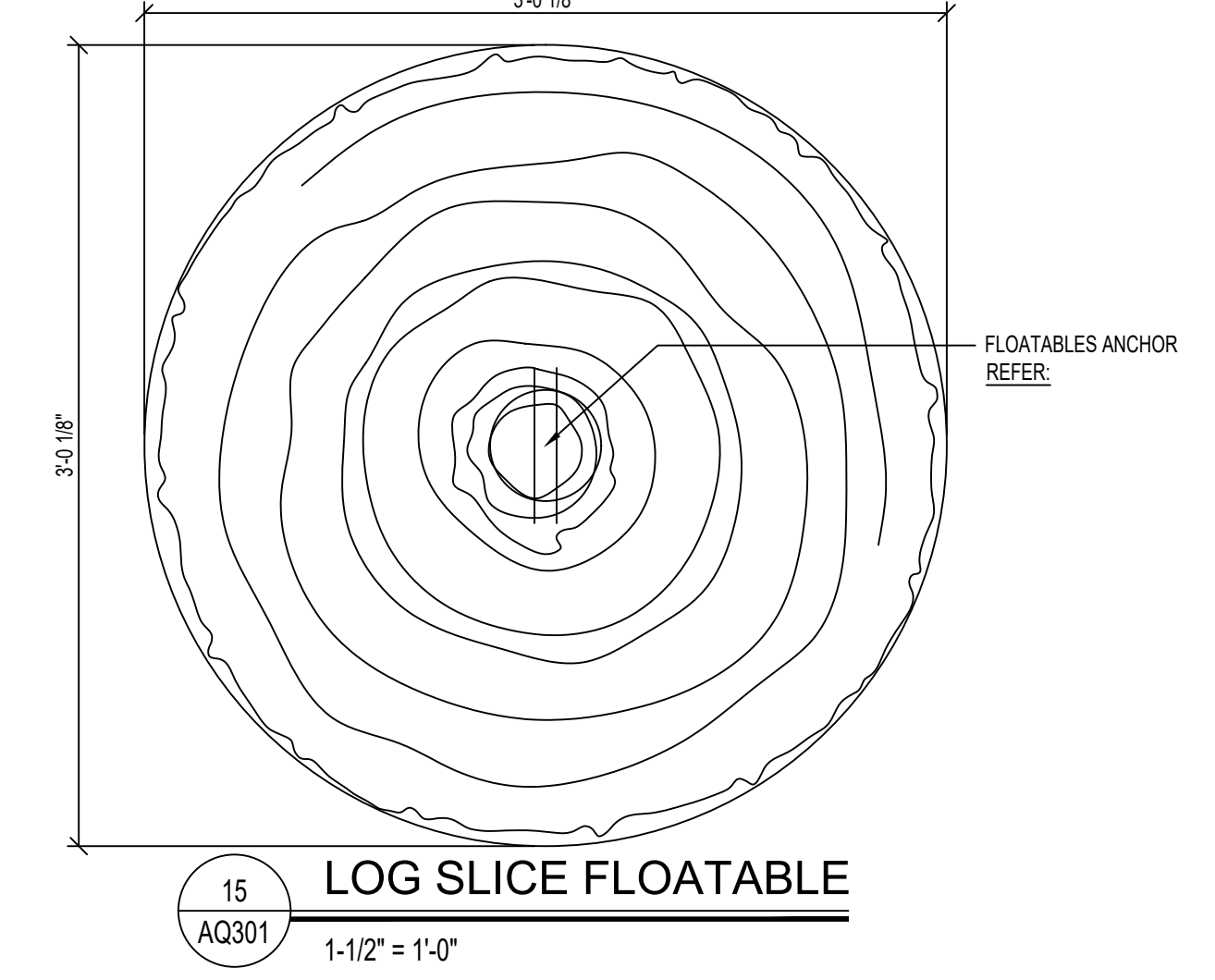
**11 DEPTH MARKERS AND WARNING SIGNS**  
AQ301 3/4" = 1'-0"



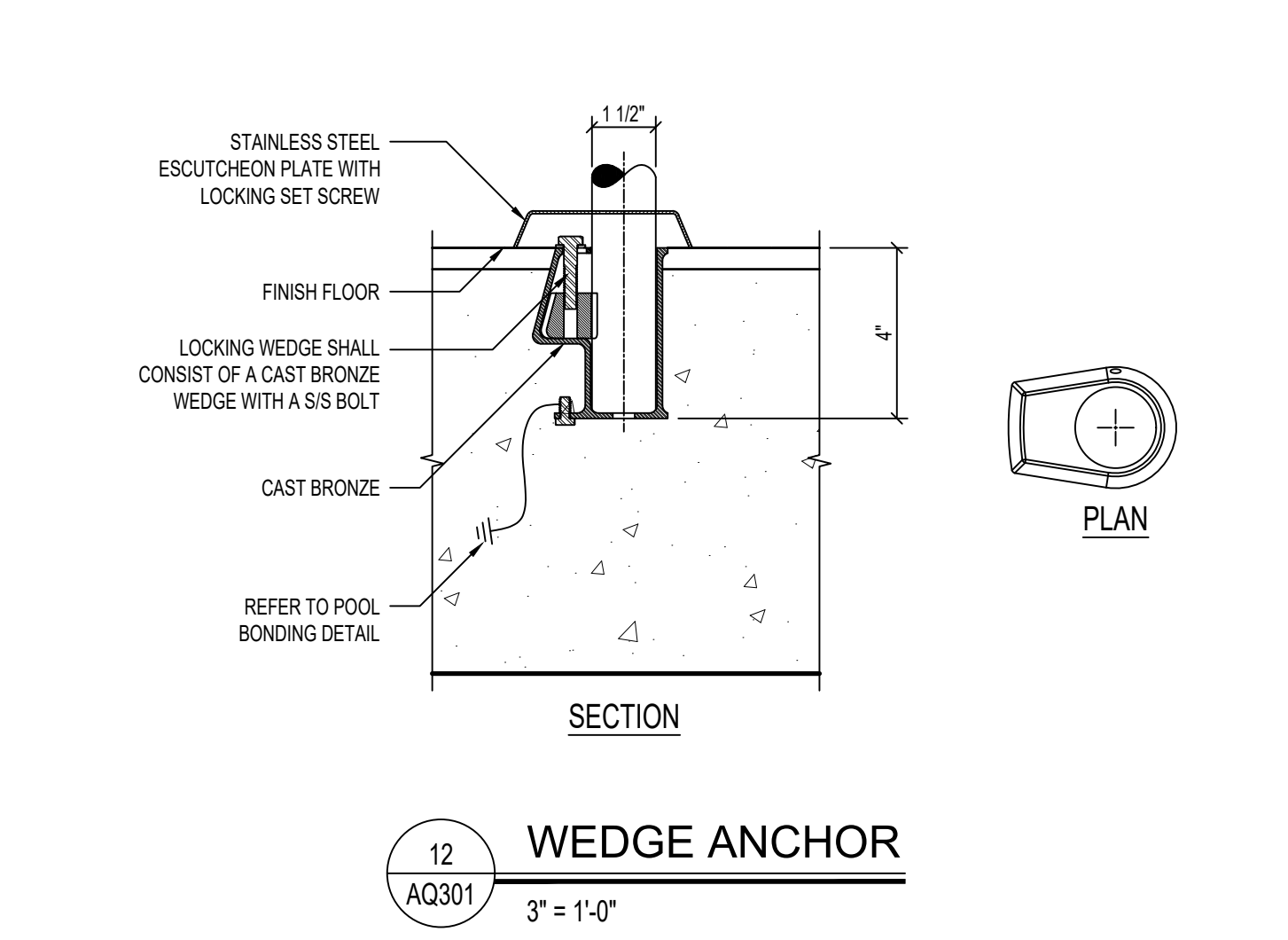
**7 ZERO ENTRY SECTION**  
AQ301 3/8" = 1'-0"



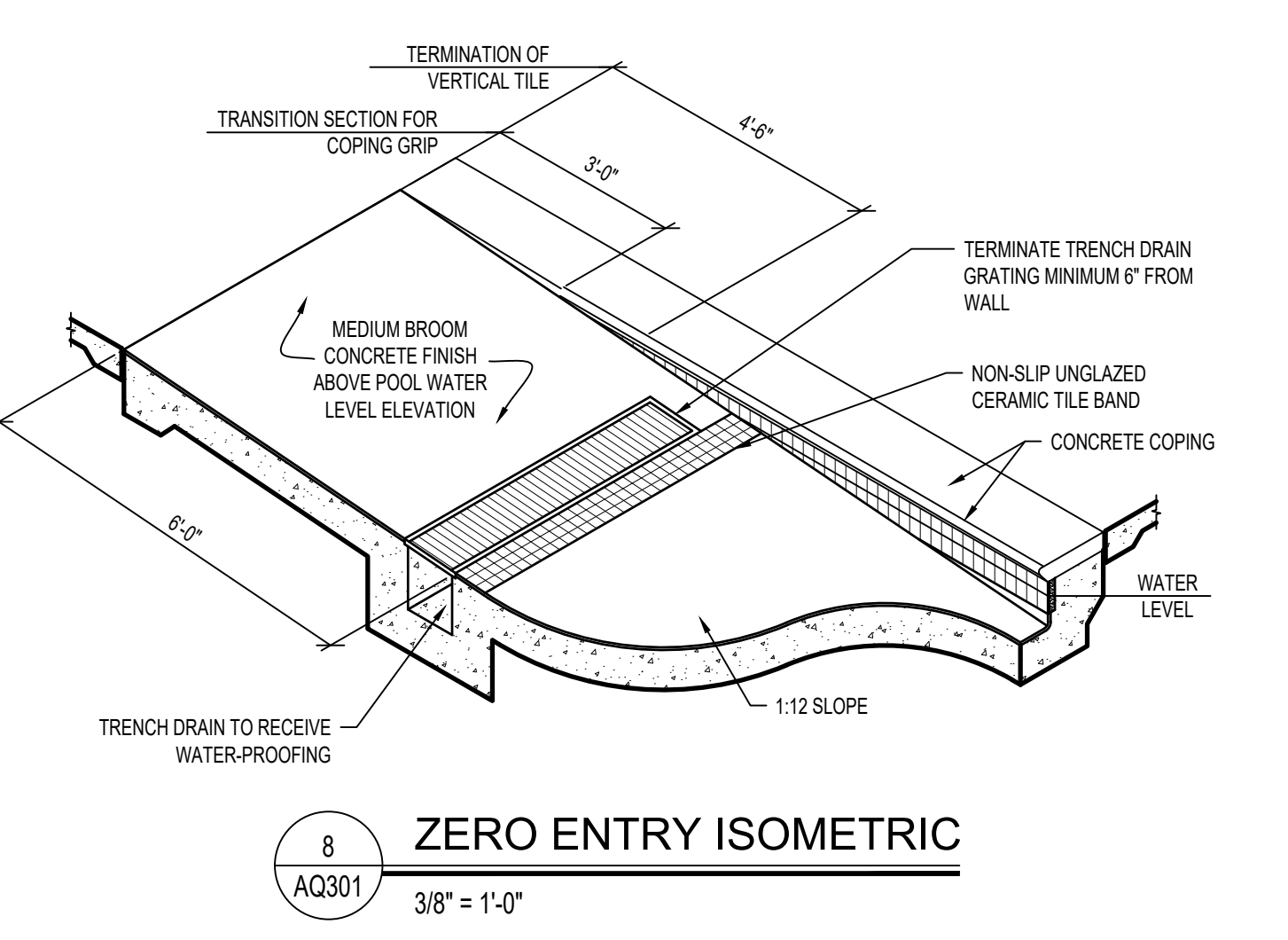
**3 WING WALL SECTION**  
AQ301 1" = 1'-0"



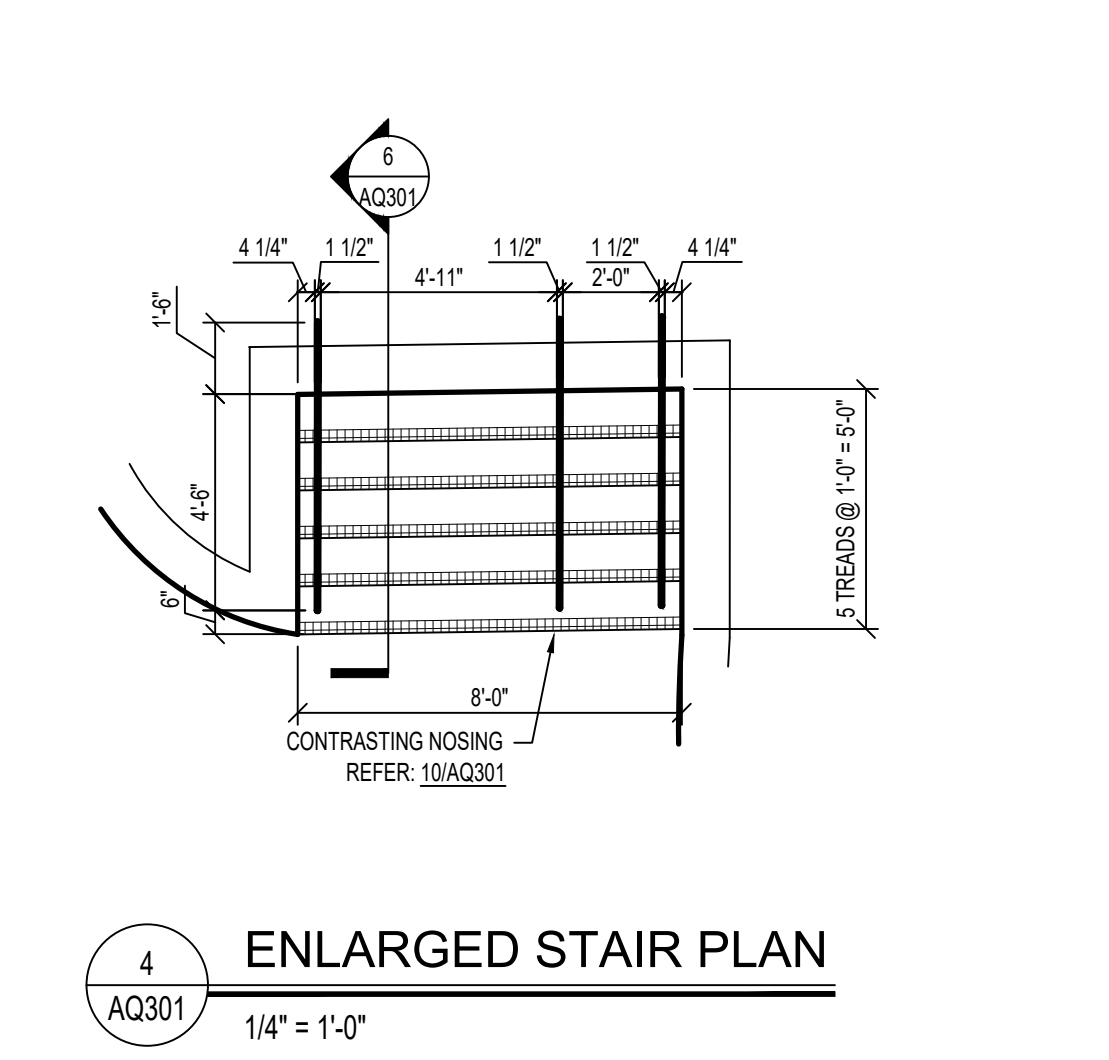
**15 LOG SLICE FLOATABLE**  
AQ301 1-1/2" = 1'-0"



**12 WEDGE ANCHOR**  
AQ301 3" = 1'-0"



**8 ZERO ENTRY ISOMETRIC**  
AQ301 3/8" = 1'-0"



**4 ENLARGED STAIR PLAN**  
AQ301 1/4" = 1'-0"

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PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY **WILLISTON**  
STATE **NORTH DAKOTA**

ISSUE DATES

DD	DESIGN DEVELOPMENT	01/20/2023
SD	SCHEMATIC DESIGN	12/15/2022
MARK	DESCRIPTION	DATE

PROJECT NO: **20224620**  
DRAWN BY: **KAS**  
CHECKED BY: **CCH**

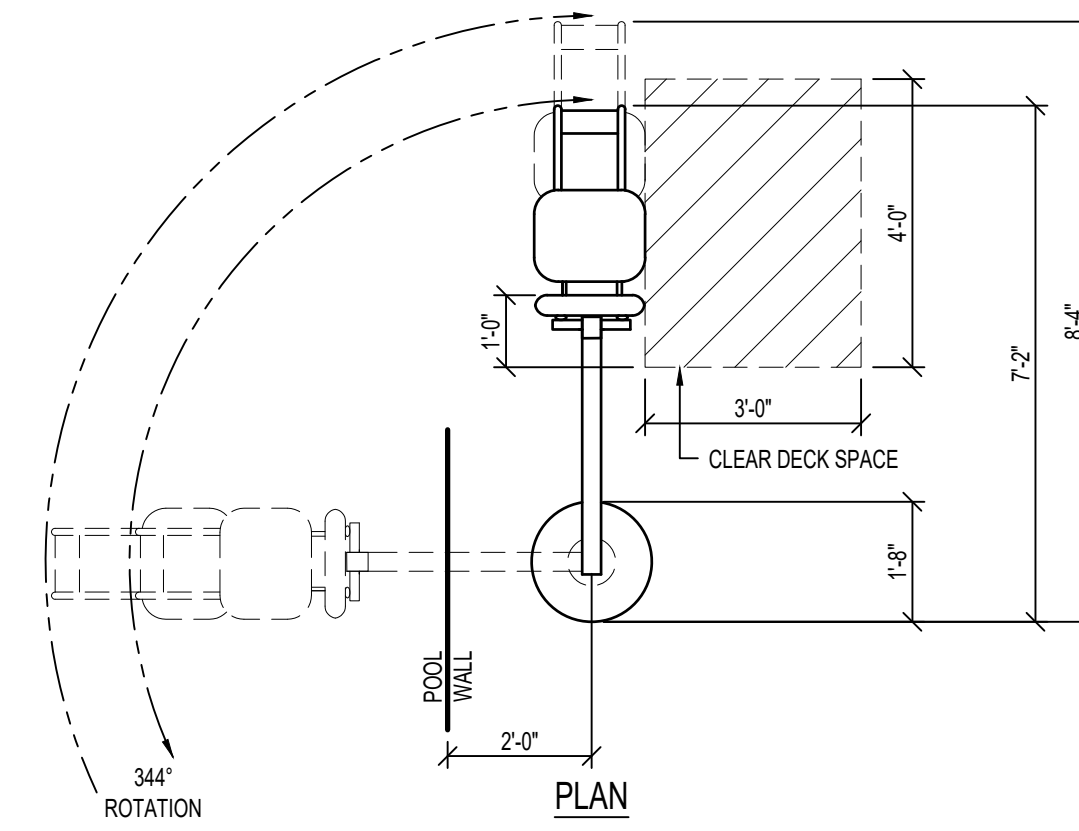
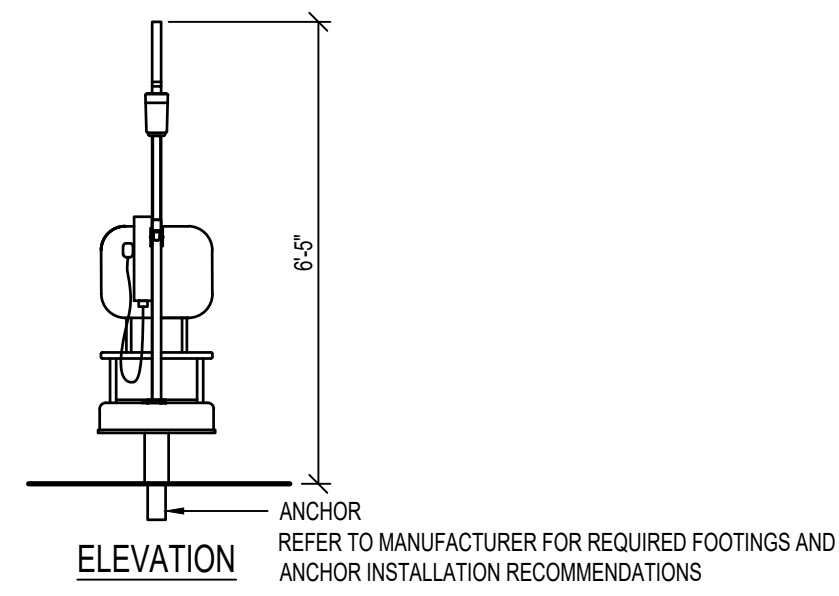
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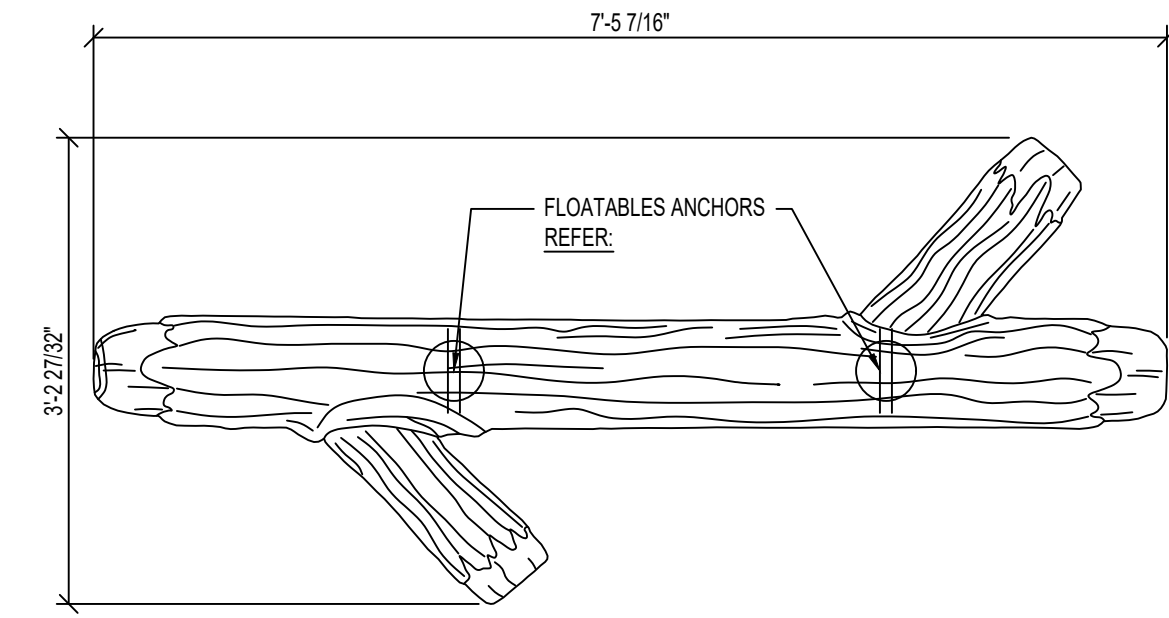
DRAWING TITLE  
**LEISURE POOL DETAILS**

**AQ301**

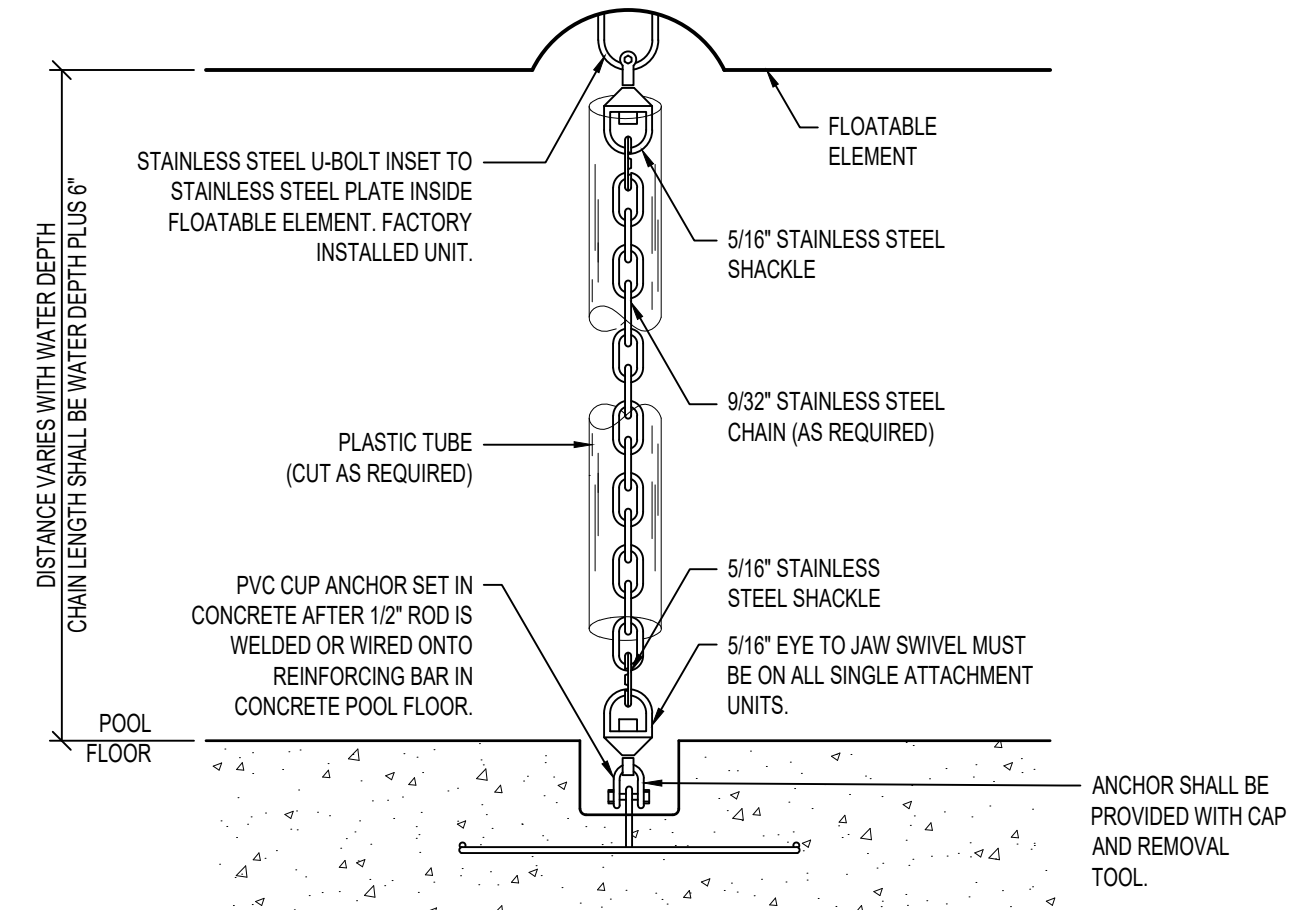
**PRELIMINARY - NOT FOR CONSTRUCTION**



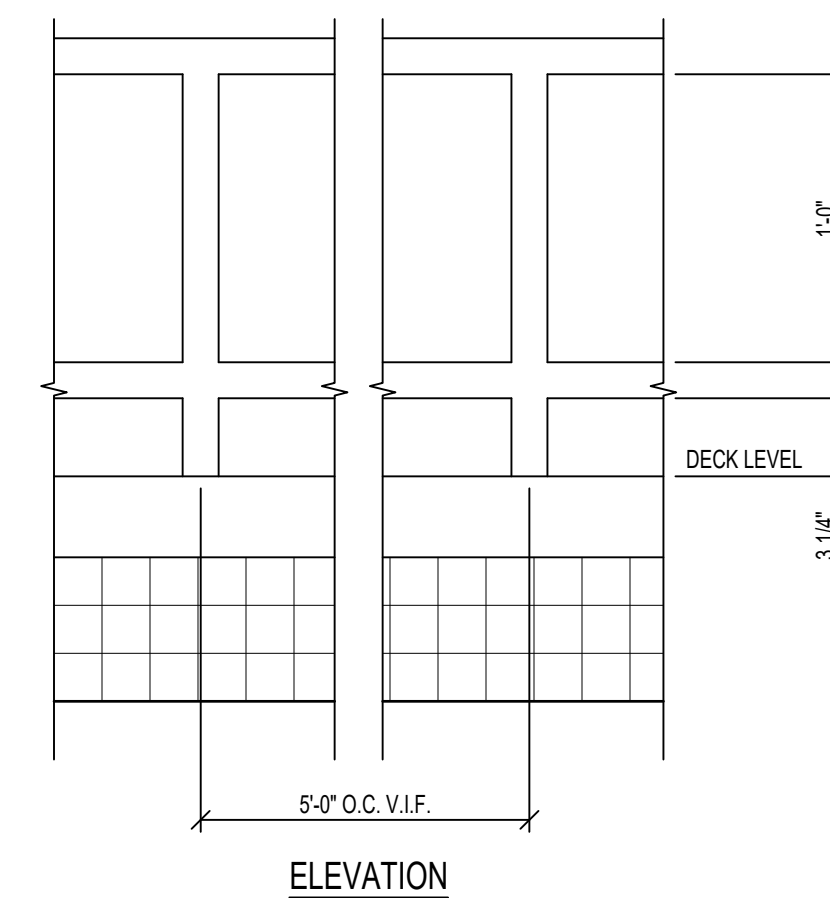
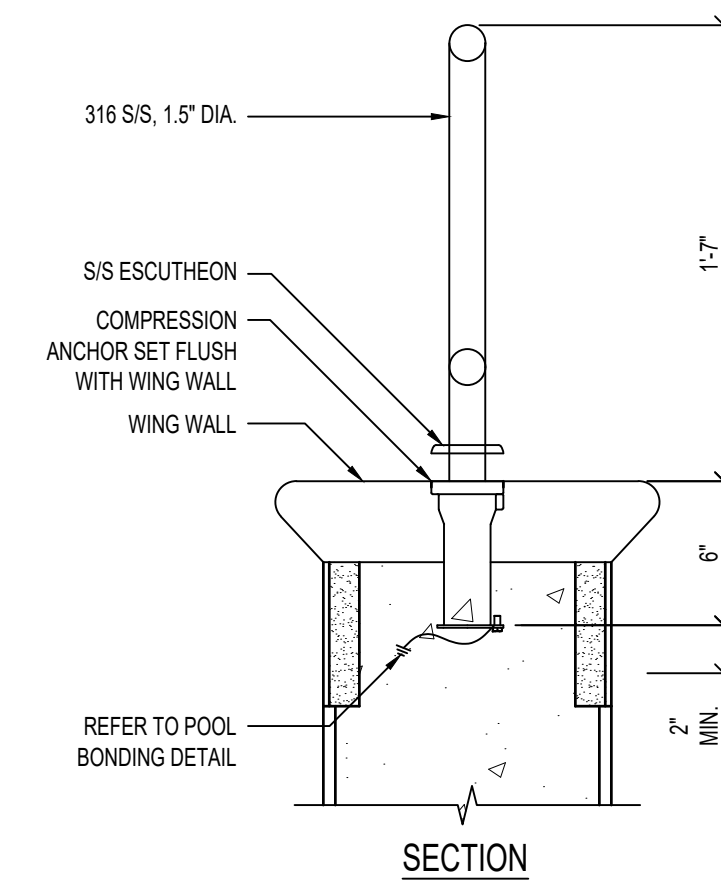
4 **POOL LIFT**  
AQ302 3/8" = 1'-0"



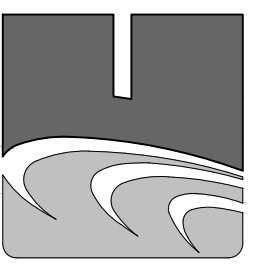
1 **LOG FLOATABLE**  
AQ302 3/4" = 1'-0"



2 **FLOATABLE ANCHOR**  
AQ302 1-1/2" = 1'-0"



3 **WING WALL RAILING**  
AQ302 1-1/2" = 1'-0"



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PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY **WILLISTON**  
STATE **NORTH DAKOTA**

ISSUE DATES

**PRELIMINARY - NOT FOR CONSTRUCTION**

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SD	SCHEMATIC DESIGN	12/15/2022
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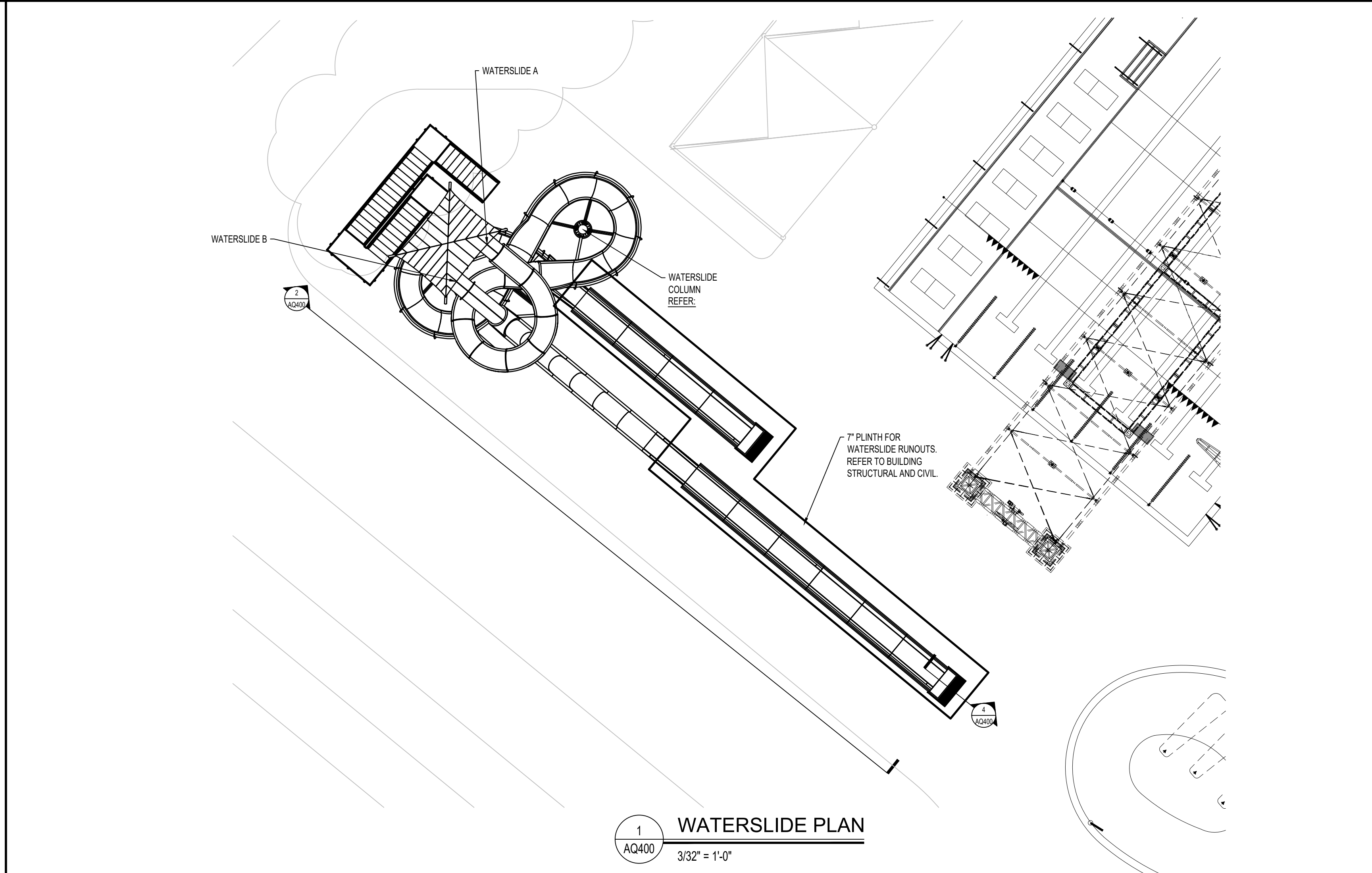
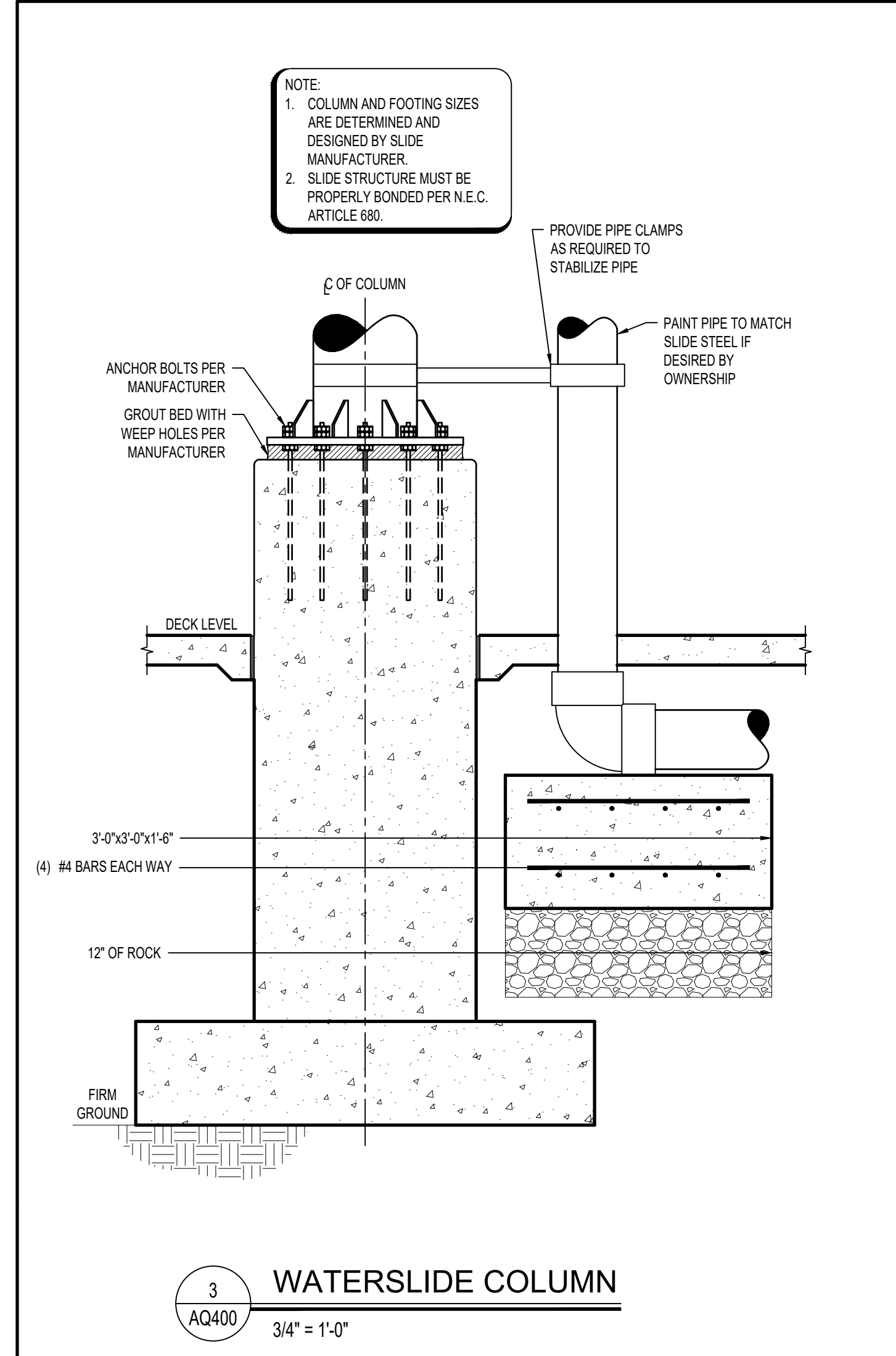
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DRAWING TITLE  
**LEISURE POOL DETAILS**

**AQ302**



**DEFERRED APPROVAL NOTICE**

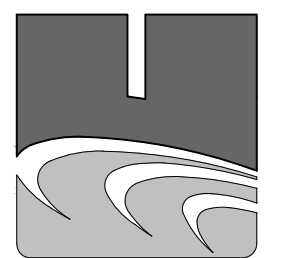
INSTALLATION OF THE WATERSLIDE/SPRAY FEATURES AND ASSOCIATED FEATURE FOOTINGS SHALL NOT COMMENCE UNTIL CONTRACTOR PROVIDES DETAILED DRAWINGS, SPECIFICATIONS, AND COMPLETE ZONE 4 SEISMIC CALCULATIONS BEARING THE SEAL, SIGNATURE, AND DATE OF A LICENSED PROFESSIONAL ENGINEER TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY OR THE DEPARTMENT HAVING JURISDICTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING PROCESS AND ALL COSTS ASSOCIATED WITH OBTAINING PERMITTING APPROVAL.

**WATERSLIDE DESIGN DATA**

POOL	WATERSLIDE 'A'	WATERSLIDE 'B'
PLATFORM HEIGHT	21'-0"	21'-0"
WATERSLIDE LENGTH	130.35'	47.12'
RUNOUT LENGTH	39'	54'



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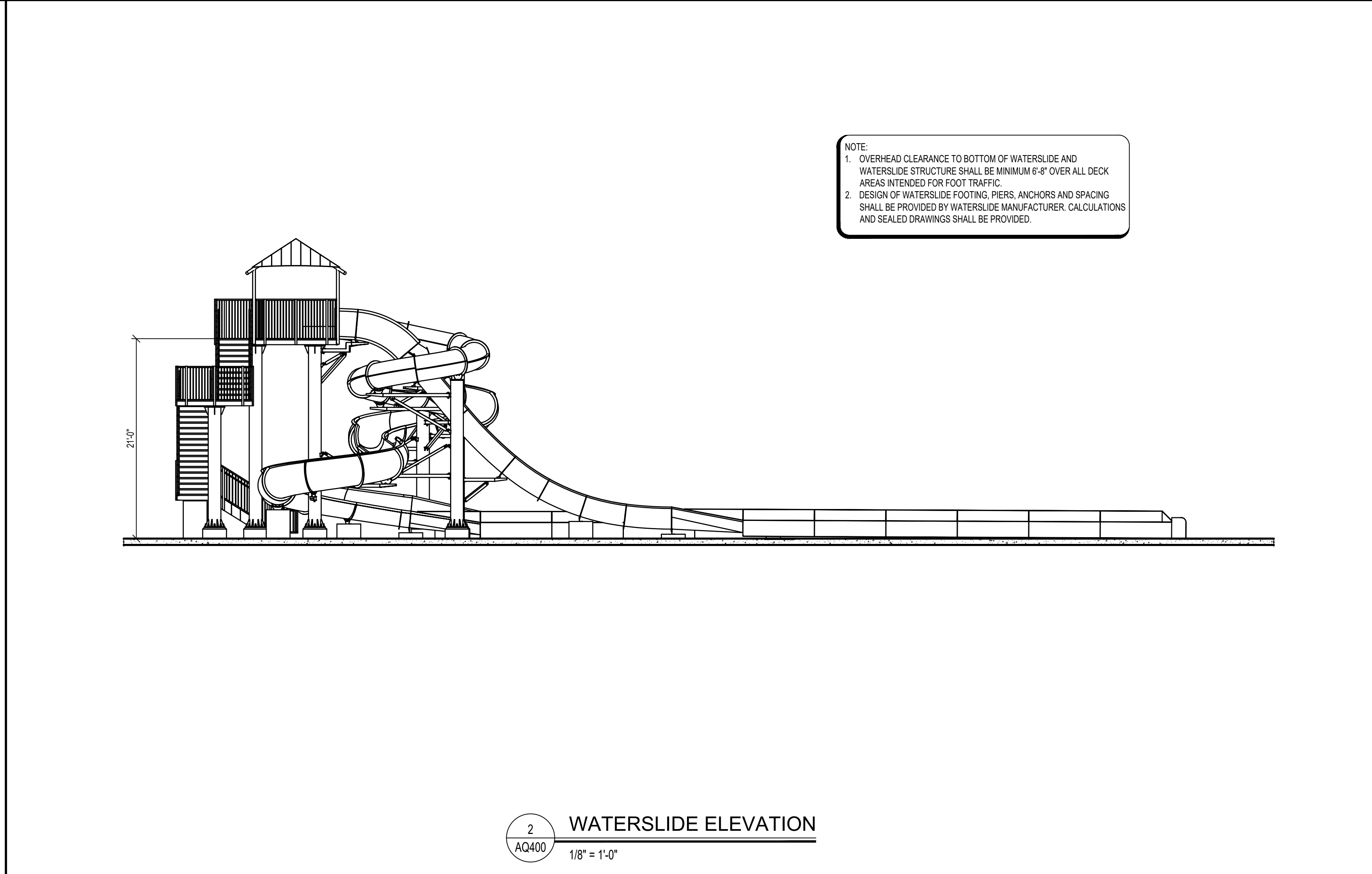
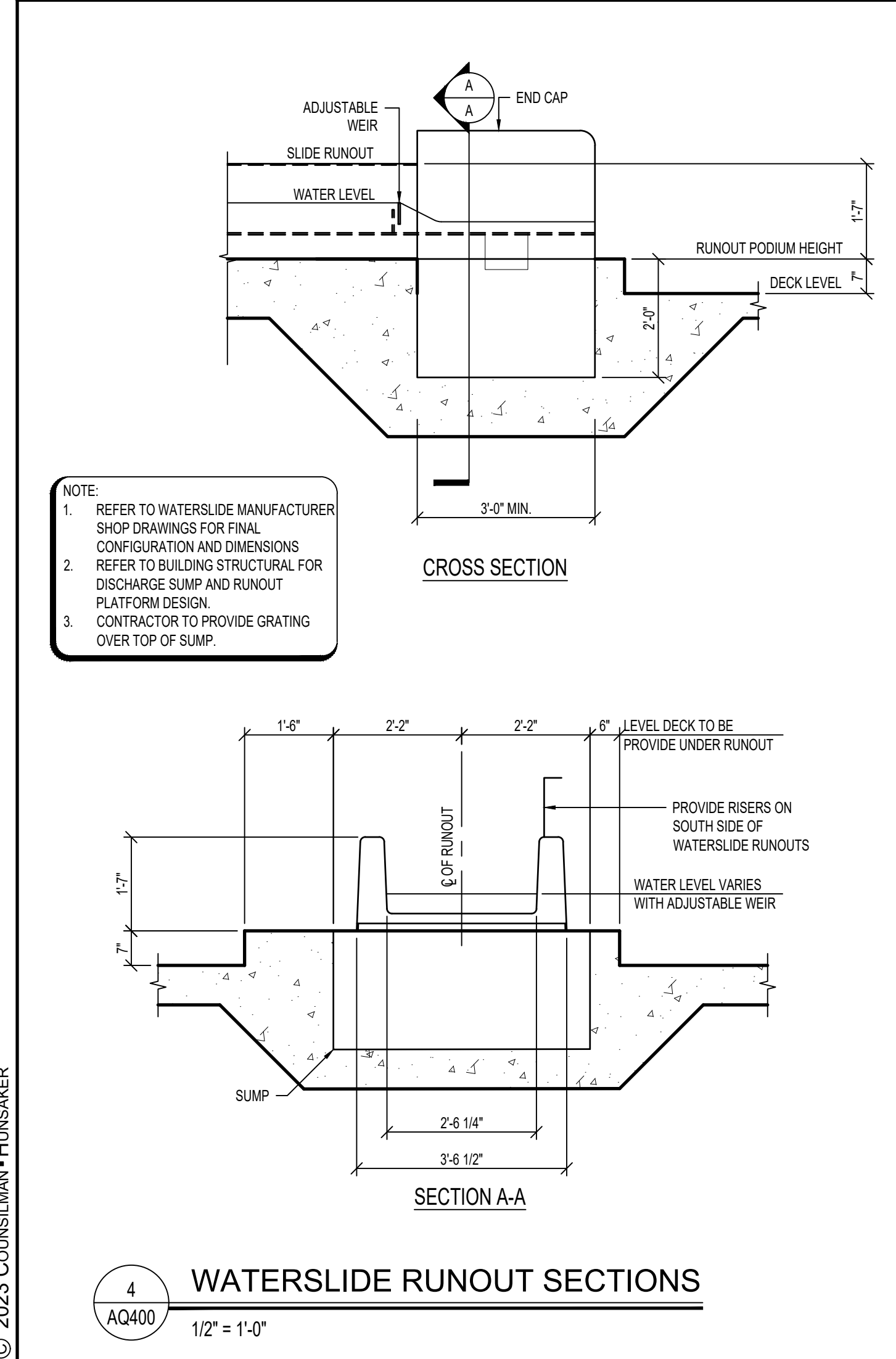
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DRAWING TITLE  
 WATERSLIDE PLAN,  
 SECTION AND  
 DETAILS

**AQ400**



HEATER SCHEDULE													
ID	POOL	MAKE	MODEL	QUANTITY	BOILER EFF (%)	INPUT (MBH)	AIR INLET SIZE (INCHES)	PIPE SIZE (IN/OUT)	VENT SIZE (INCH)	ELECTRICAL DATA (2 REQUIRED CONNECTIONS PER HEATER)			
										V	PH	HZ	AMP
H1	LEISURE	LOCHINVAR	CPN-1802	2	85	1,800	12	2.5	14	120	1	60	30
H2	FITNESS	LOCHINVAR	CPN-1262	2	85	1,250	12	2.5	12	120	1	60	30

NOTE:  
 1. THE BASIS OF DESIGN MANUFACTURER IS LOCHINVAR. ALTERNATE MANUFACTURER: RAYPACK OR APPROVED EQUAL.  
 2. HEATERS MUST BE INSTALLED ON HOUSEKEEPING PADS.  
 3. HEATERS FOR EACH POOL SHALL BE STACKED ON TOP OF EACH OTHER. REFER TO SPECIFICATION AND MANUFACTURER FOR MORE INFORMATION.  
 4. REFER: XXXXX

CHEMICAL FEED SCHEDULE					
ID	DESCRIPTION	MANUFACTURER	MODEL	HP	FLOW
CF1	LEISURE POOL CHLORINATION BOOSTER PUMP REFER:	ACCUTAB	3070AT	1.5	244 LBS/DAY
CF2	FITNESS CHLORINATION BOOSTER PUMP REFER:	ACCUTAB	3070AT	1.5	244 LBS/DAY
CF3	LEISURE POOL CO2 FEED REFER:	BECS	BECSYSC02	N/A	20-200 SCFH
CF4	FITNESS POOL CO2 FEED REFER:	BECS	BECSYSC02	N/A	20-200 SCFH

NOTE:  
 1. THE MANUFACTURER INDICATED IS BASIS OF DESIGN.  
 2. PROVIDE WITH 120 VOLT, SINGLE PHASE, ADJUSTABLE FEED.  
 3. INTERLOCK WITH POOL RECIRCULATION PUMP.

FILL SCHEDULE							
ID	POOL	FRESH WATER SUPPLY GPM (MIN.)	FILL FUNNEL SIZE	REDUCER SIZE	SPLASH COLLAR SIZE	FILL LINE SIZE TO POOL	DESIGN FILL TIME (HOURS)
L1	LEISURE	62	10"	10"X6"	8"	6"	24
L2	FITNESS	44	10"	10"X6"	8"	6"	48

NOTE:  
 REFER: XXXXX

GENERAL POOL MECHANICAL ROOM NOTES
<ol style="list-style-type: none"> <li>EQUIPMENT ROOM FLOOR AND PUMP PIT FLOOR MUST SLOPE 1/4" TO 1/2" PER FOOT TO FLOOR DRAINS OR SUMP PIT. REFER TO PLUMBING.</li> <li>PROVIDE HOSE BIBBS FOR HOUSE CLEANING PURPOSES. REFER BUILDING MECHANICAL DRAWINGS.</li> <li>THE INSIDE SURFACES OF THE BACKWASH CATCH BASIN MUST BE WATERPROOFED. REFER TO SPECIFICATION.</li> <li>VENTILATION OF POOL MECHANICAL ROOM AND CHEMICAL STORAGE AREAS PER LOCAL, STATE AND INTERNATIONAL MECHANICAL CODE MINIMUM. REFER TO MECHANICAL.</li> <li>THE FOLLOWING INFORMATION MUST BE LAMINATED AND POSTED IN THE POOL MECHANICAL ROOM: BACKWASH PROCEDURE, POOL FILLING AND DRAINING, VALVE REFERENCE CHART, POOL MECHANICAL ROOM PLAN, POOL PIPING SCHEMATICS, AND POOL SYSTEMS SCHEMATICS.</li> <li>REFER TO MECHANICAL FOR HVAC SYSTEMS DESIGN.</li> <li>REFER TO ARCHITECTURAL DRAWINGS FOR LADDER RUNGS, SAFETY CHAIN, AND REMOVABLE RAILING AT PUMP PIT.</li> </ol> <p>PIPING</p> <ol style="list-style-type: none"> <li>MINIMUM 7'-0" CLEARANCE BENEATH ALL OVERHEAD PIPING.</li> <li>PROVIDE AND SUPPORT OVERHEAD AND VERTICAL PIPING PER SPECIFICATION REQUIREMENTS.</li> <li>LABEL AND IDENTIFY ALL PIPING IN COMPLIANCE WITH THE SPECIFICATIONS.</li> <li>ALL FLOW METERS MUST BE SIZED TO MATCH THE PIPE ON WHICH IT IS INSTALLED. PROVIDE PRESSURE GAUGES ON INFLUENT AND EFFLUENT SIDE OF EACH FILTRATION SYSTEM AND A FULL LINE SIZE FLOW METER ON FILTER RETURN.</li> <li>HYDROSTATICALLY TEST ALL PIPING AT 90 PSI FOR TWO HOURS AND MAINTAIN A PRESSURE OF 20 PSI IN ALL PIPING THROUGHOUT CONSTRUCTION. SECURE ALL FIXTURES PER SPECIFICATION REQUIREMENTS BEFORE HYDROSTATIC TEST.</li> <li>REFER TO DETAILS <u>X.X ON DRAWING AQ.X.X</u> FOR INSTALLATION OF PIPE SUPPORTS.</li> <li>ALL PIPING ROUTED THROUGH THE CHEMICAL ROOM WALLS INTO THE MAIN MECHANICAL ROOM MUST BE PROPERLY SEALED AND FIREPROOFED PER THE FIRE RATING OF THE ROOM. REFER TO ARCHITECT.</li> </ol> <p>CHEMICAL TREATMENT</p> <ol style="list-style-type: none"> <li>CHEMICAL FEED REQUIREMENTS - REFER TO THE POOL SYSTEMS SCHEMATICS ON <u>AD-1</u>.</li> <li>INTERLOCK POOL RECIRCULATION PUMPS WITH ITS CORRESPONDING WATER CHEMISTRY CONTROLLER, CHEMICAL FEED PUMPS AND HEATERS.</li> <li>PROVIDE SIGNAGE ON CHEMICAL ROOM DOORS IN COMPLIANCE WITH THE STATE FIRE CODE. <u>REFER:</u></li> <li>SECURE CHEMICAL METERING PUMP FEED LINES TO WALL AND/OR OVERHEAD WITH CLIPS OR DEVICES THAT DO NOT CRIMP, DISTORT OR ALLOW HIGH AND LOW AREAS IN TUBING RUNS. PROVIDE CHECK VALVE AND SHUT-OFF VALVE BEFORE LINES ENTER POOL RETURN PIPING.</li> <li>WATER CHEMISTRY CONTROLLERS MUST CONTROL THE SANITIZING SYSTEM AND PH CONTROL SYSTEM AND SHUT THEM DOWN UPON LOSS OF SAMPLE STREAM FLOW.</li> <li>SAMPLE FEED PIPING TO/FROM THE RECIRCULATION SYSTEM TO THE WATER CHEMISTRY CONTROLLER MUST BE PIPED PER THE SYSTEMS SCHEMATIC. BYPASS PIPING MUST BE SADDLED OR TEED. NO TAPPING OR DRILLING INTO THE PIPING WILL BE ALLOWED.</li> <li>PROVIDE ETHERNET CONNECTION FOR REMOTE ACCESS TO ALL WATER CHEMISTRY CONTROLLERS. REFER TO ELECTRICAL.</li> <li>INSTALL SANITIZER INJECTION POINT DOWNSTREAM OF PH BUFFER INJECTION POINT ON FILTERED WATER RETURN PIPE. CHEMICAL INJECTION POINTS MUST BE LOCATED DOWNSTREAM OF ALL OTHER EQUIPMENT/SYSTEMS IN THE POOL MECHANICAL ROOM AT A MAXIMUM HEIGHT OF 7'-0" ABOVE FINISHED FLOOR. <u>REFER:</u></li> </ol> <p>ELECTRICAL</p> <ol style="list-style-type: none"> <li>GFCIS PROVIDED AT OUTLETS. REFER TO ELECTRICAL.</li> <li>POOL EQUIPMENT ROOM AND CHEMICAL STORAGE AREAS MUST BE PROVIDED WITH ARTIFICIAL LIGHTING SUFFICIENT TO ILLUMINATE ALL EQUIPMENT AND SUPPLIES. REFER TO ELECTRICAL.</li> <li>CONDUIT MUST BE ROUTED OVERHEAD OR BELOW GRADE.</li> <li>PROVIDE ELECTRICAL CONNECTION TO POOL HEATERS. REFER TO ELECTRICAL.</li> </ol>

FILTER SCHEDULE											
ID	POOL	MANUFACTURER	FILTER MODEL	QTY.	FILTRATION TYPE	MAXIMUM FILTRATION RATE (GPM/SQ. FT.)	REQUIRED FILTRATION AREA (SQ. FT.)	DESIGN FILTRATION RATE (GPM/SQ. FT.)	DESIGN FILTRATION AREA (SQ. FT.)	FILTER BACKWASH RATE (GPM/SQ. FT.)	BACKWASH FLOW RATE PER FILTER (GPM)
F1	LEISURE	NEPTUNE BENSON	SHFFG 48-84	2	HRS	13.0	61.5	12.6	63.4	20.0	634
F2	FITNESS	NEPTUNE BENSON	SHFFG 42-60	2	HRS	13.0	38.5	12.3	40.8	20.0	408

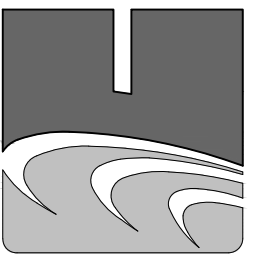
NOTE:  
 1. BACKWASH METHOD MUST BE MANUAL.  
 2. ALL FILTER SUPPORTS MUST BE SEISMICALLY RATED FOR THE SEISMIC ZONE IN WHICH IT IS INSTALLED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS.  
 3. FILTER MANUFACTURER MUST CERTIFY FILTER MEDIA.  
 4. VALVES MUST BE PROVIDED TO BACKWASH EACH FILTER VESSEL INDEPENDENTLY.  
 5. THE BACKWASH PIPING MUST TERMINATE NO CLOSER THAN 6" ABOVE THE FLOOD RIM OF THE BACKWASH CATCH BASIN OR TWICE THE PIPE DIAMETER, WHICHEVER IS GREATER.  
 6. FILTER TANK ASSEMBLIES MUST BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL FOR A MAXIMUM FLOW RATE 20 GPM PER SQUARE FOOT OF FILTER MEDIA.  
 7. THE BACKWASH THROTTLING VALVE(S) HANDLE MUST BE REMOVED AND TURNED OVER TO THE OWNER ONCE THE BACKWASH FLOW RATE(S) HAVE BEEN TESTED, ADJUSTED AND BALANCED.  
 8. PROVIDE 1" DIAMETER, SCHEDULE 80 PIPE FROM THE AUTOMATIC AIR VENT ON EACH OF THE FILTER VESSEL TO THE NEAREST FLOOR DRAIN OR BACKWASH CATCH BASIN. THE VENT PIPE MUST BE SLOPED TO THE DRAIN.  
 9. VESSEL MUST BE BACKWASHED AT NO LESS THAN 15.0 GPM/SF.

PUMP SCHEDULE												
ID	DESCRIPTION	MANUFACTURER	MODEL	SIZE	GPM	TDH	HP	NPSHR	HAIR & LINT		NOTES	
									MAKE	SIZE		
PP1	LEISURE POOL RIVER PUMP REFER:	AURORA	5X6X9.5A	6"X5"	1200	45	20	8.08	MERMADE	10"X6"	1,2,3,4, 6,7	
PP2	LEISURE POOL RIVER PUMP REFER:	AURORA	5X6X9.5A	6"X5"	1200	45	20	8.08	MERMADE	10"X6"	1,2,3,4, 6,7	
PP3	LEISURE POOL RECIRCULATION PUMP REFER:	AURORA	5X6X9.5A	6"X5"	800	80	30	8.08	MERMADE	10"X6"	1,2,3,4,9	
PP4	LEISURE POOL FEATURE PUMP REFER:	AURORA	2.5X3X9.5	3"X2.5"	300	55	7.5	11.00	MERMADE	6"X3"	1,2,3,4, 6,7	
PP5	FITNESS POOL RECIRCULATION PUMP REFER:	AURORA	3X4X9.5	4"X3"	500	80	20	7.54	MERMADE	8"X4"	1,2,3,4,9	
PP6	CLOSED FLUME SLIDE PUMP REFER:	AURORA	3X4X9.5	4"X3"	500	55	15	7.54	MERMADE	8"X4"	1,2,3,4, 5,6,7,8	
PP7	OPEN FLUME SLIDE PUMP REFER:	AURORA	5X6X9.5A	6"X5"	1000	55	20	7.89	MERMADE	10"X6"	1,2,3,4, 5,6,7,8	

NOTE:  
 1. THE MANUFACTURER INDICATED IS BASIS OF DESIGN. PUMP MANUFACTURERS: GRISWOLD, HERBORNER, PADO OR AURORA MUST BE CONSIDERED EQUAL PROVIDED THEY MEET SPECIFICATIONS AS INDICATED IN BID DOCUMENTS.  
 2. POOL PUMPS AND STRAINERS MUST BE INSTALLED ON HOUSEKEEPING PADS.  
 3. PROVIDE INFLUENT AND EFFLUENT GAUGES FOR EACH PUMP. PRESSURE GAUGES HAVE A RANGE OF 0-60 PSI. COMPOUND GAUGES HAVE A RANGE OF 0-30 HG / 0-60 PSI.  
 4. PROVIDE WITH 480 VOLT, 3 PHASE, 60HZ, 1800RPM MOTOR.  
 5. PROVIDE WITH CHECK VALVE.  
 6. PROVIDE VARIABLE FREQUENCY DRIVE.  
 7. PROVIDE REMOTE PUMP START.  
 8. PROVIDE EMERGENCY STOP.  
 9. PROVIDE WITH VARIABLE FREQUENCY DRIVE WITH BYPASS PANEL.



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 BUILDERS

PROJECT DESCRIPTION  
 WILLISTON WATER  
 WORLD

CITY WILLISTON  
 STATE NORTH DAKOTA

ISSUE DATES

DD	DESIGN DEVELOPMENT	01/20/2023
SD	SCHEMATIC DESIGN	12/15/2022
MARK	DESCRIPTION	DATE

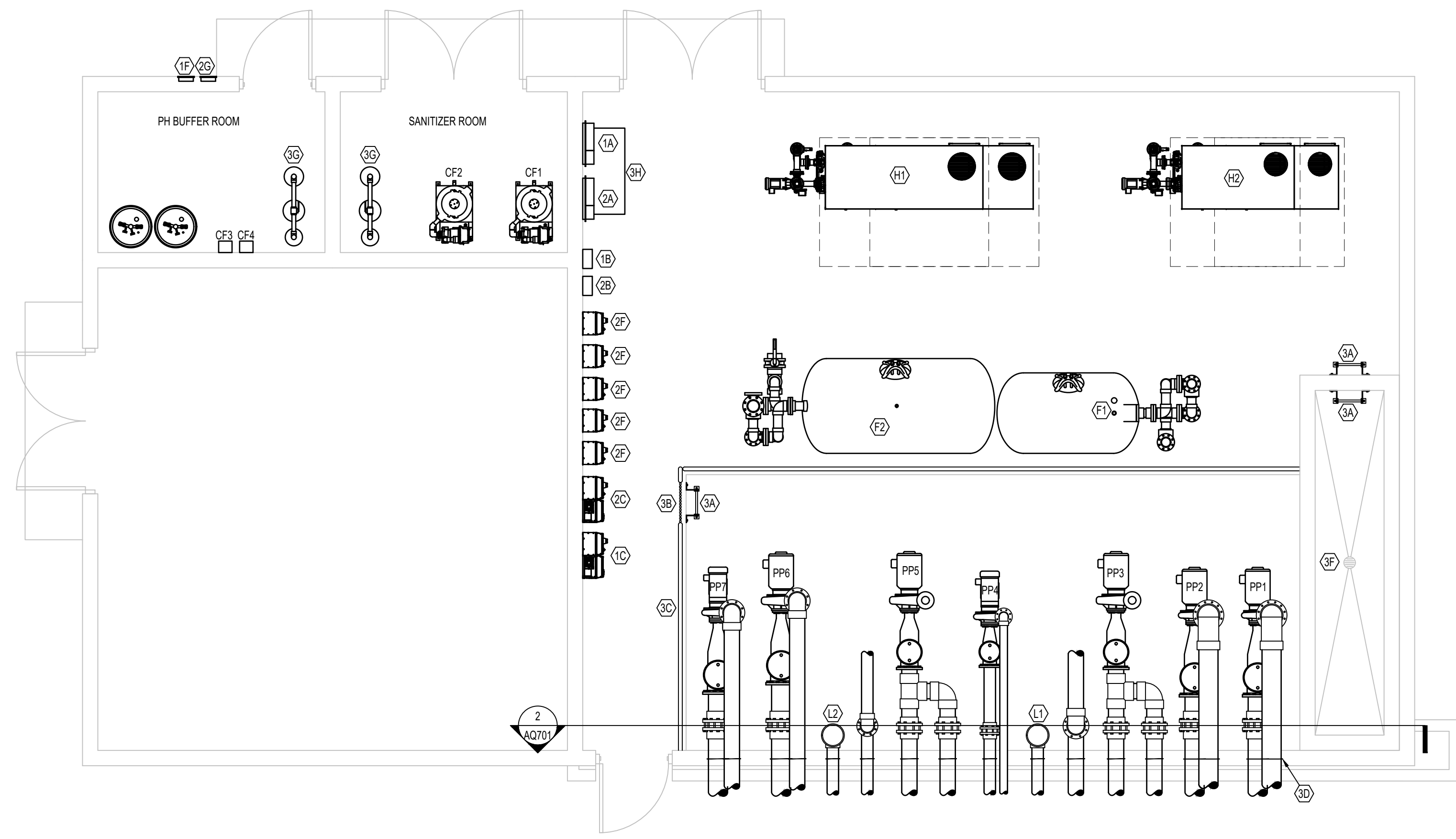
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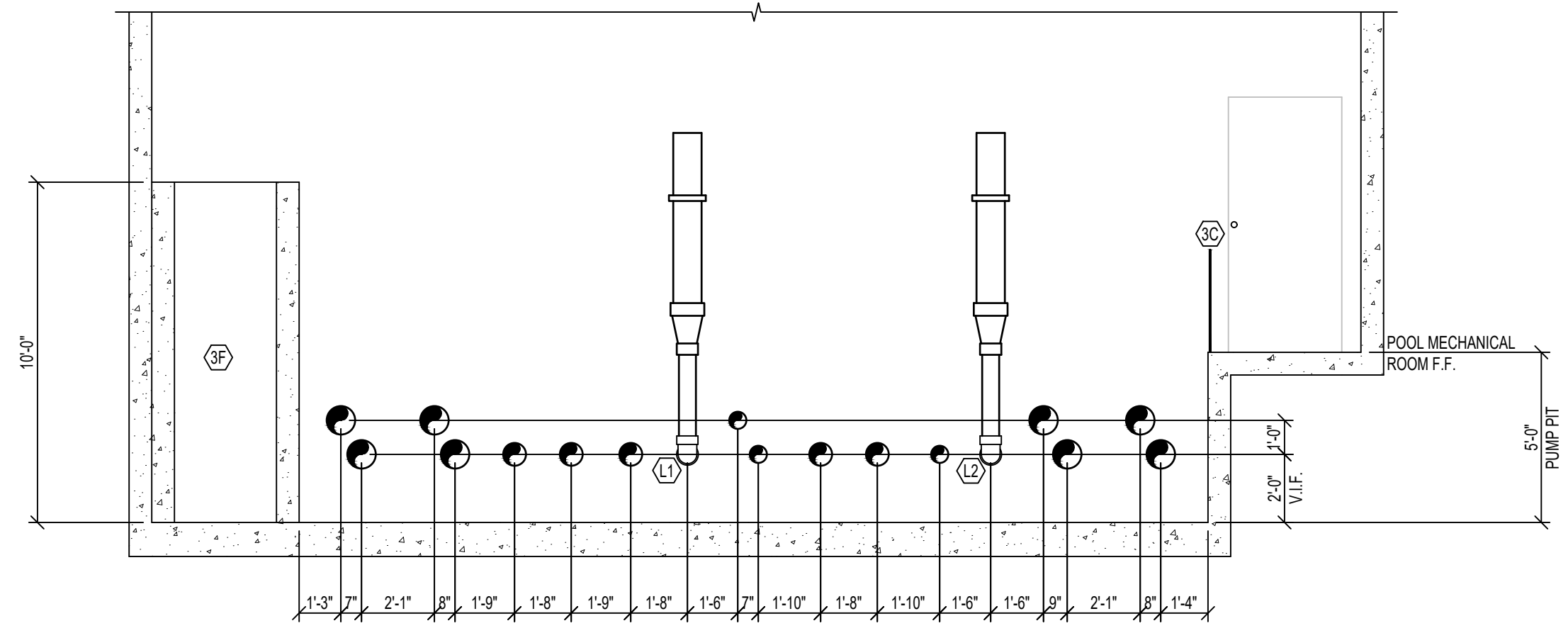
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DRAWING TITLE  
 POOL MECHANICAL  
 NOTES & SCHEDULES

AQ700



1 POOL MECHANICAL ROOM PLAN  
1/4" = 1'-0"



2 POOL MECHANICAL ROOM SECTION  
1/4" = 1'-0"

EQUIPMENT SCHEDULE	
ID	ITEM
LEISURE POOL	
1A	CHEMICAL CONTROLLER REFER:
1B	WATER LEVEL CONTROLLER REFER:
1C	VARIABLE FREQUENCY DRIVE AND BYPASS PANEL
1D	FLOW METER SENSOR REFER:
1E	IMPACT FLOW METER REFER:
1F	CO. FILLBOX REFER:
FITNESS POOL	
2A	CHEMICAL CONTROLLER REFER:
2B	WATER LEVEL CONTROLLER REFER:
2C	VARIABLE FREQUENCY DRIVE AND BYPASS PANEL
2D	FLOW METER SENSOR REFER:
2E	IMPACT FLOW METER REFER:
2F	VARIABLE FREQUENCY DRIVE
2G	CO. FILLBOX REFER:
COMBINED	
3A	LADDER RUNGS
3B	SAFETY CHAIN
3C	REMOVABLE RAILING
3D	WATER SEAL REFER:
3E	HARD PIPE TO DRAIN
3F	3'-0"x15'-0"x10'-0" DEEP BACKWASH CATCH BASIN
3G	EYE WASH STATION REFER TO PLUMBING
3H	WORKBENCH REFER TO SPECIFICATION 131100 FOR DETAILS



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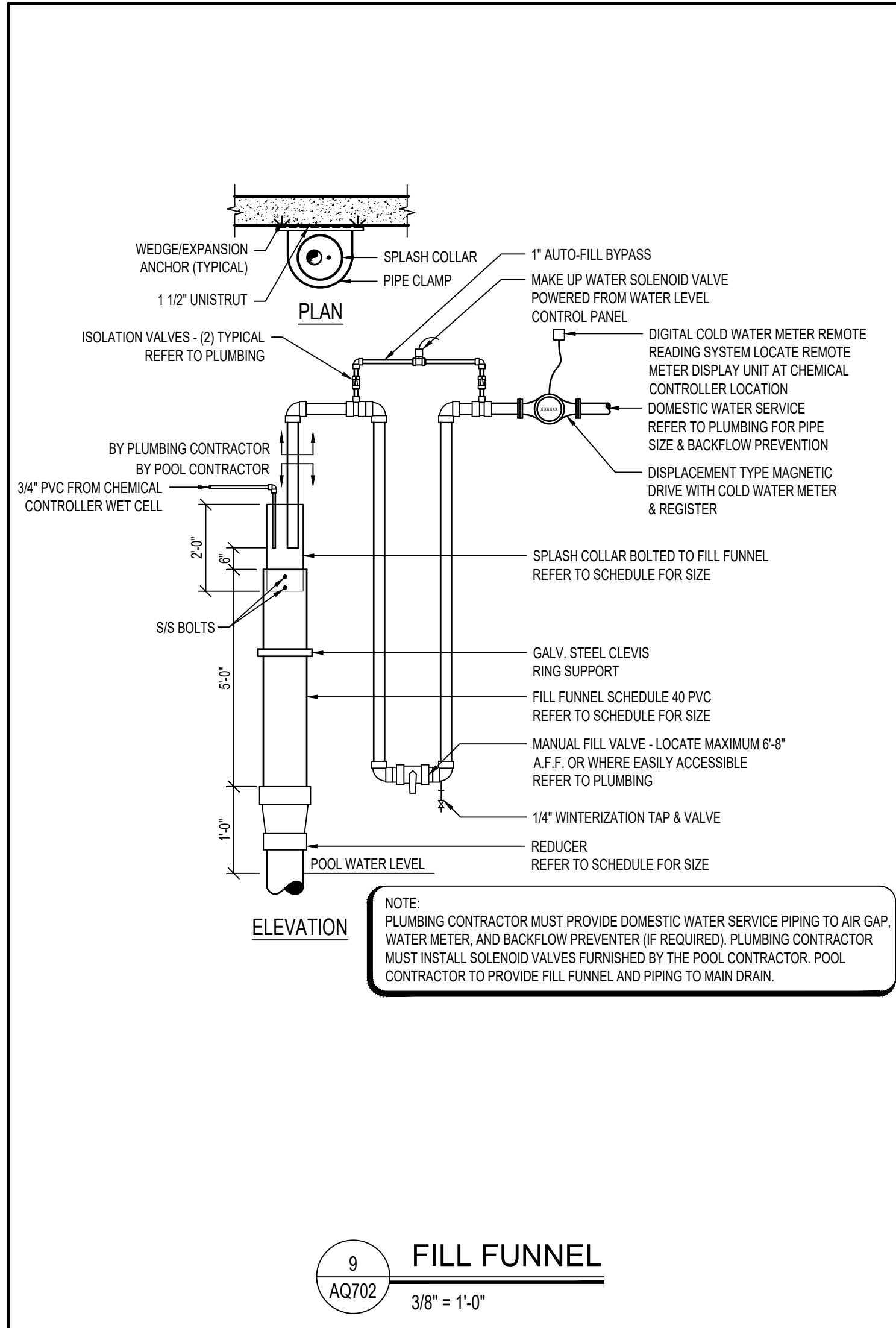
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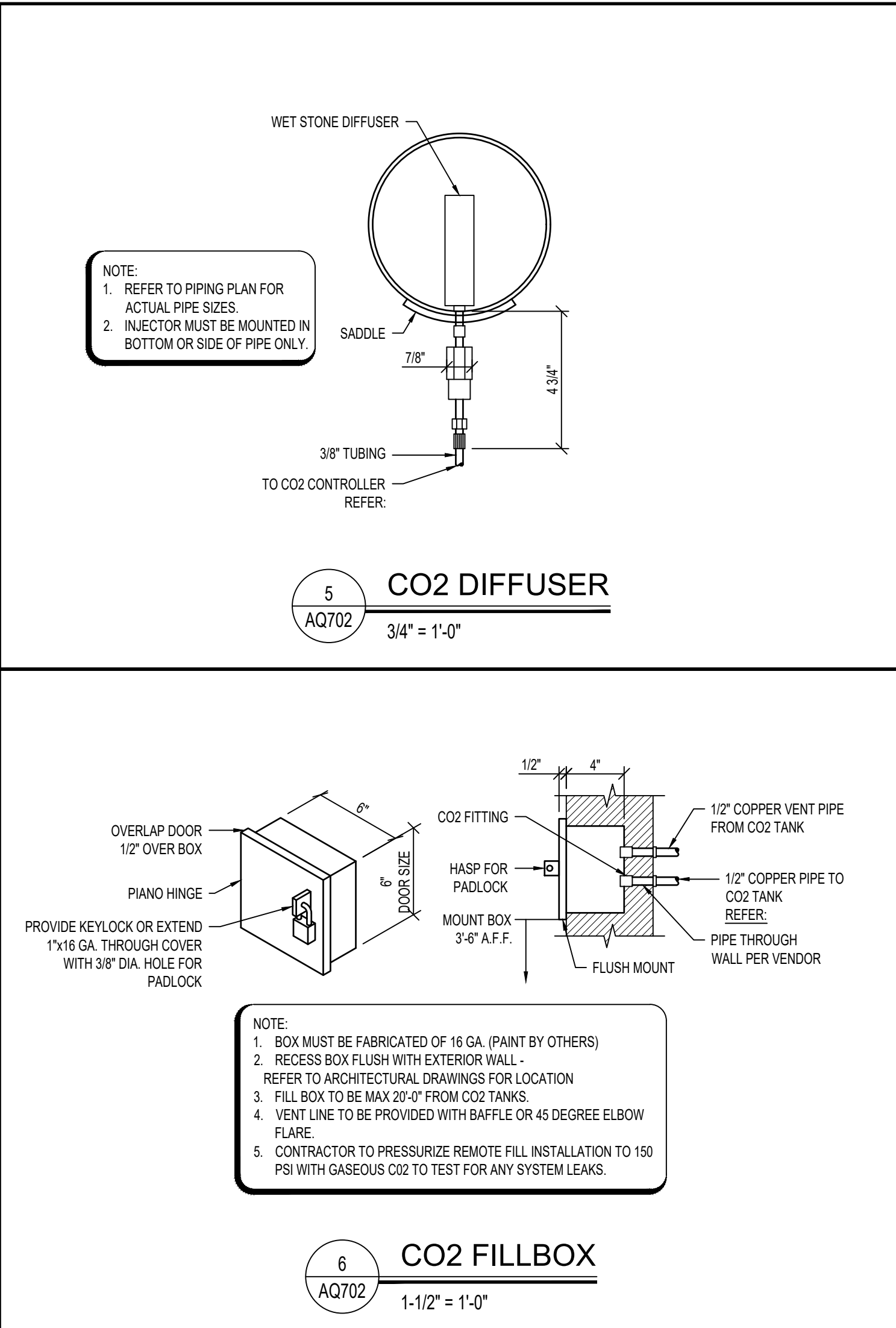
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POOL MECHANICAL  
ROOM PLAN & SECTIONS

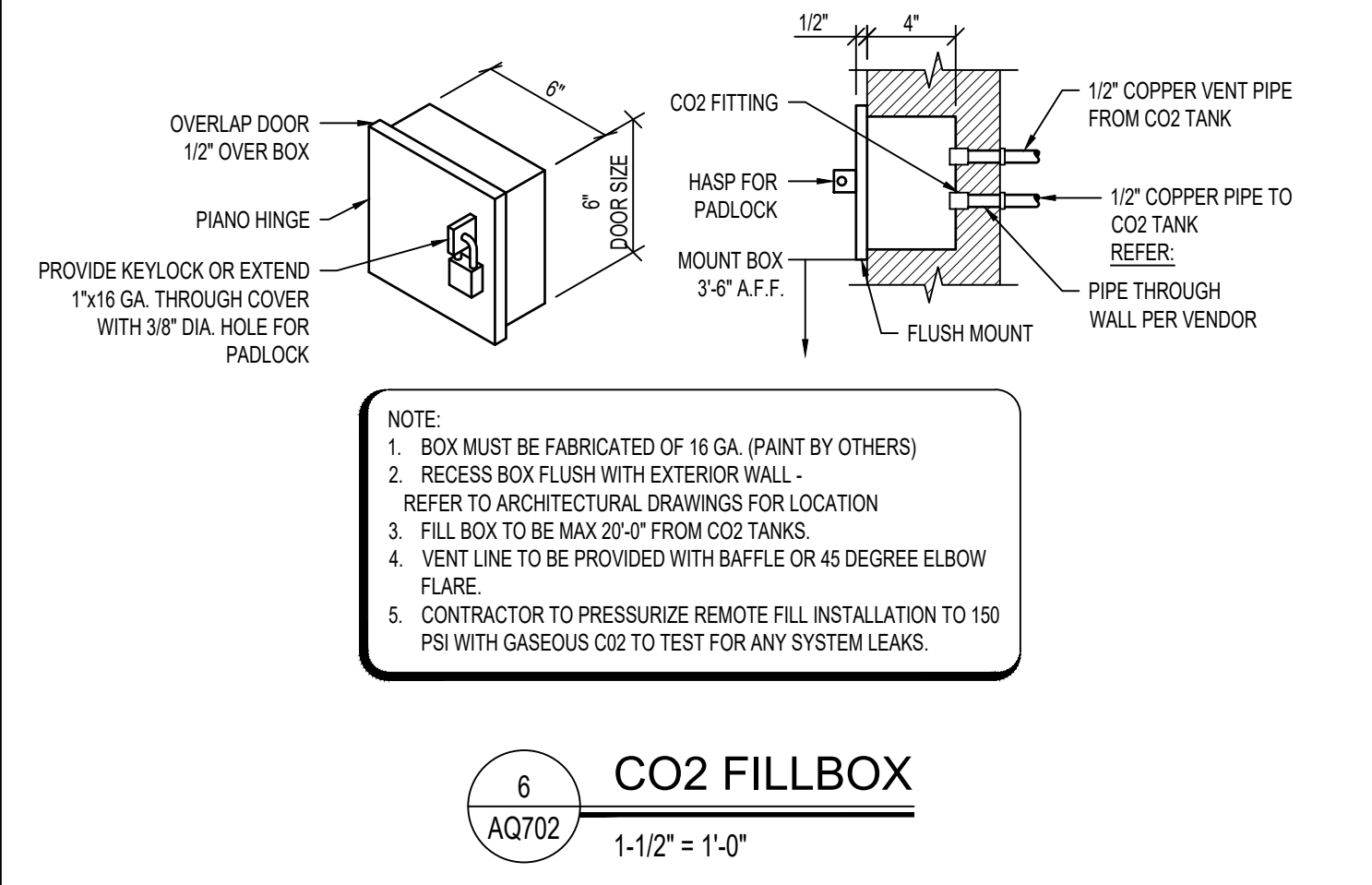
AQ701



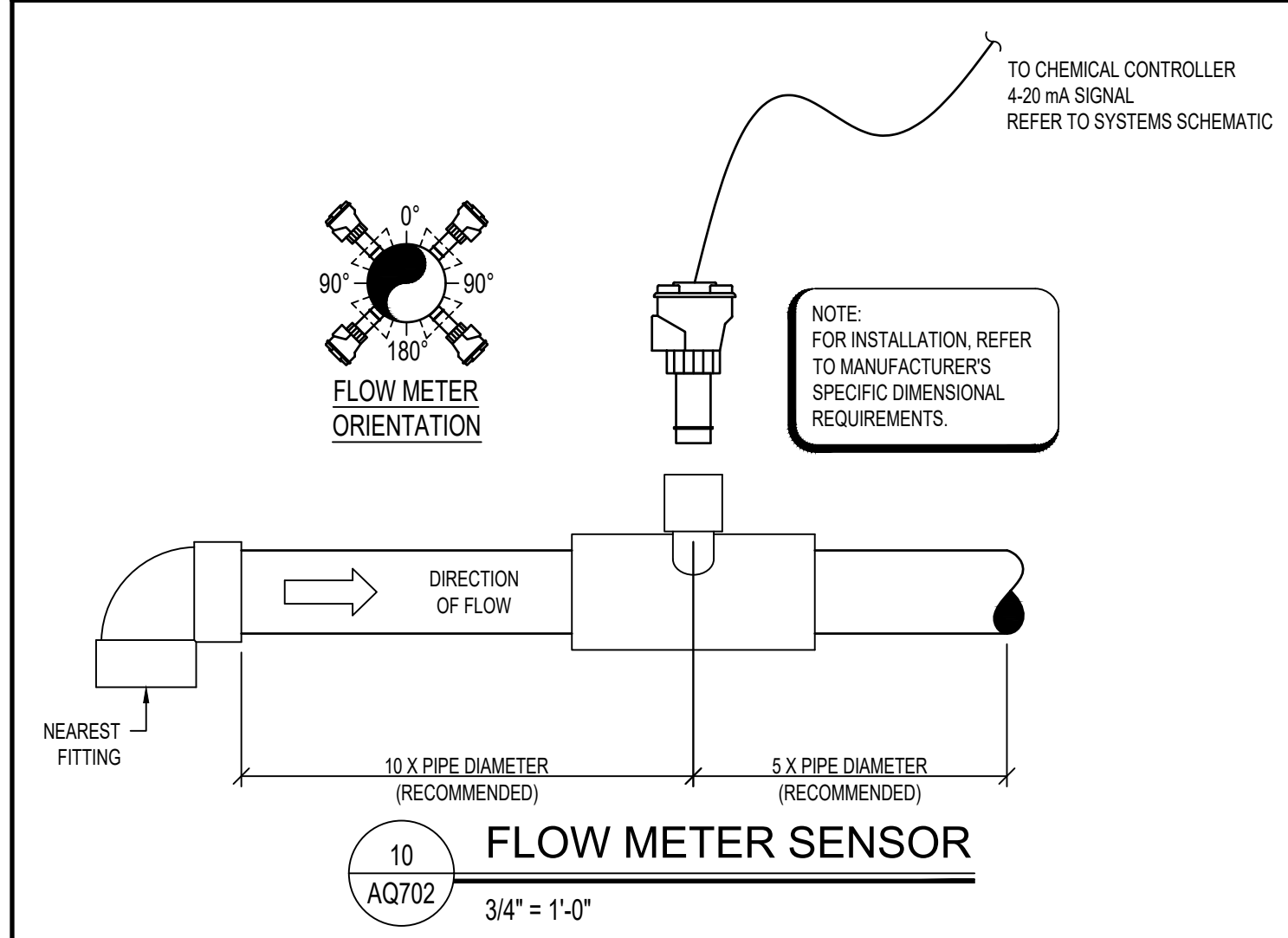
9 FILL FUNNEL  
3/8" = 1'-0"



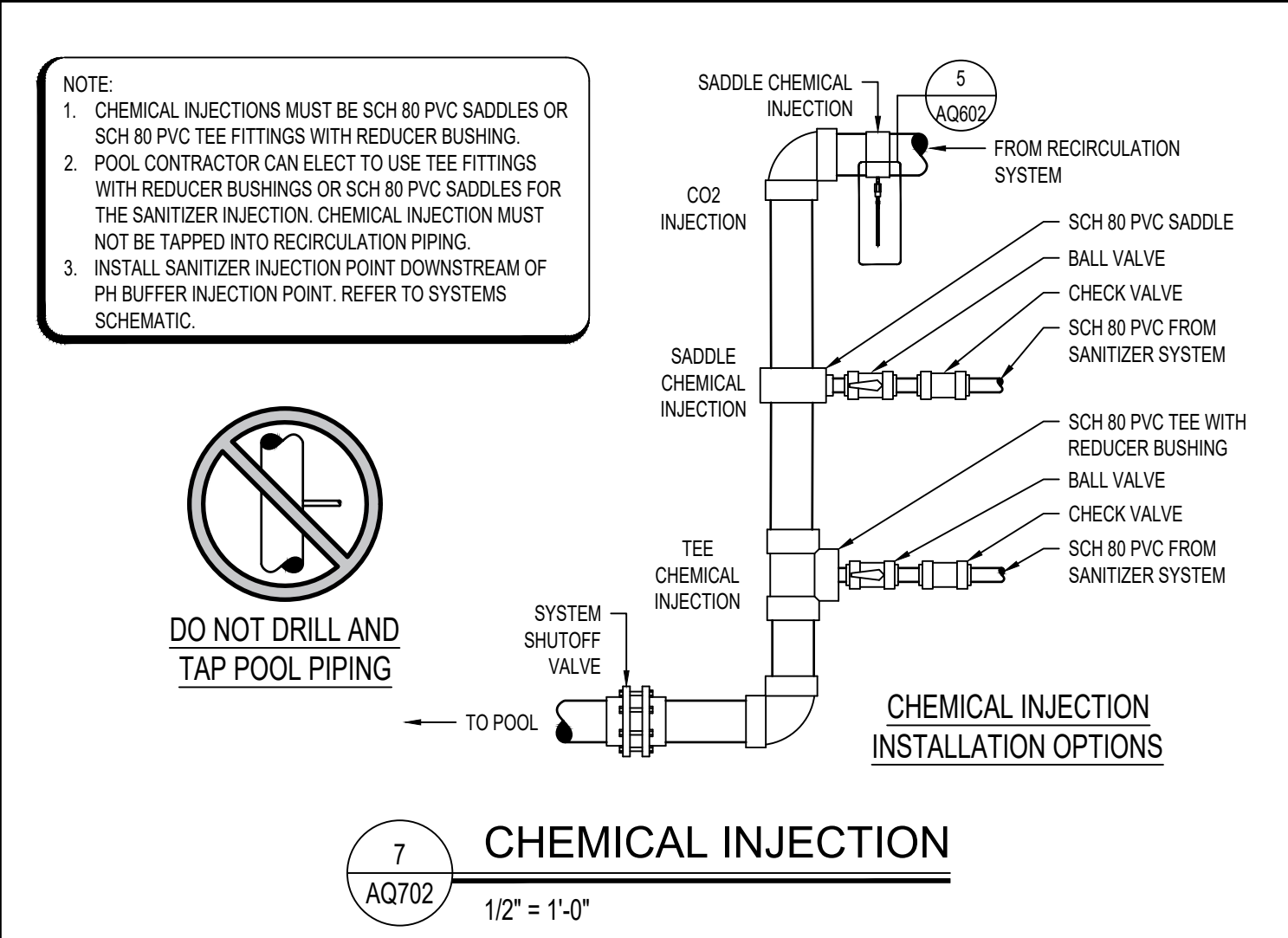
5 CO2 DIFFUSER  
3/4" = 1'-0"



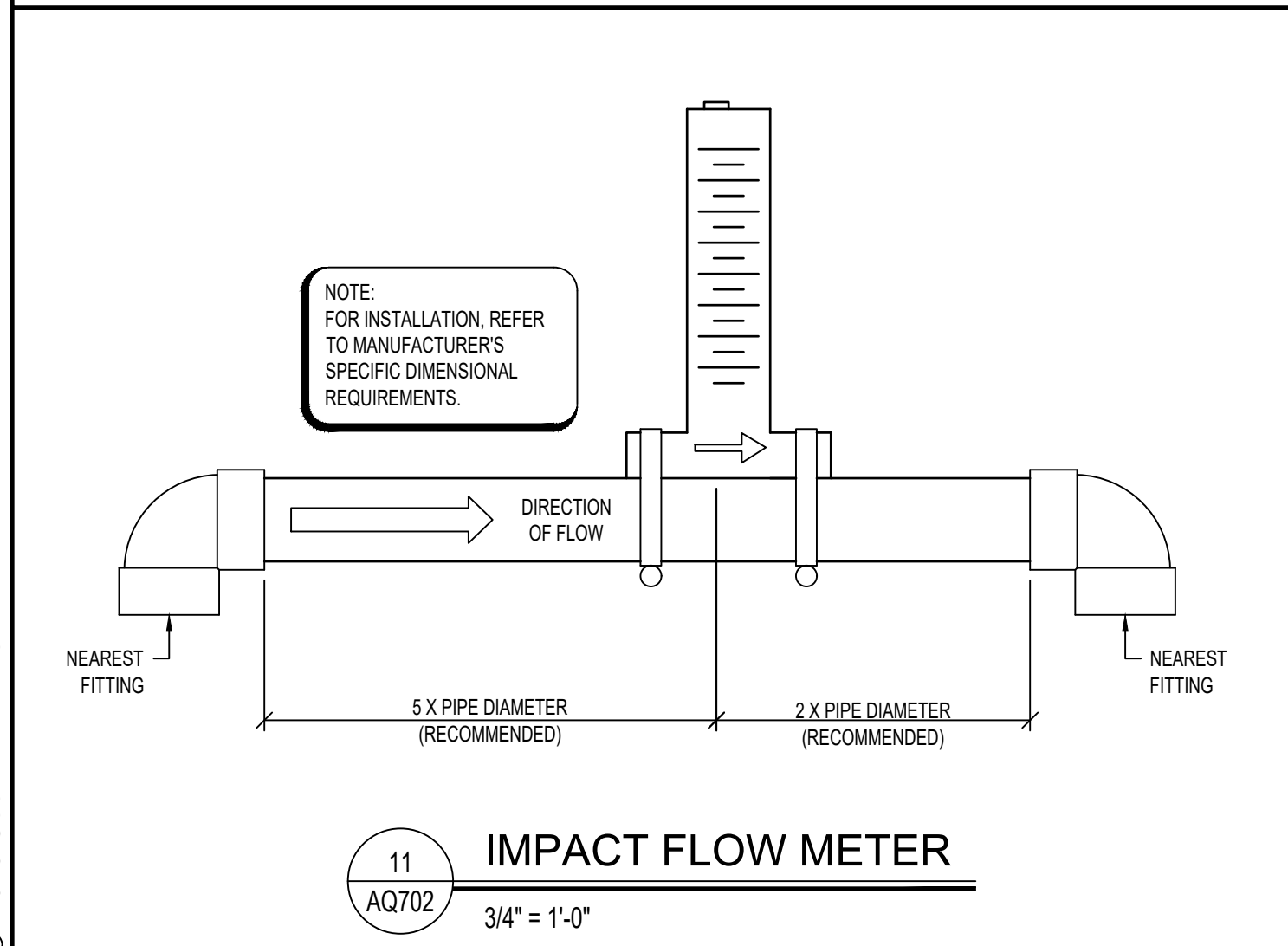
6 CO2 FILLBOX  
1-1/2" = 1'-0"



10 FLOW METER SENSOR  
3/4" = 1'-0"



7 CHEMICAL INJECTION  
1/2" = 1'-0"



11 IMPACT FLOW METER  
3/4" = 1'-0"

FLAMMABILITY HAZARD

HEALTH HAZARD

INSTABILITY HAZARD

CALCIUM HYPOCHLORITE

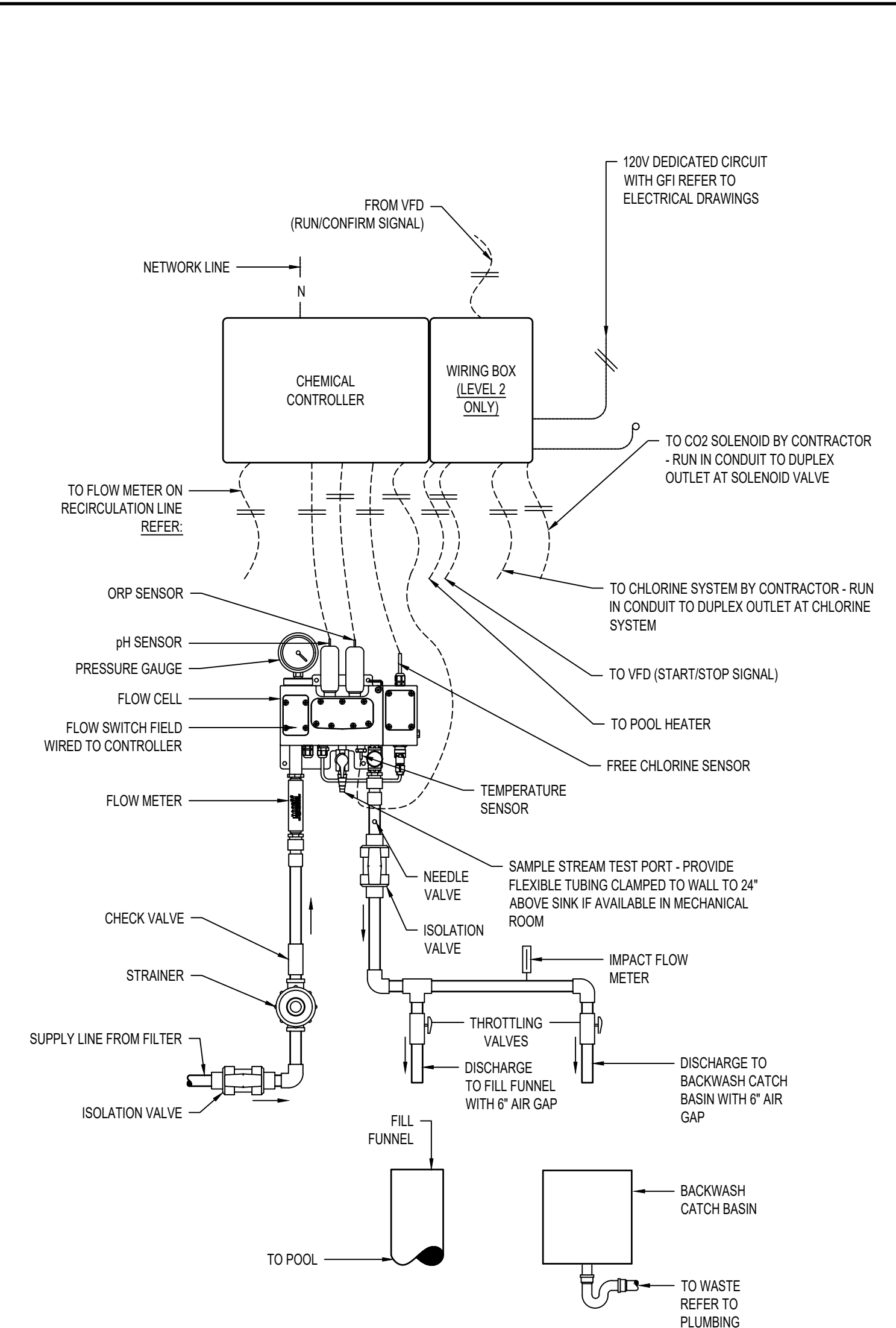
CARBON DIOXIDE

RATING	HEALTH HAZARD	FLAMMABILITY HAZARD	INSTABILITY HAZARD
4	CAN BE LETHAL	BELOW 73 DEGREES F	MAY EXPLODE AT NORMAL TEMPERATURES & PRESSURES
3	CAN CAUSE SERIOUS OR PERMANENT INJURY	ABOVE 73 DEGREES, BELOW 100 DEGREES F	MAY EXPLODE AT HIGH TEMPERATURE OR SHOCK
2	CAN CAUSE TEMPORARY INCAPACITATION OR RESIDUAL INJURY	ABOVE 100 DEGREES F, BELOW 200 DEGREES F	VIOLENT CHEMICAL CHANGE AT HIGH TEMPERATURES OR PRESSURES
1	CAN CAUSE SIGNIFICANT IRRITATION	ABOVE 200 DEGREES F	NORMALLY STABLE. HIGH TEMPERATURES MAKE UNSTABLE
0	NO HAZARD	WILL NOT BURN	STABLE

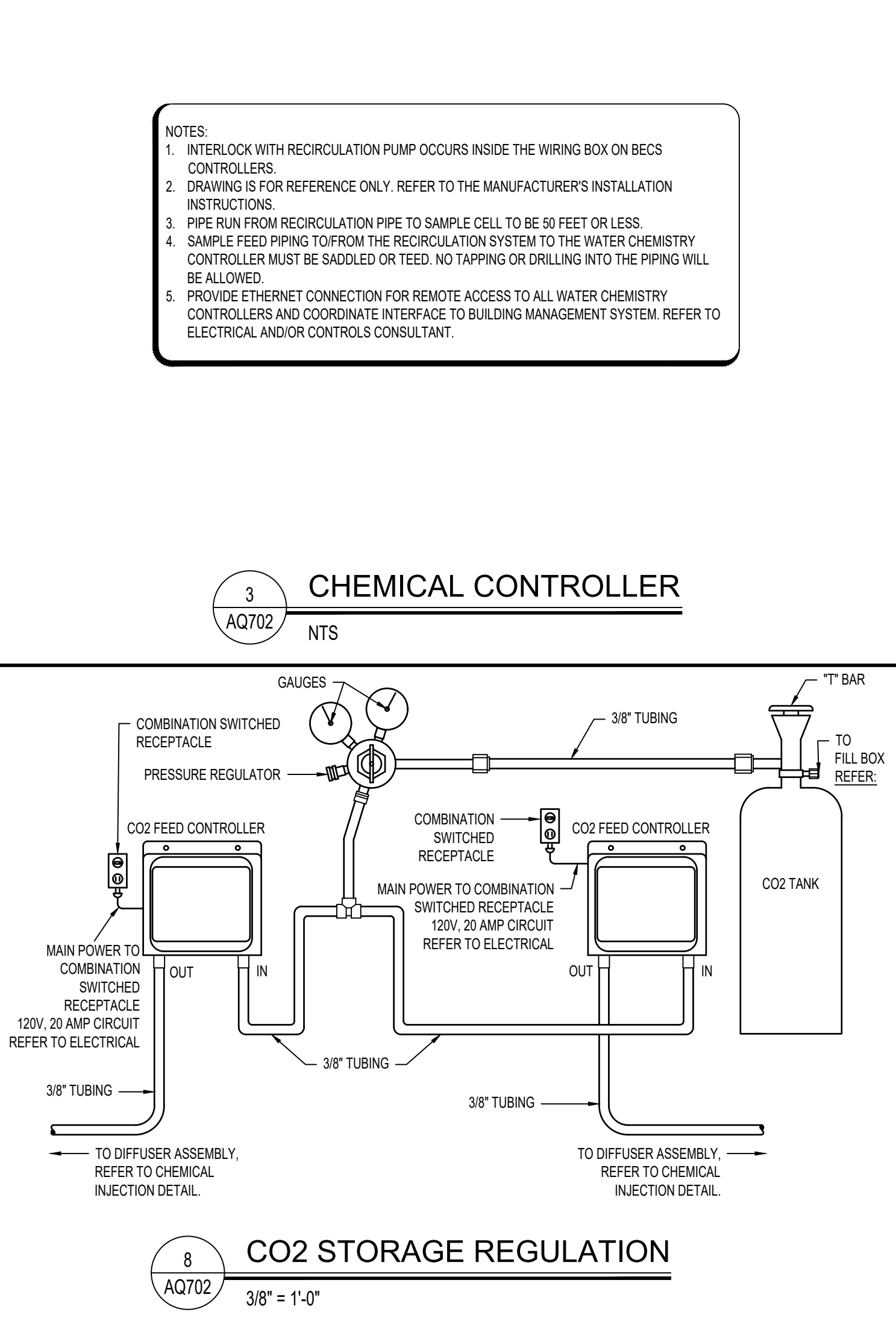
RATING EXPLANATION GUIDE

CONFIRM SIGNAGE WITH LOCAL FIRE MARSHAL AND/OR BUILDING CODES PRIOR TO INSTALLATION.

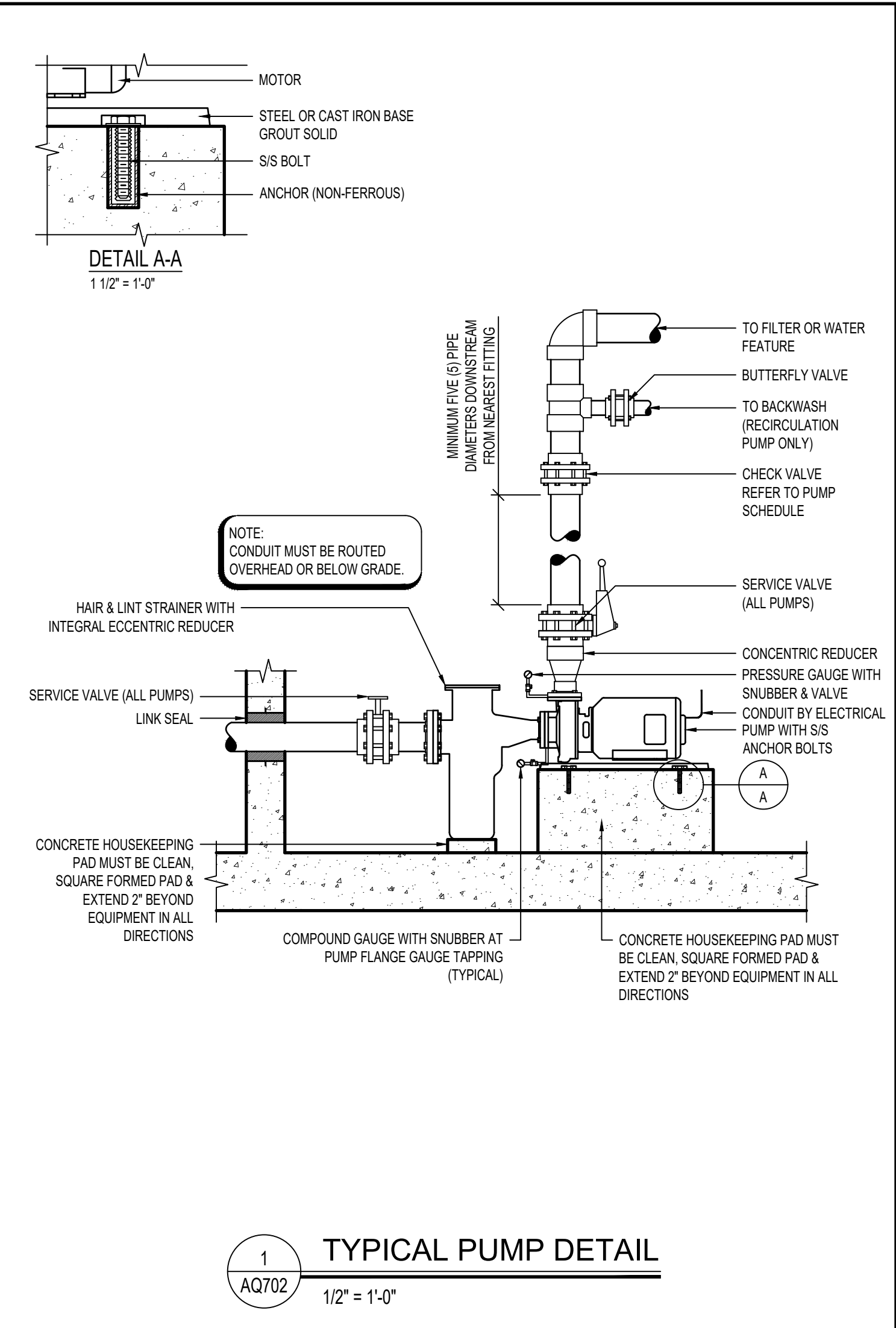
8 HAZARD SIGNAGE  
NTS



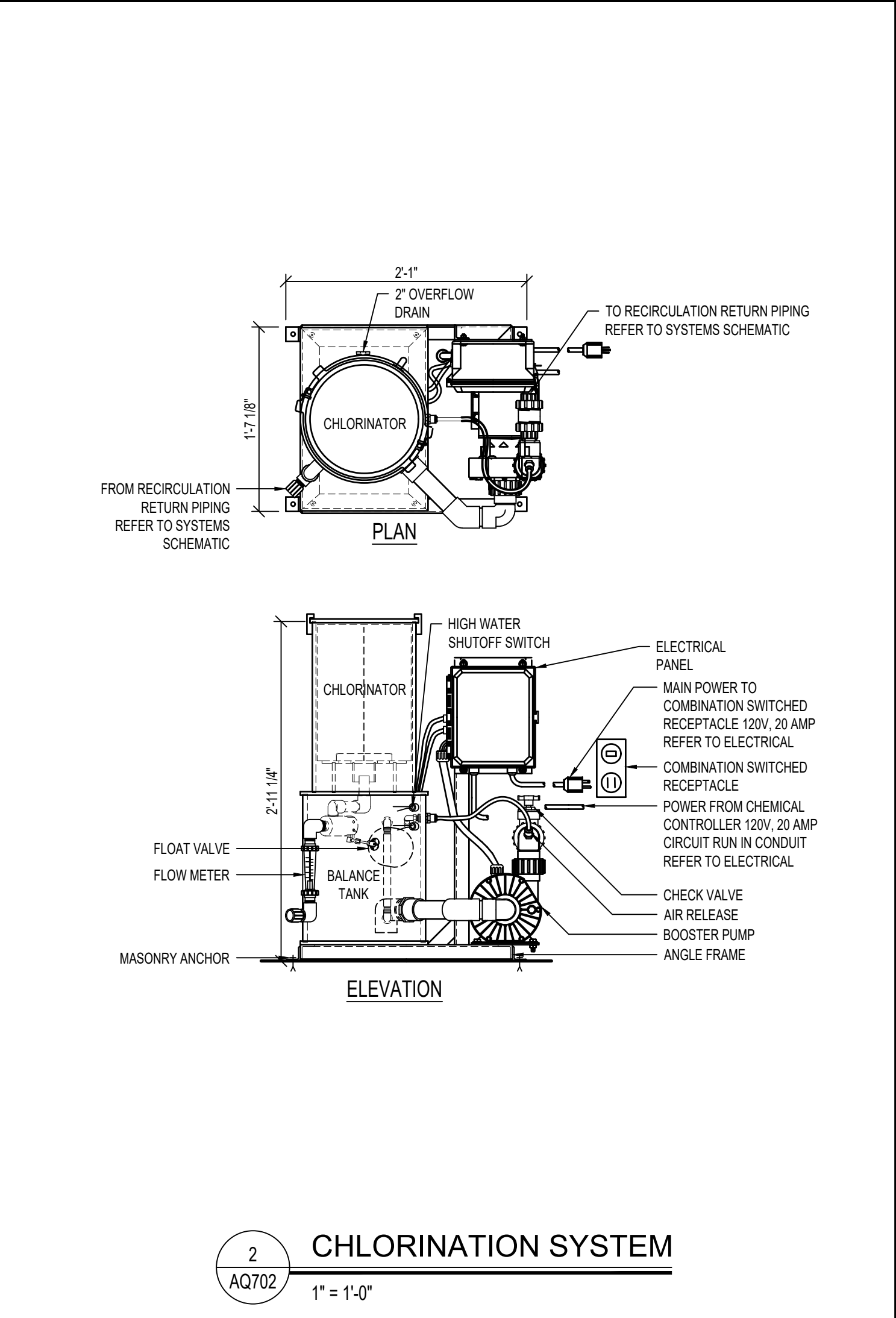
3 CHEMICAL CONTROLLER  
NTS



8 CO2 STORAGE REGULATION  
3/8" = 1'-0"



1 TYPICAL PUMP DETAIL  
1/2" = 1'-0"



2 CHLORINATION SYSTEM  
1" = 1'-0"

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MARK	DESCRIPTION	DATE

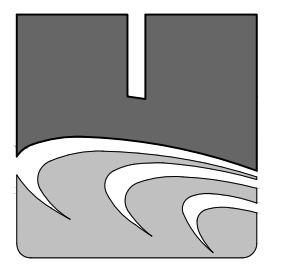
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PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY WILLISTON  
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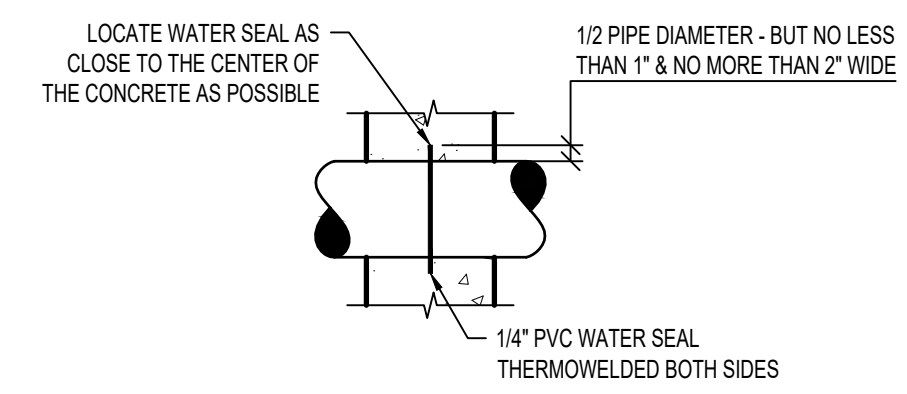
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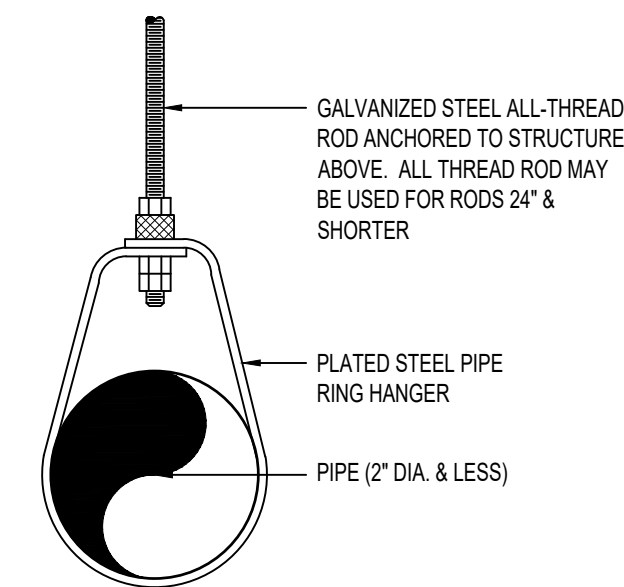
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**POOL MECHANICAL DETAILS**

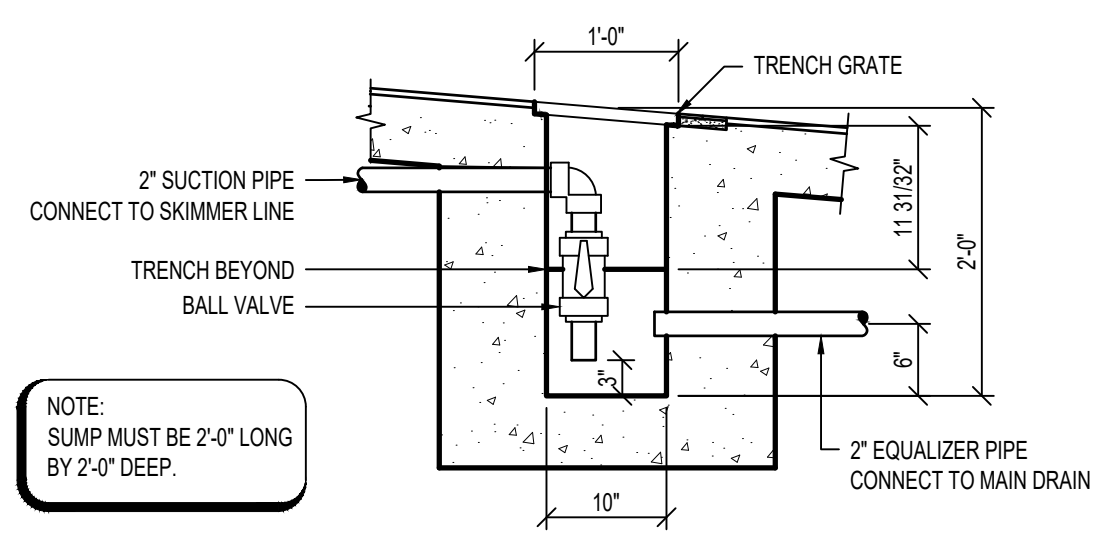
**AQ703**



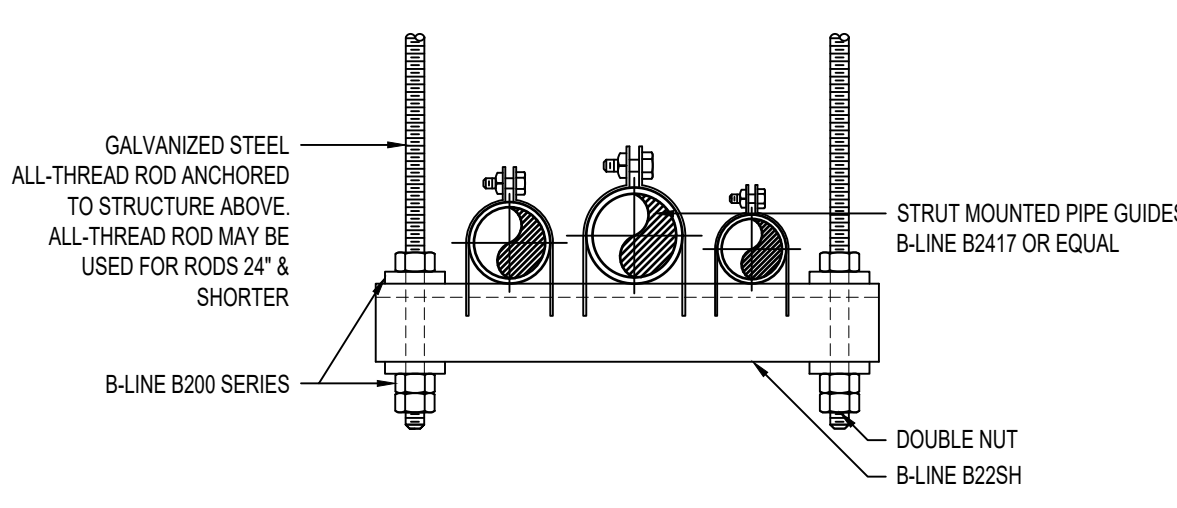
**1 WATER SEAL**  
AQ703 1" = 1'-0"



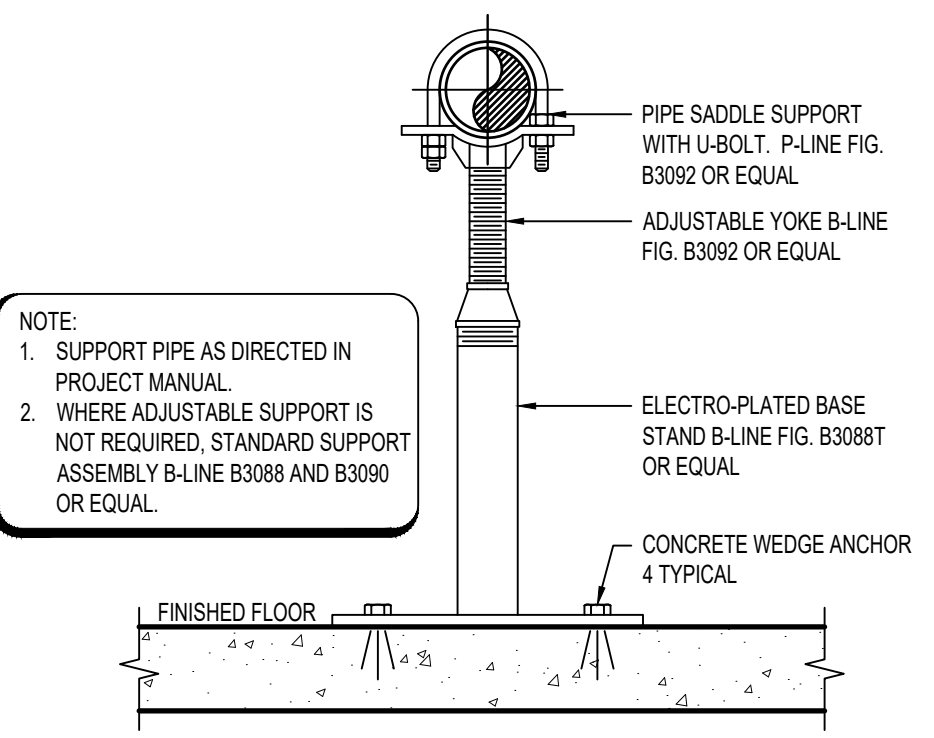
**5 SWIVEL RING PIPE HANGER**  
AQ703 1 1/2" = 1'-0"



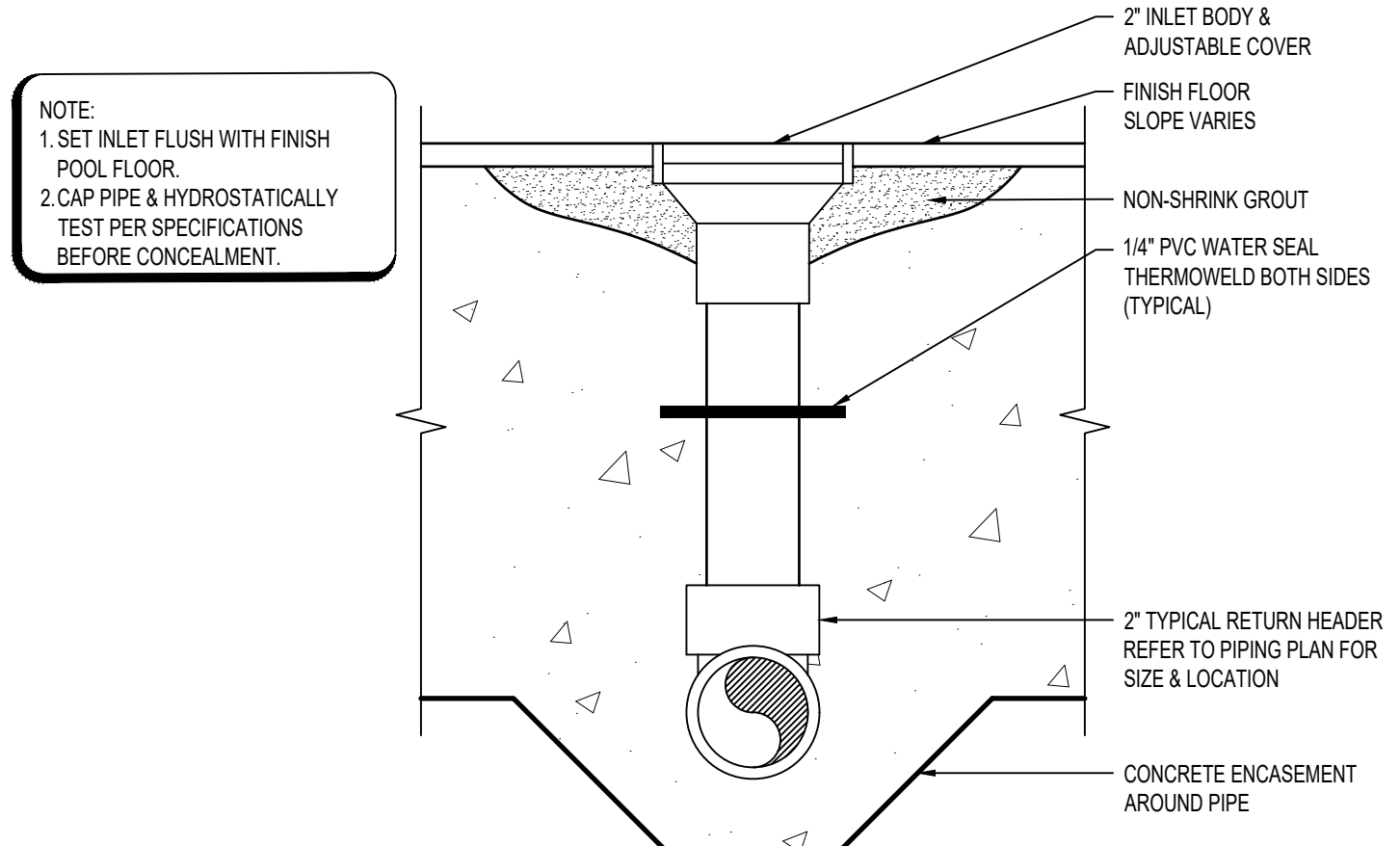
**9 TRENCH SUMP**  
AQ703 3/4" = 1'-0"



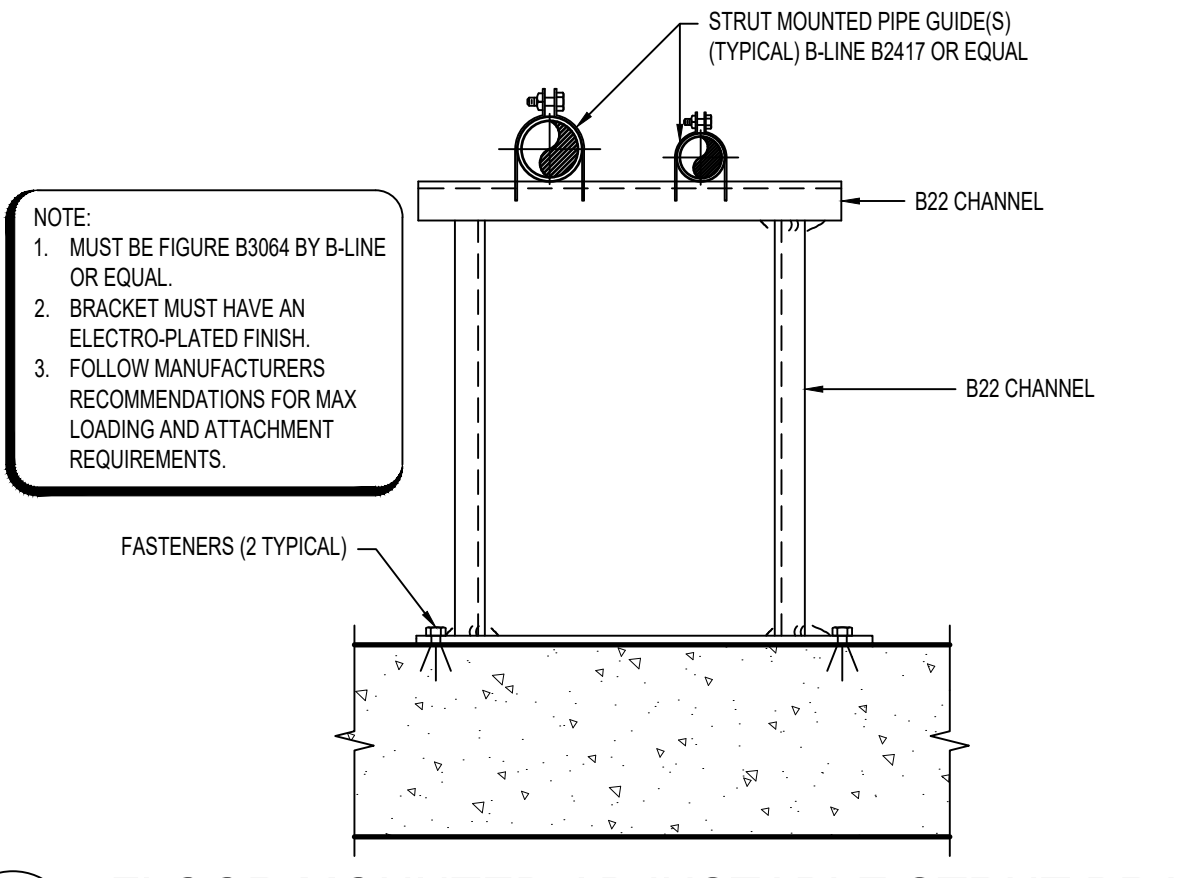
**6 TRAPEZE HANGER**  
AQ703 3" = 1'-0"



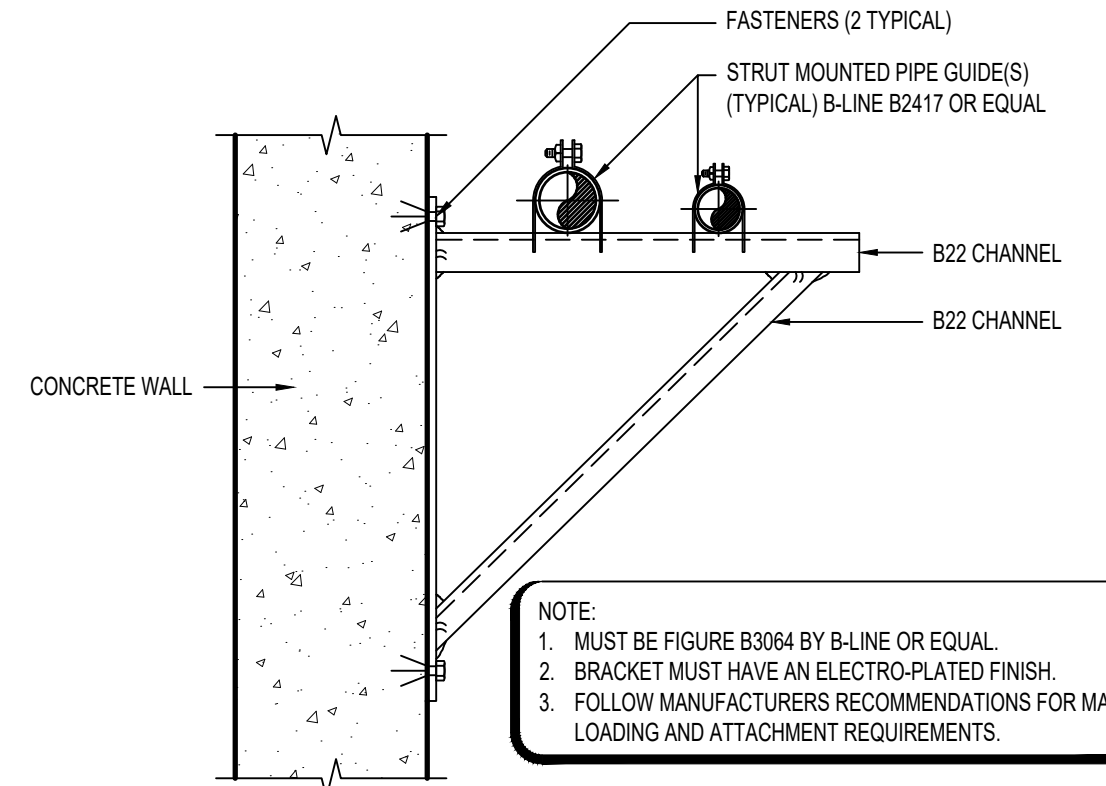
**2 FLOOR MOUNTED PIPE SUPPORT**  
AQ703 3" = 1'-0"



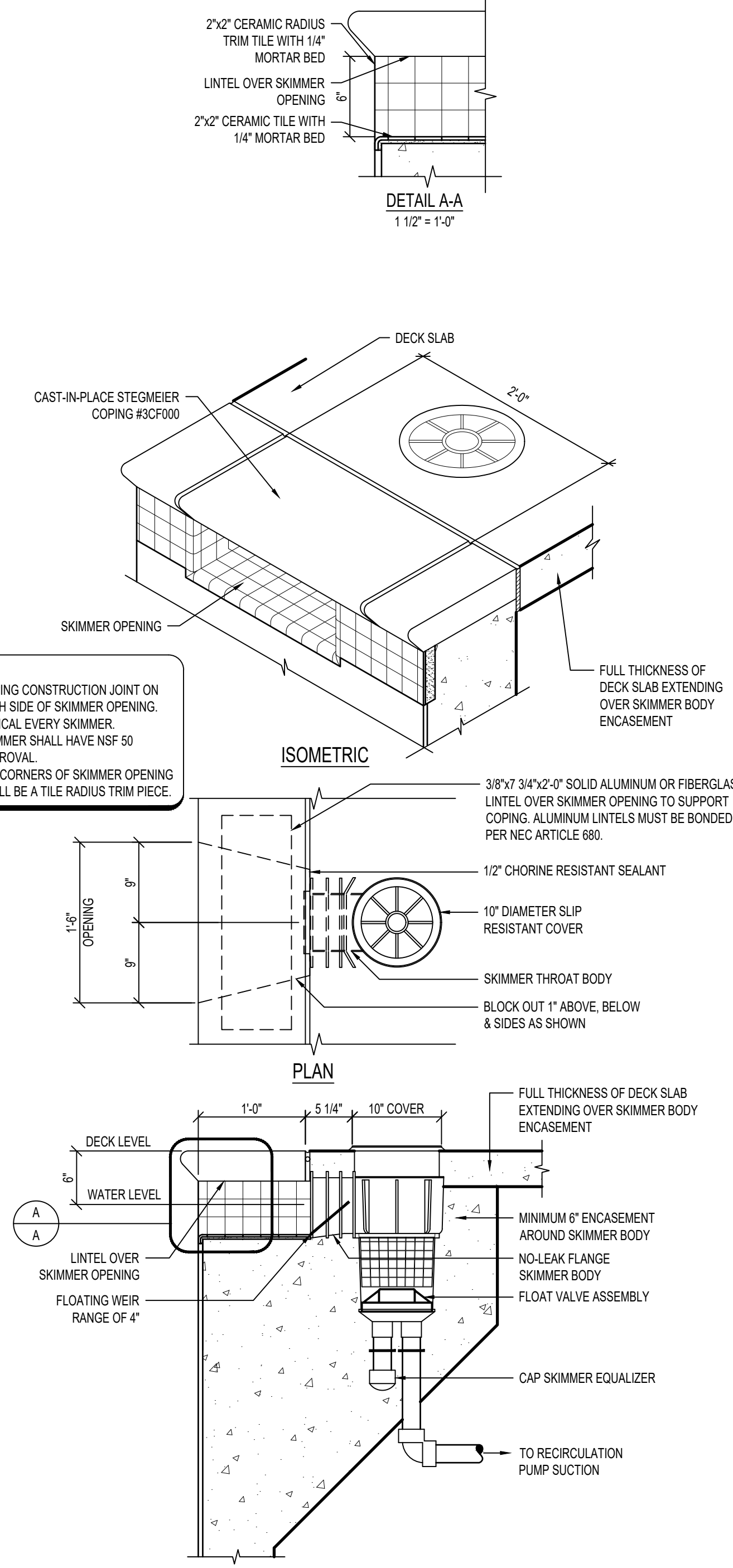
**10 FLOOR INLET**  
AQ703 3" = 1'-0"



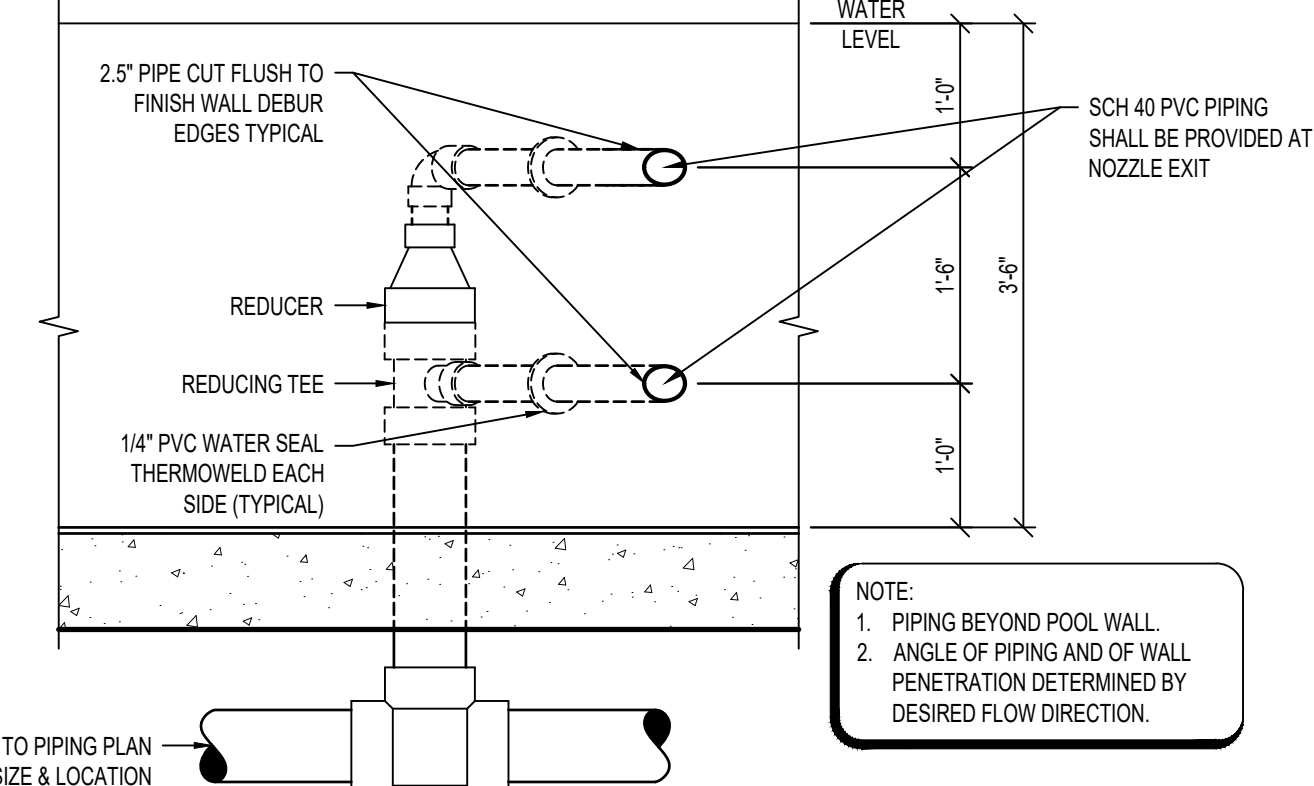
**7 FLOOR MOUNTED ADJUSTABLE STRUT BRACKET**  
AQ703 3" = 1'-0"



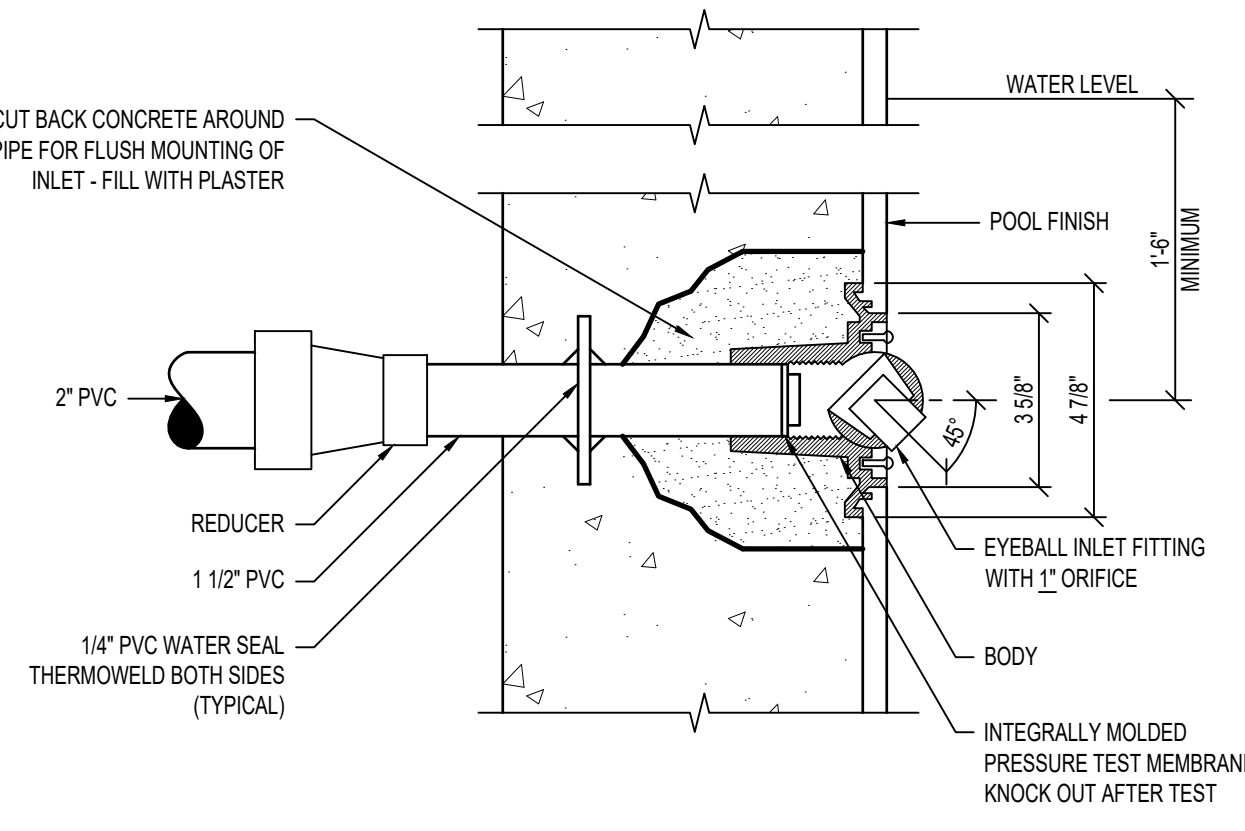
**3 ADJUSTABLE STRUT BRACKET**  
AQ703 3" = 1'-0"



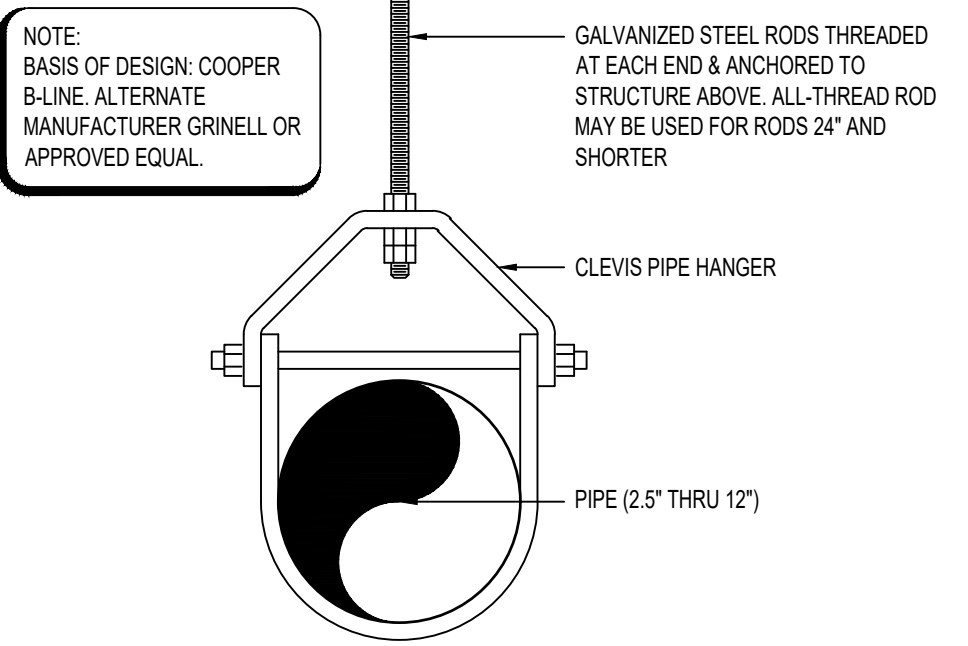
**13 SKIMMER DETAIL**  
AQ703 1" = 1'-0"



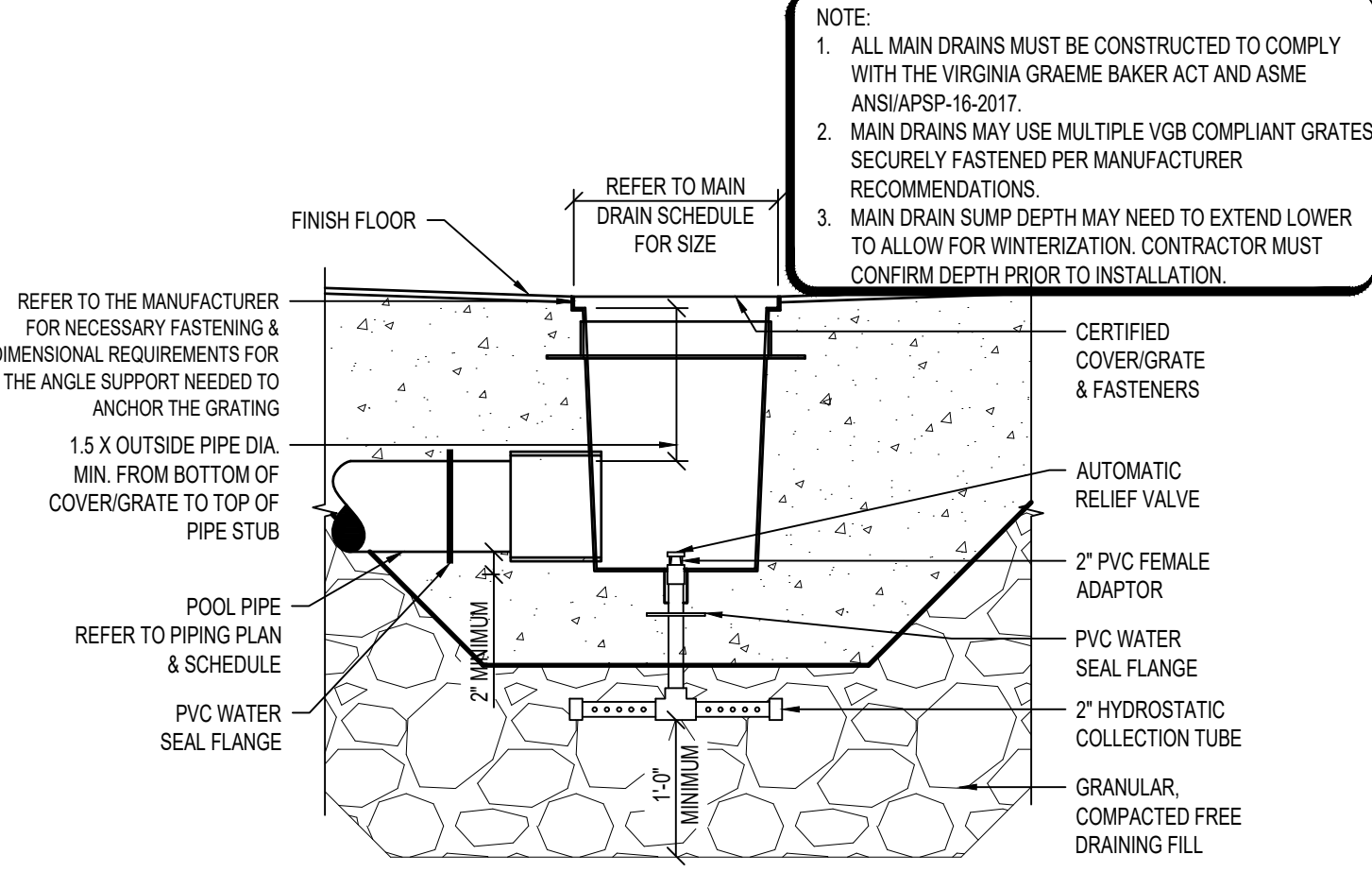
**11 RIVER NOZZLE**  
AQ703 3/4" = 1'-0"



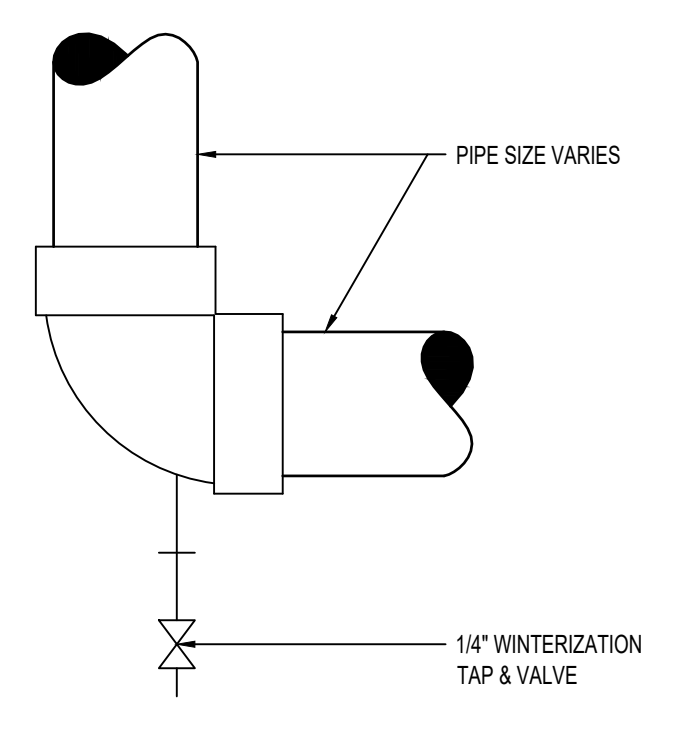
**8 WALL INLET**  
AQ703 3" = 1'-0"



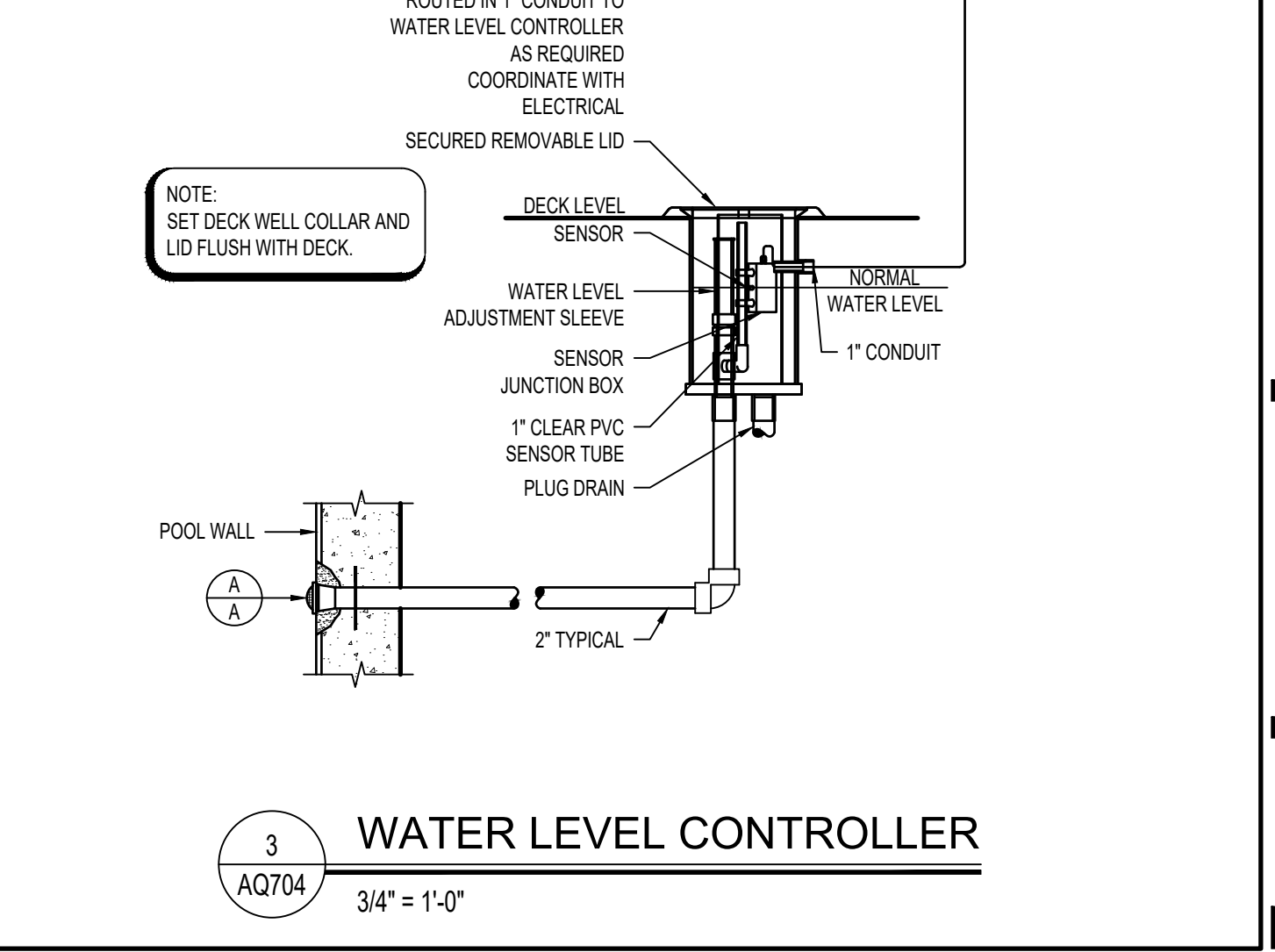
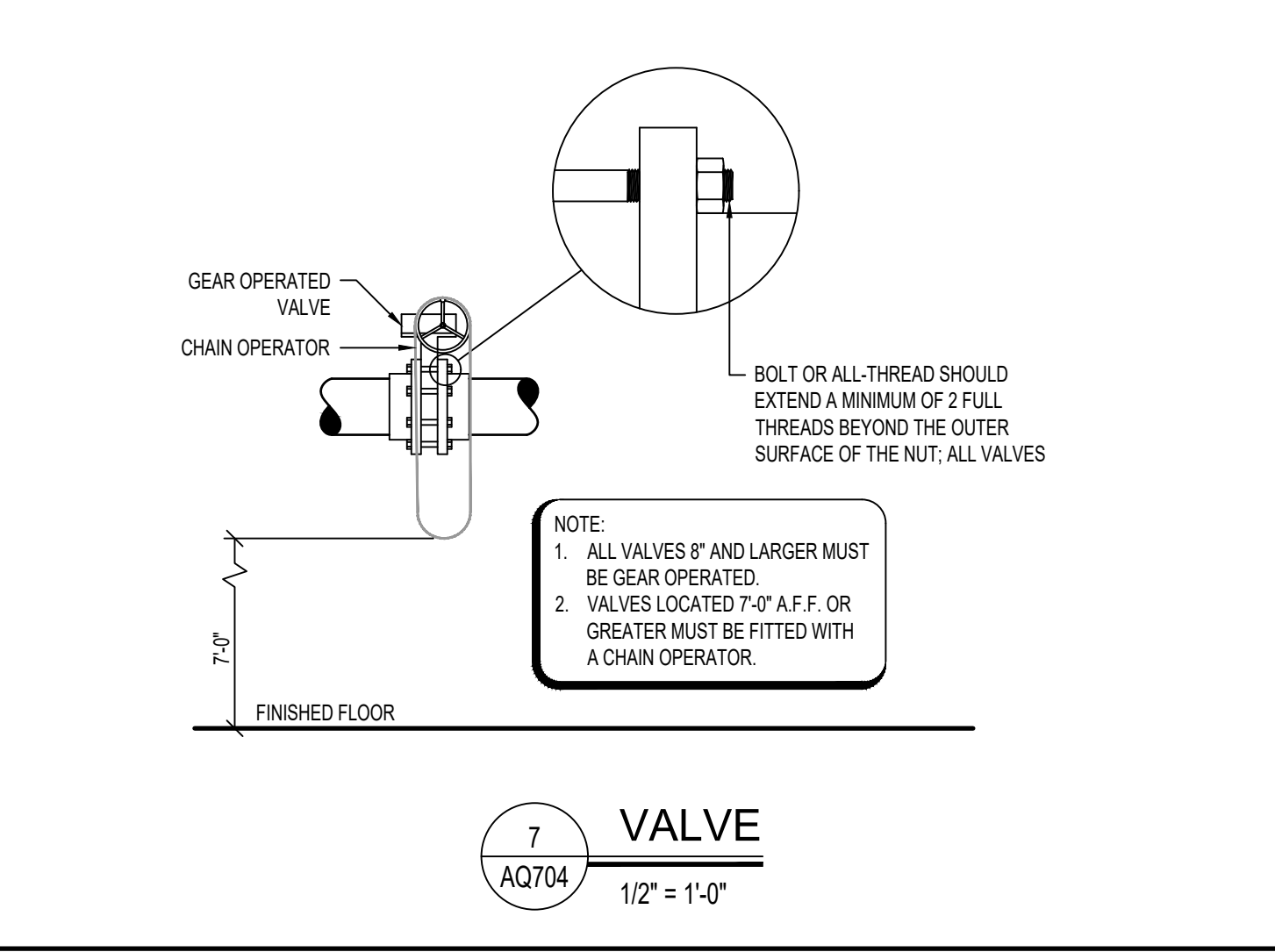
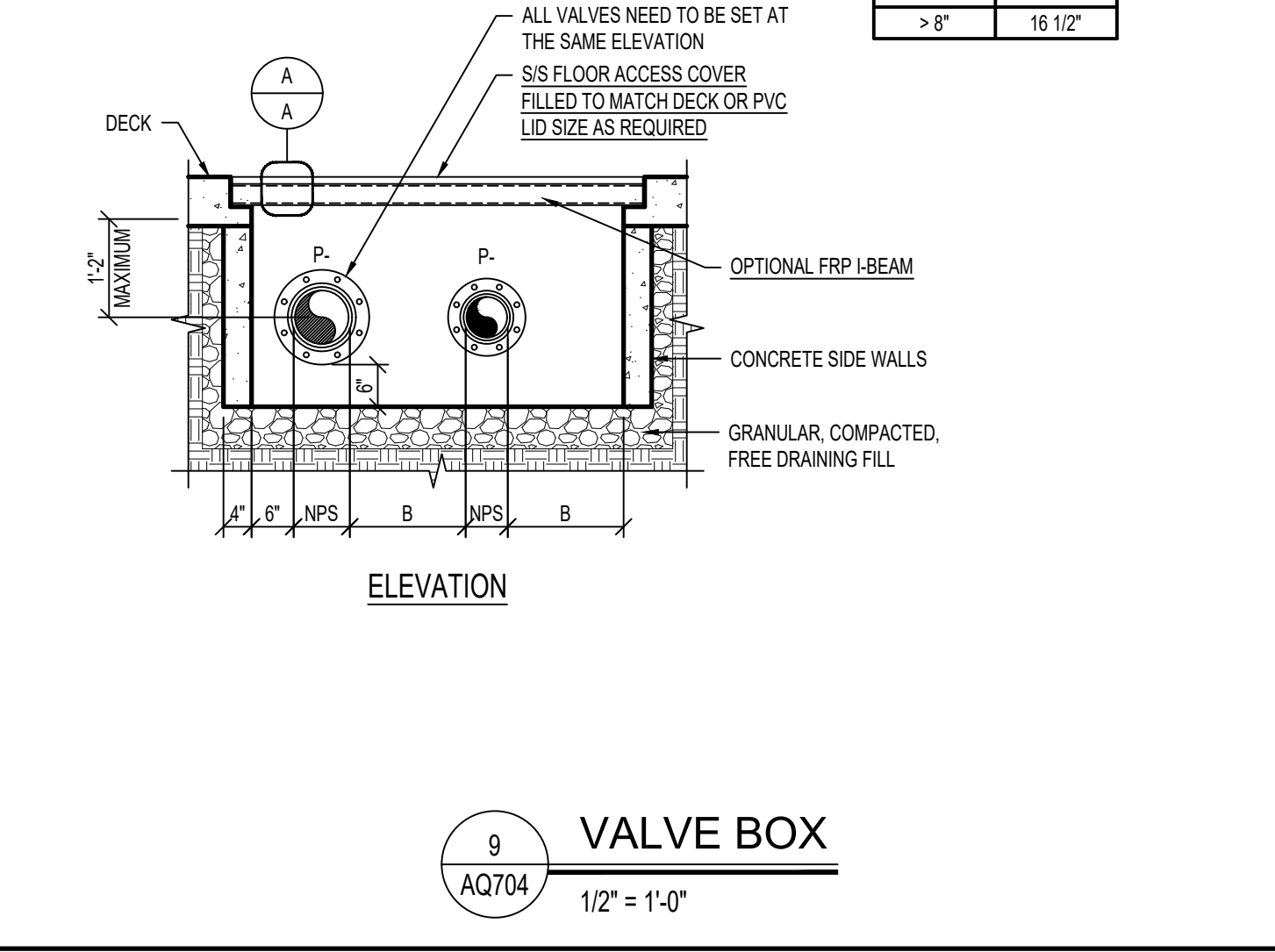
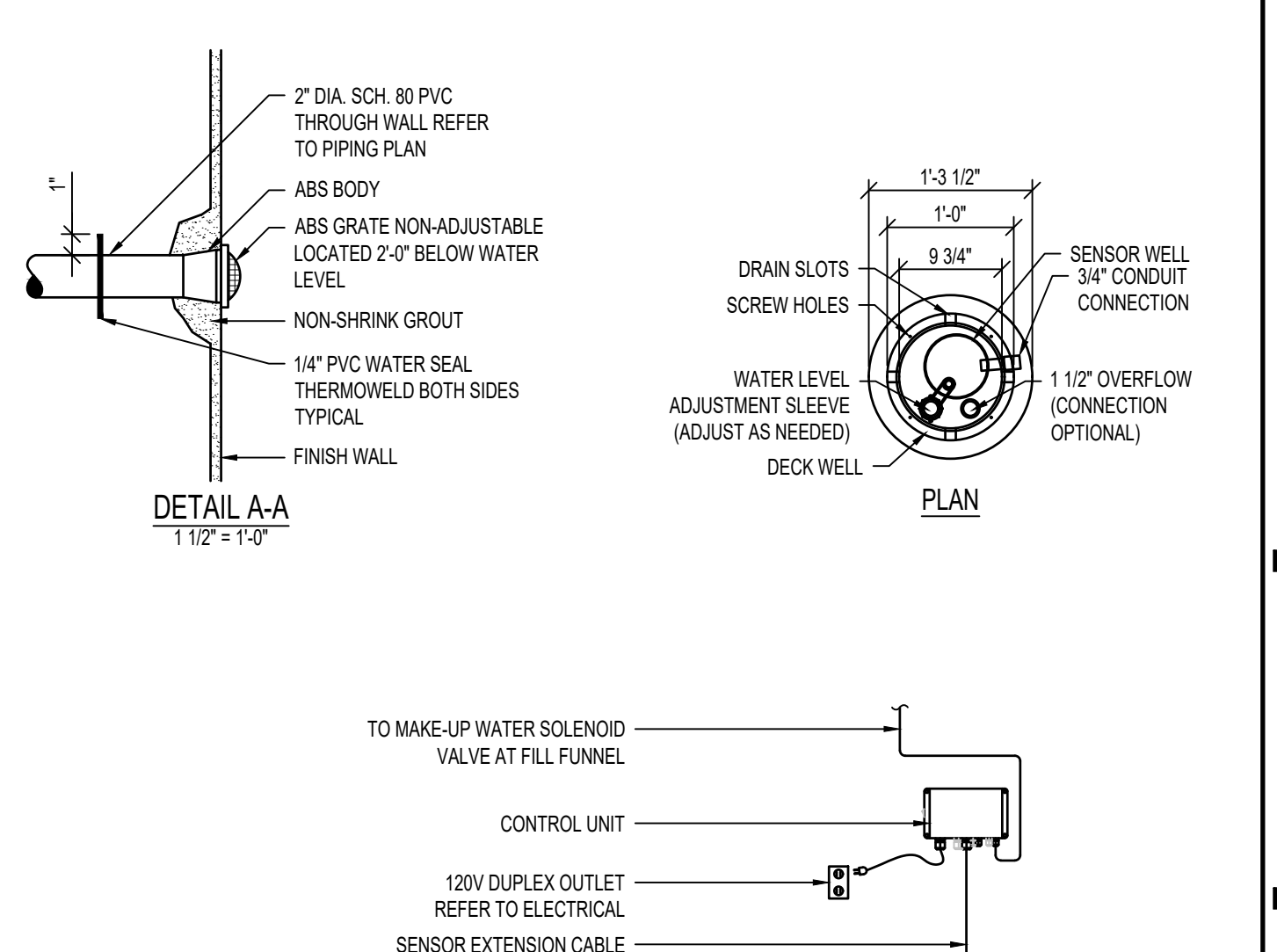
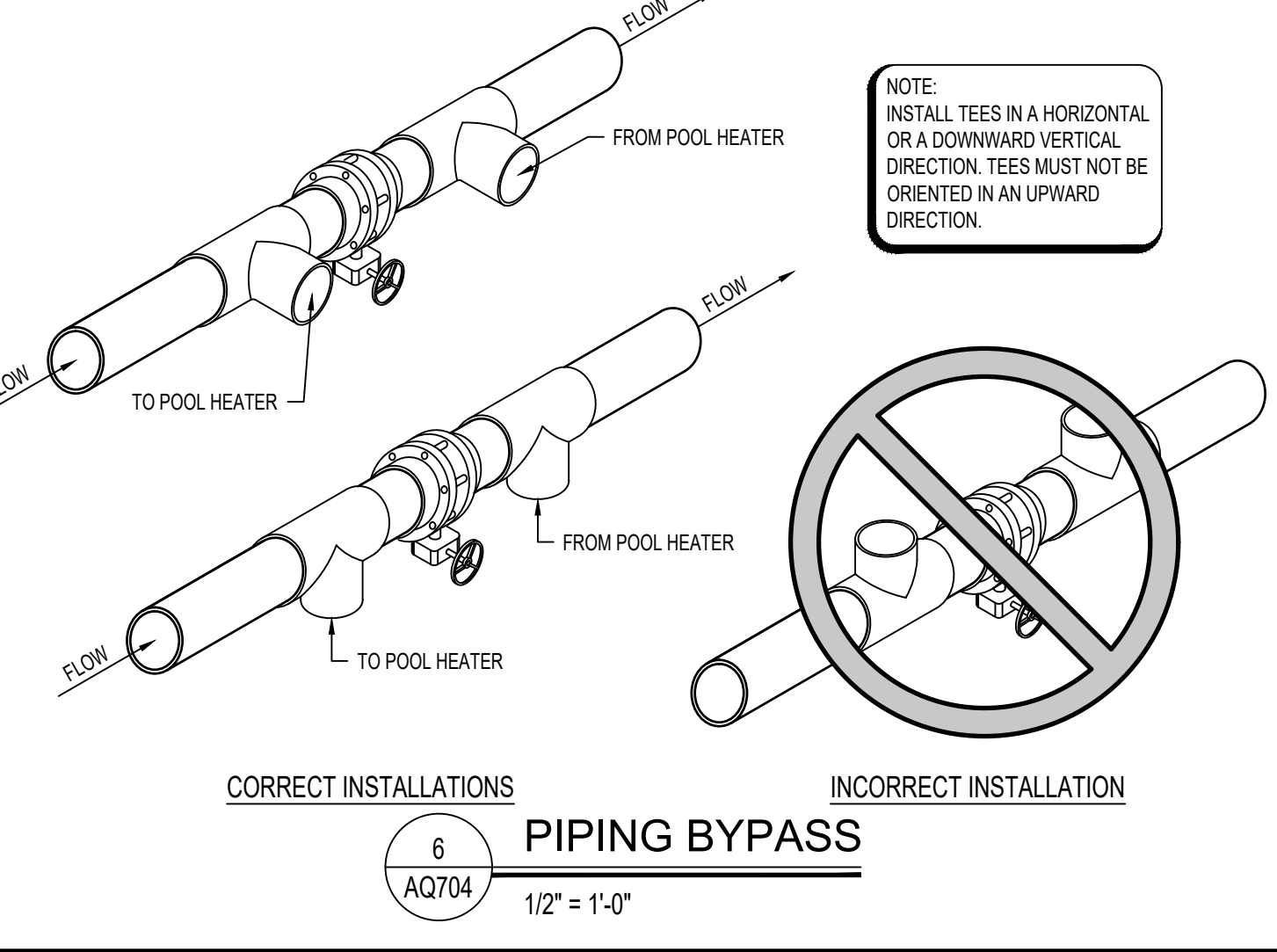
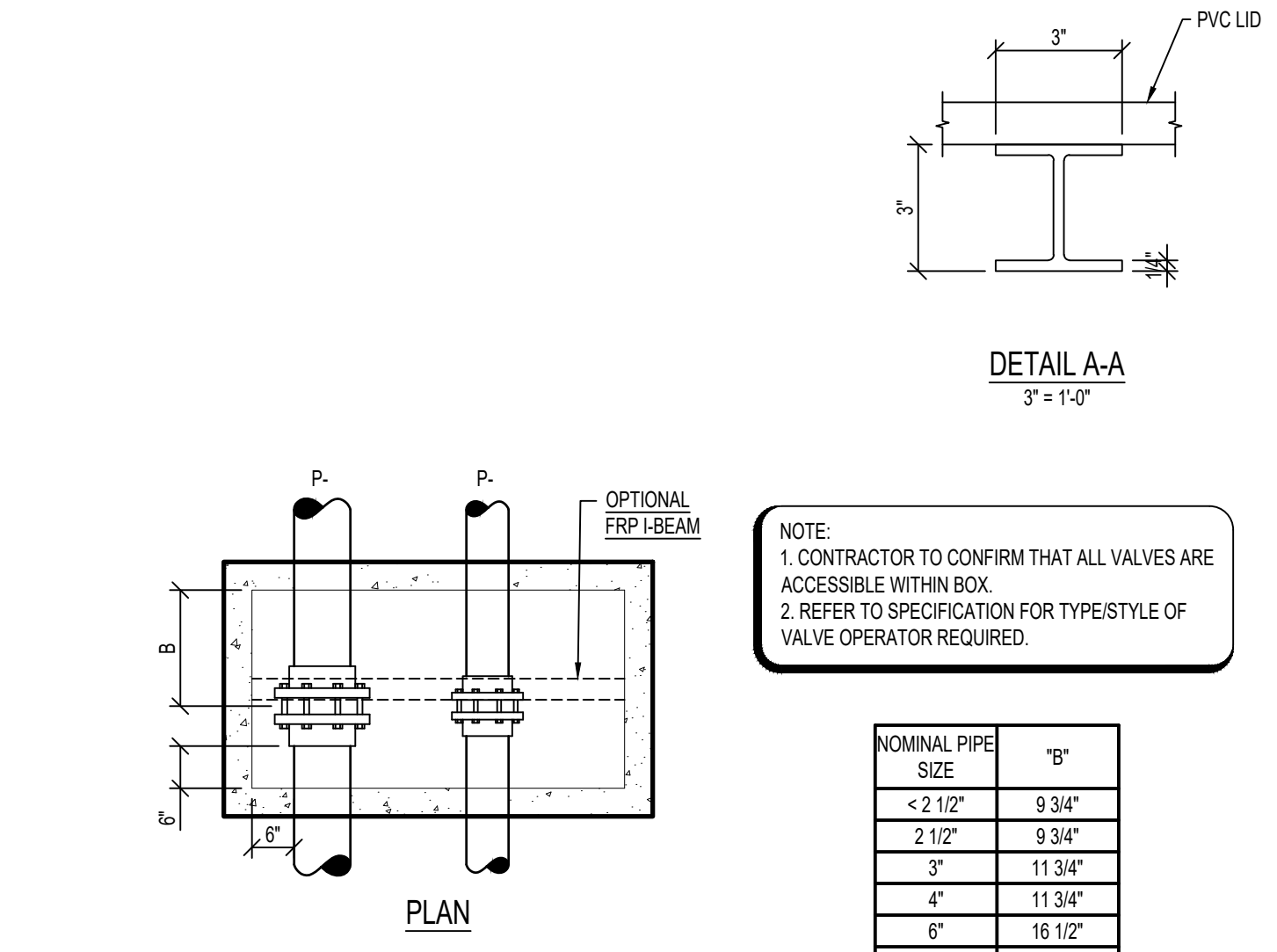
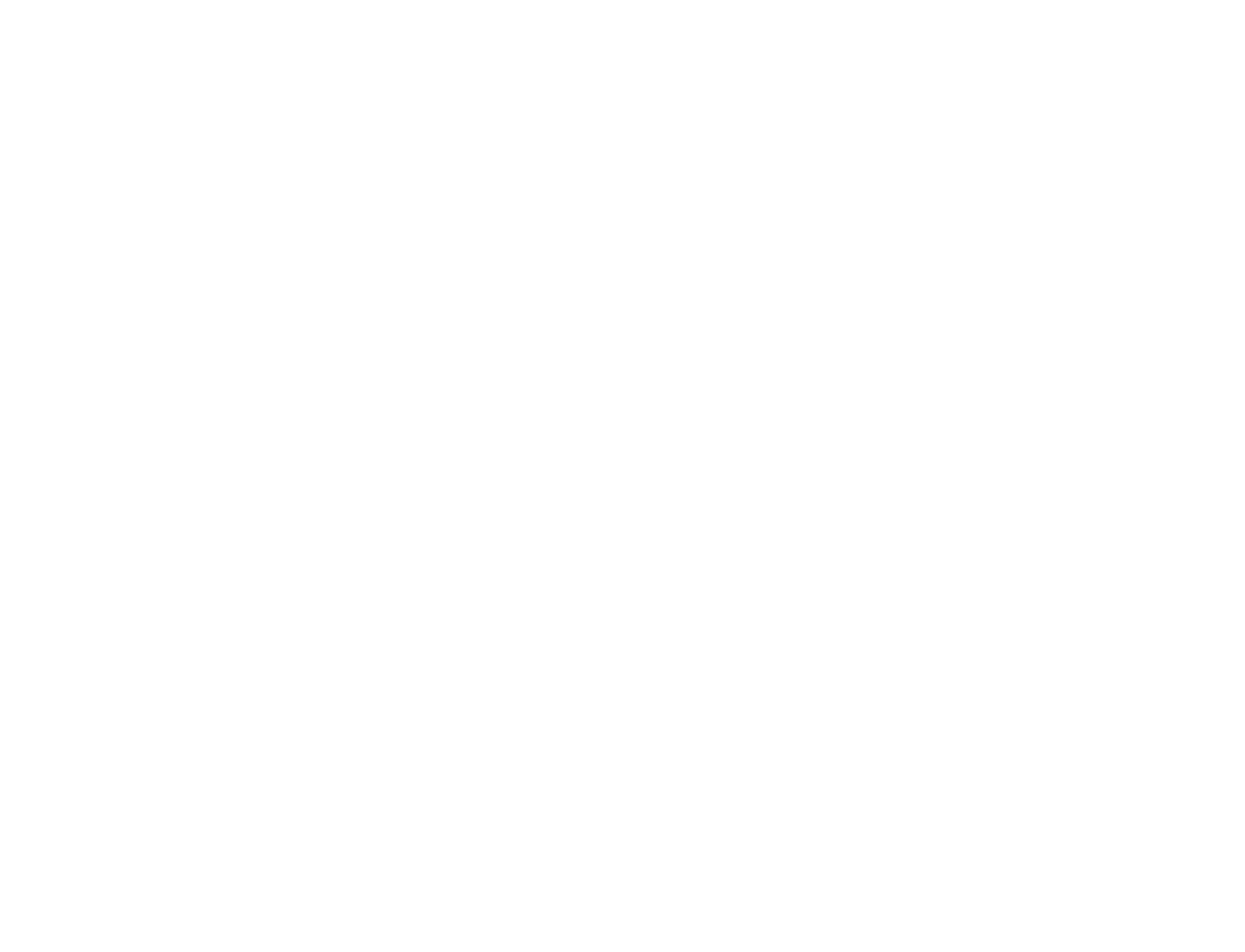
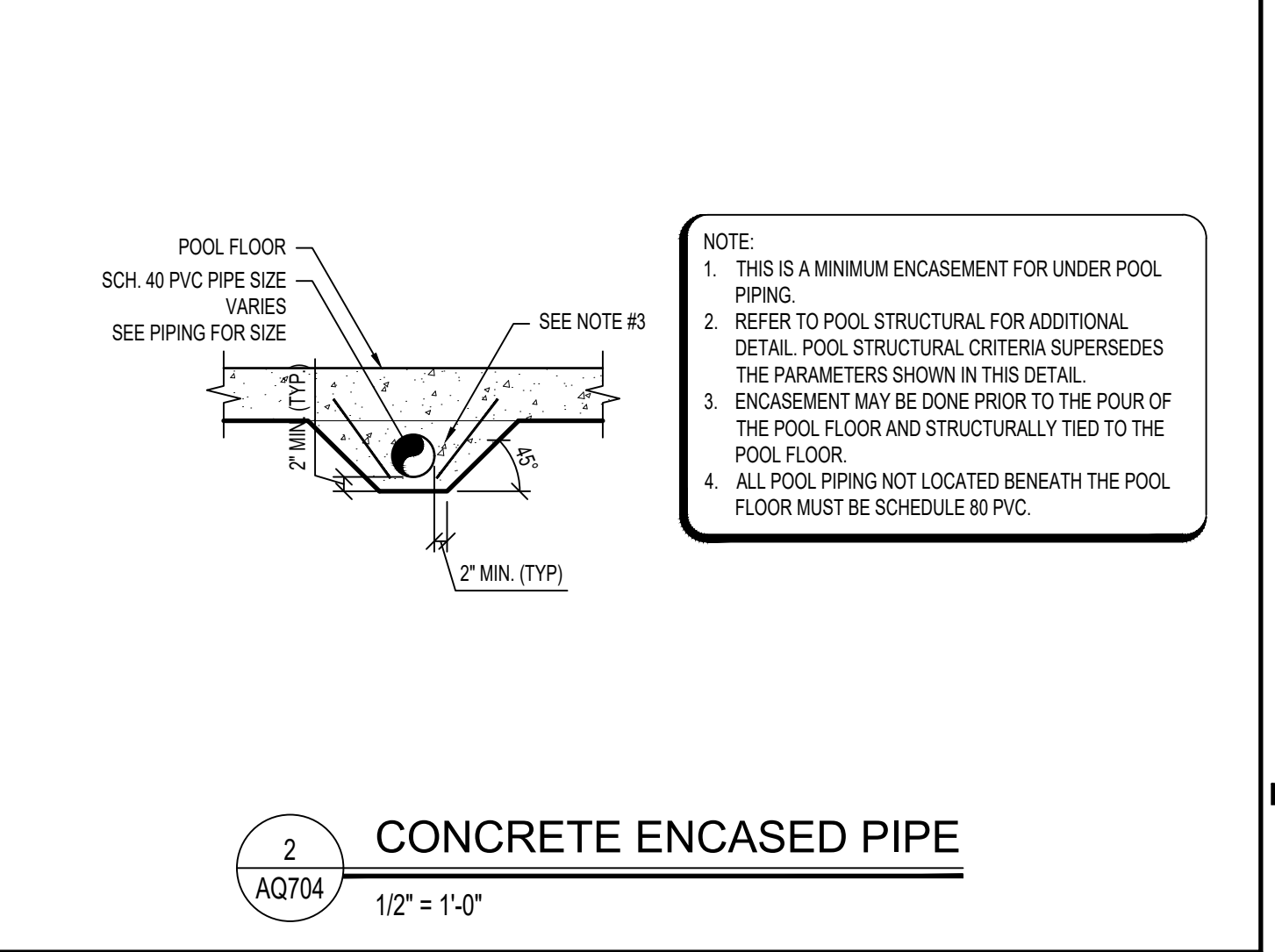
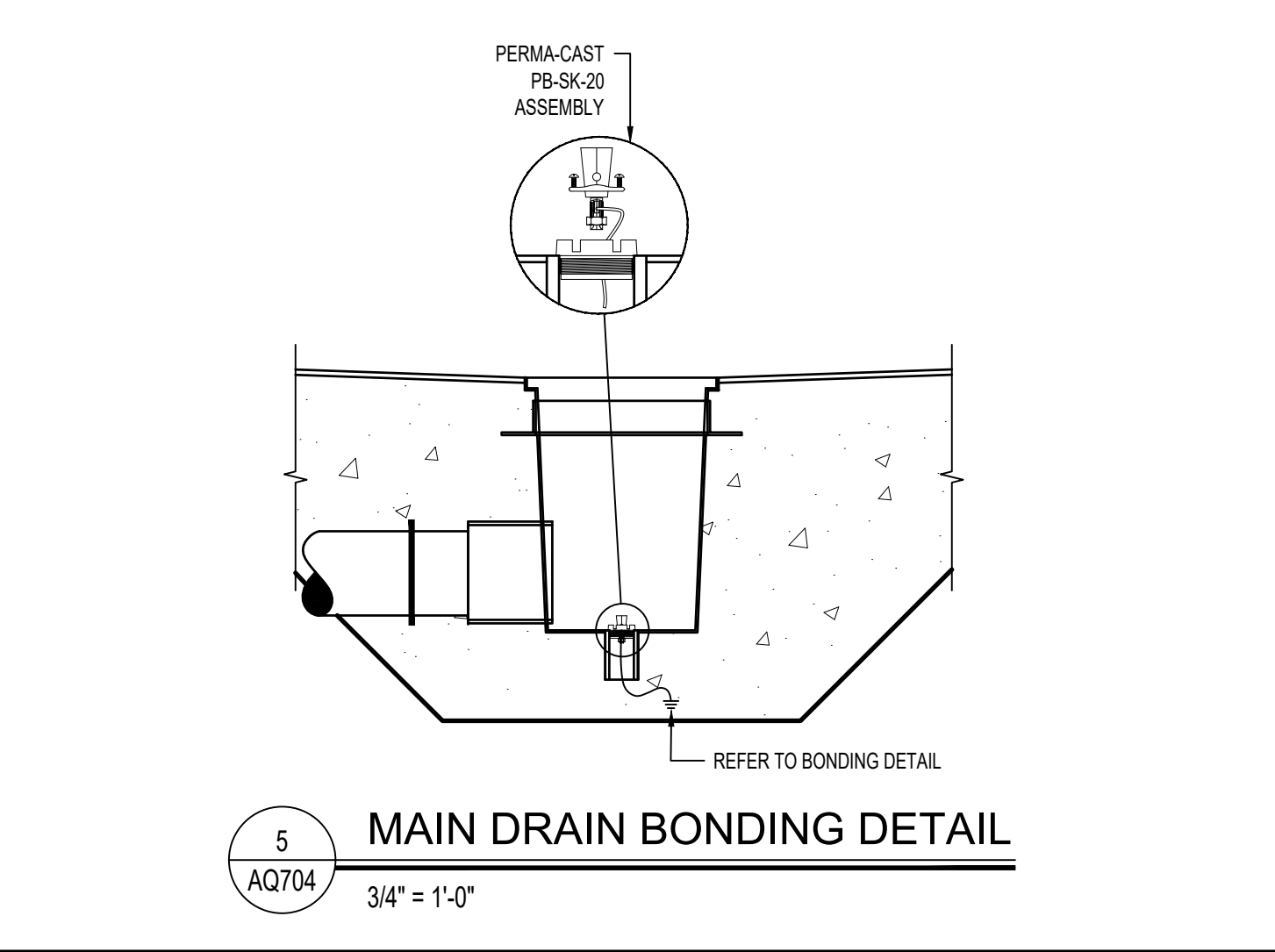
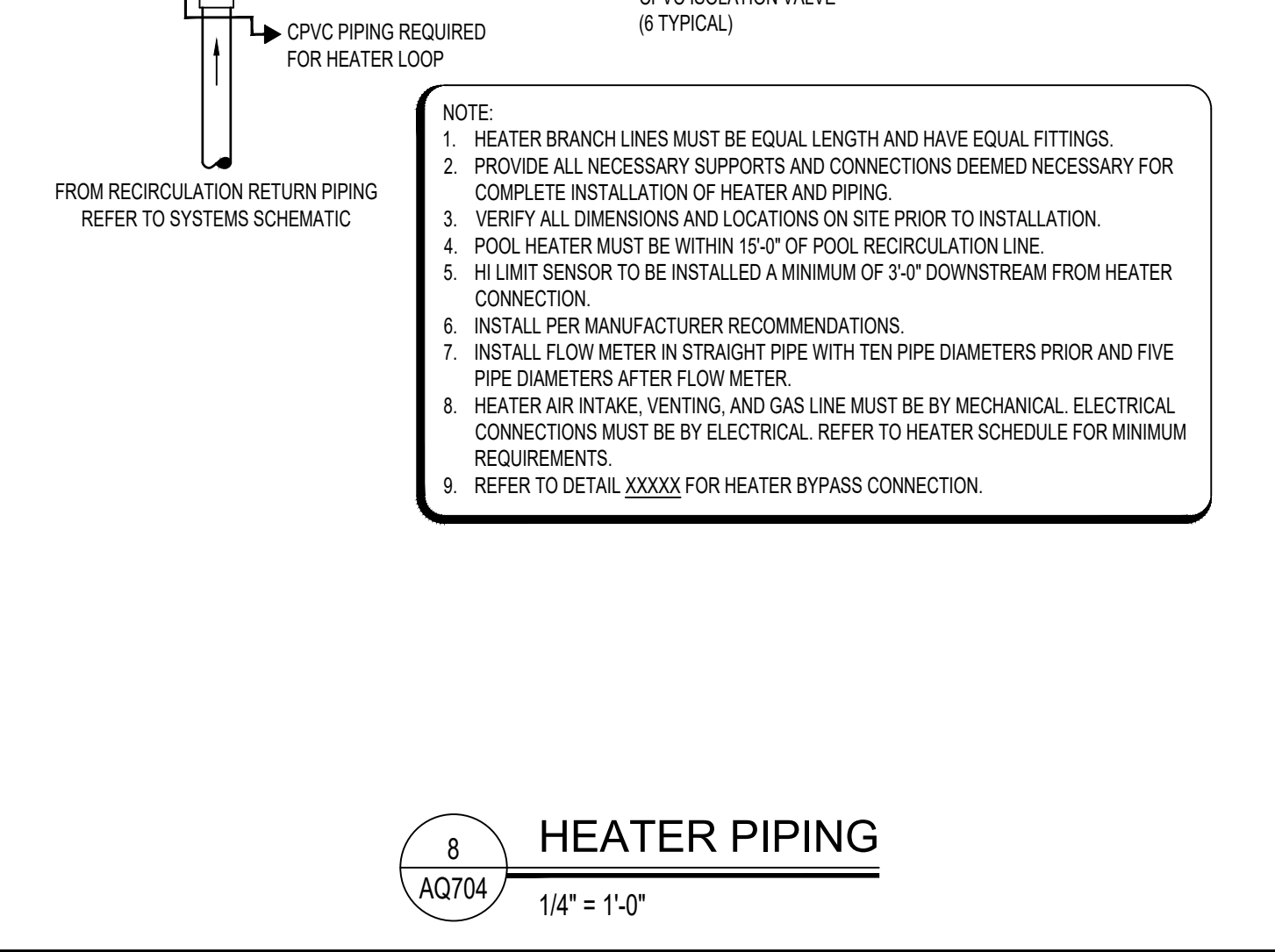
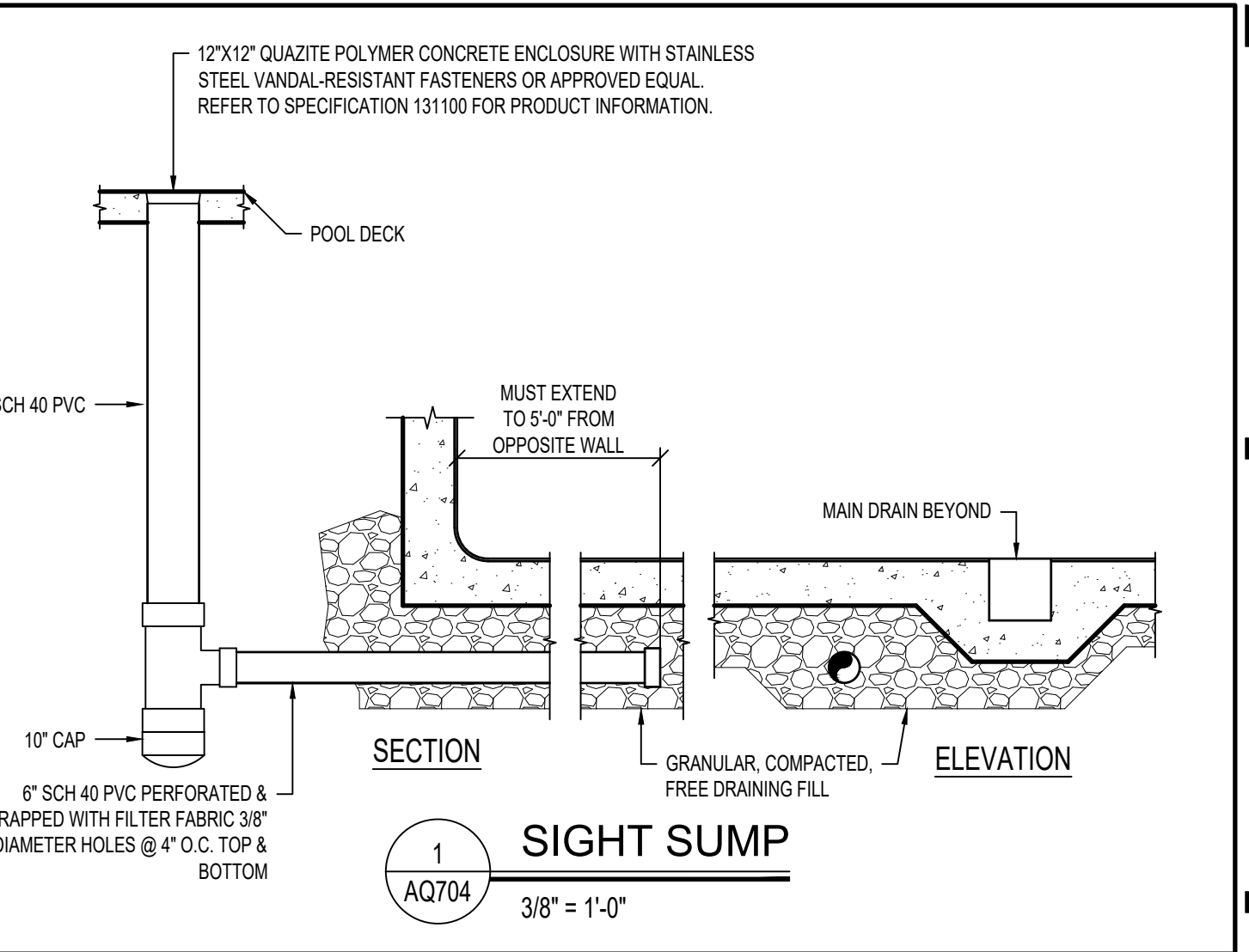
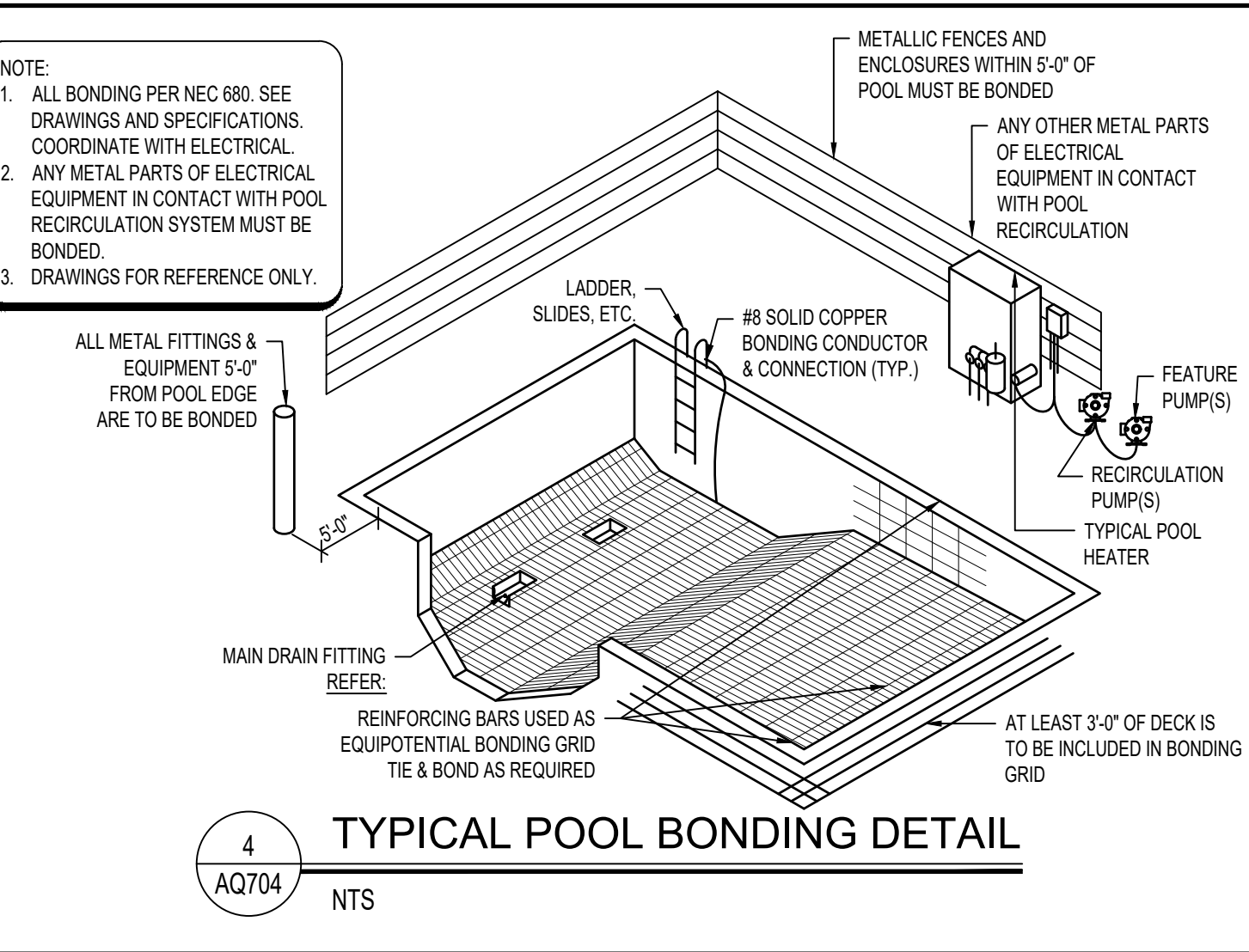
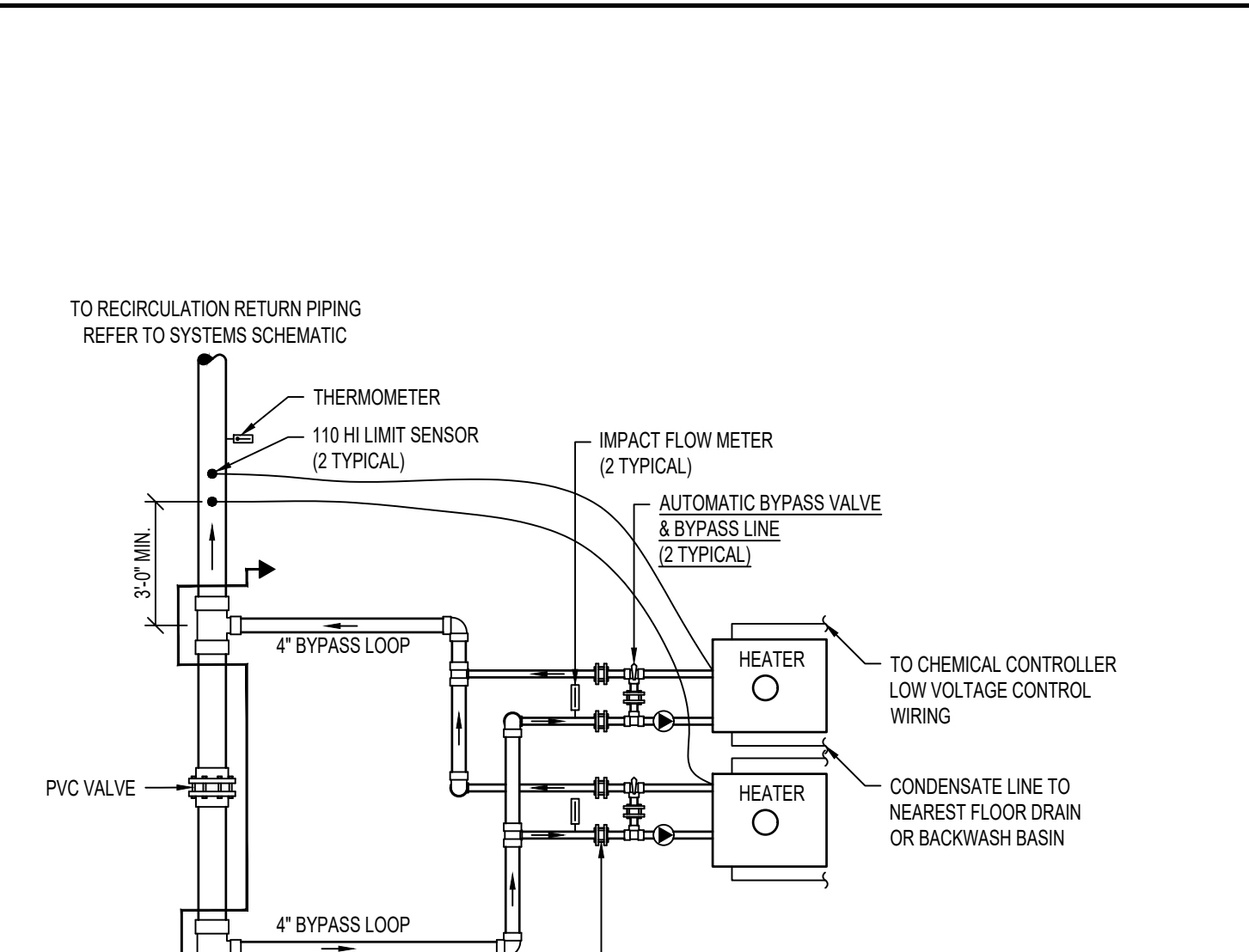
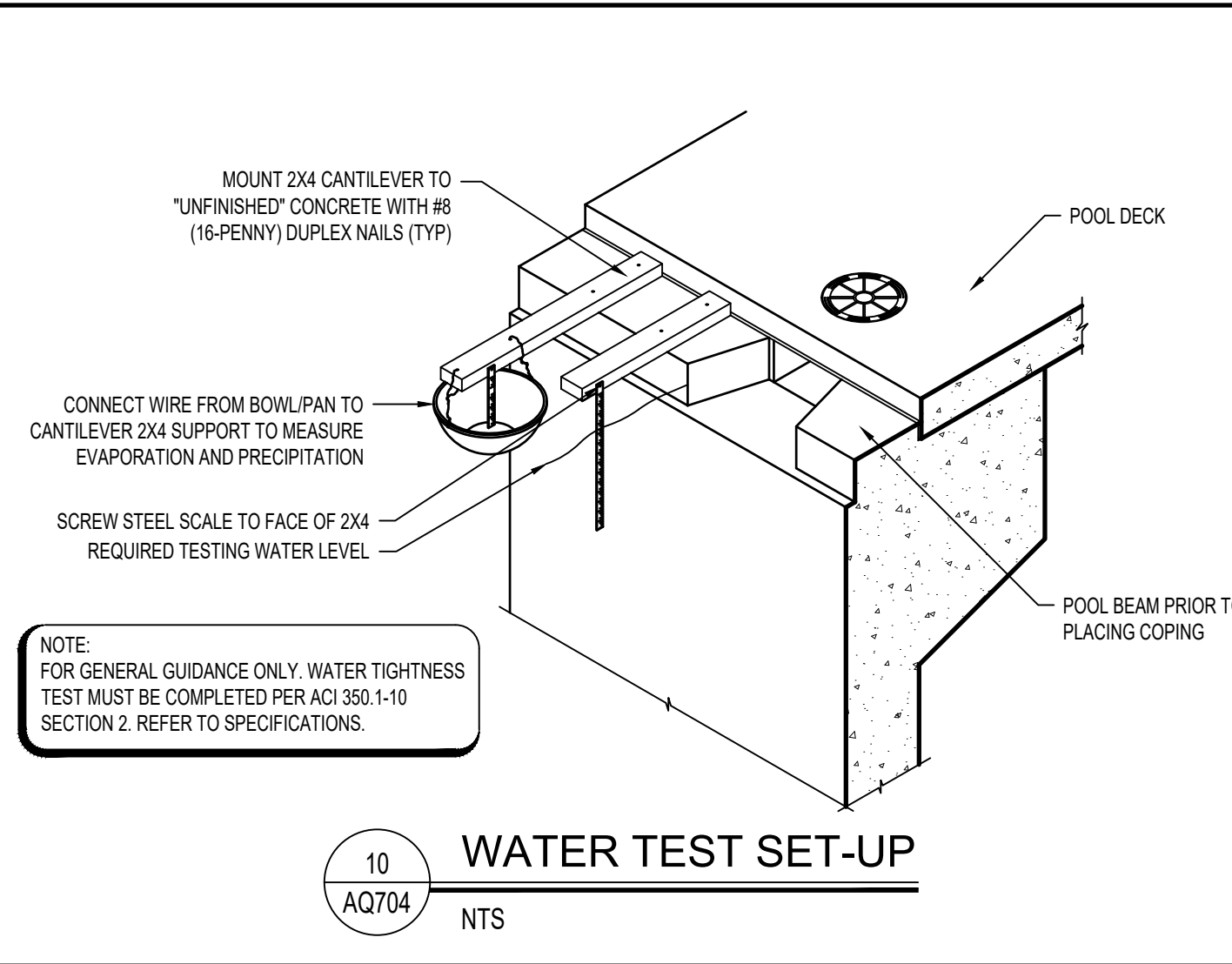
**4 CLEVIS PIPE HANGER**  
AQ703 1 1/2" = 1'-0"



**12 MAIN DRAIN**  
AQ703 3/4" = 1'-0"



**13 WINTERIZATION TAP & VALVE**  
AQ703 1 1/2" = 1'-0"



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PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY WILLISTON  
STATE NORTH DAKOTA

ISSUE DATES

**PRELIMINARY - NOT FOR CONSTRUCTION**

DD	DESIGN DEVELOPMENT	01/20/2023
SD	SCHEMATIC DESIGN	12/15/2022
MARK	DESCRIPTION	DATE

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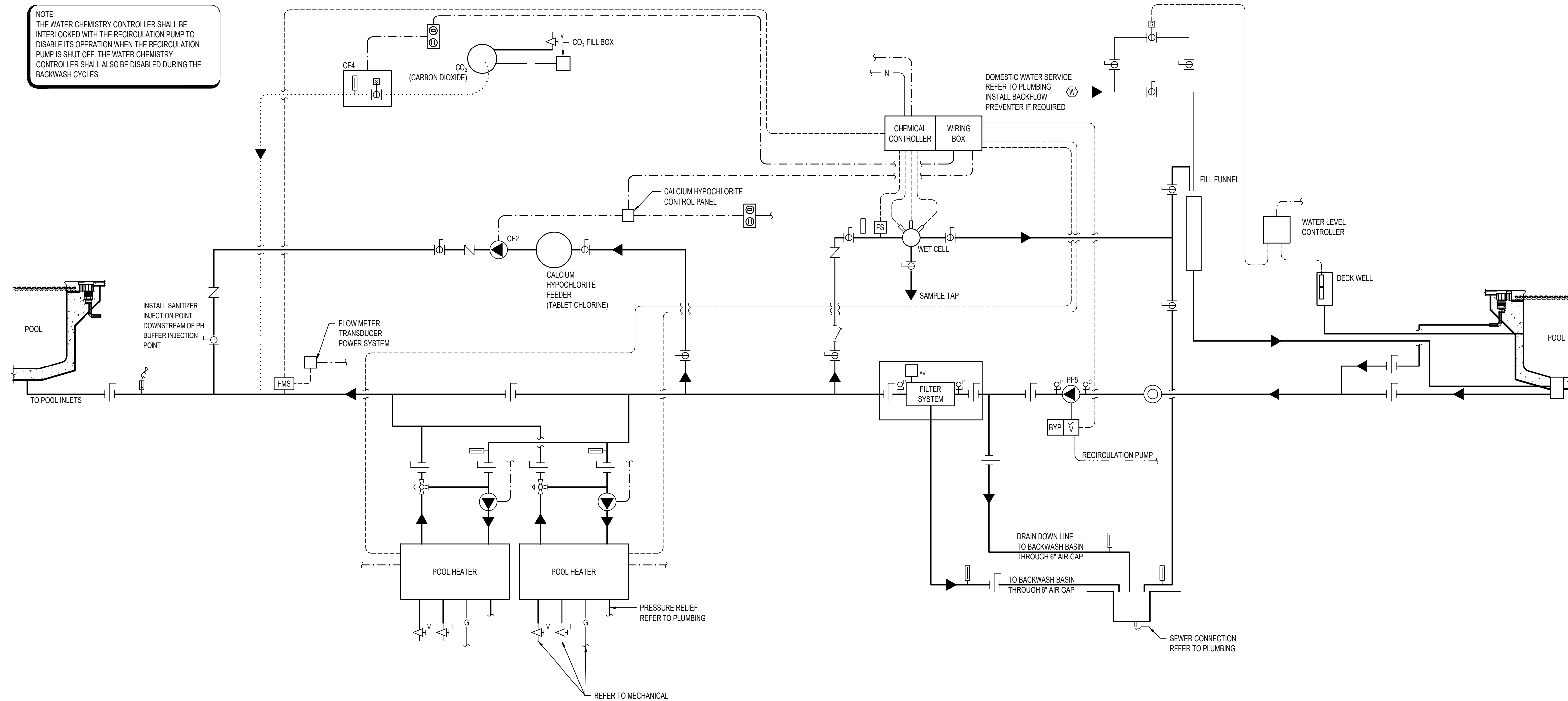
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DRAWING TITLE  
**POOL MECHANICAL DETAILS**

**AQ704**



NOTE  
THE WATER CHEMISTRY CONTROLLER SHALL BE INTERLOCKED WITH THE RECIRCULATION PUMP TO DISABLE ITS OPERATION WHEN THE RECIRCULATION PUMP IS SHUT OFF. THE WATER CHEMISTRY CONTROLLER SHALL ALSO BE DISABLED DURING THE BACKWASH CYCLES.



SCHEMATIC LEGEND	
LEGEND	ITEM
◄	FLOW DIRECTION
⌞	BUTTERFLY VALVE
⊘	BALL VALVE
⊘	MODULATING FLOAT VALVE
⊘	SOLENOID VALVE
⌞	CHECK VALVE
⊘	THREE WAY VALVE
⊘	PUMP
⊘	HAIR AND LINT STRAINER
⊘	Y" STRAINER
FMS	FLOW METER SENSOR
FS	FLOW SWITCH
⊘	IMPACT FLOW METER
⊘	VENTURI FLOW METER
⊘	WATER METER
AV	AUTOMATIC AIR VENT
V	AIR VENT
I	AIR INLET
P	PRESSURE GAUGE AND COCK
C	COMPOUND GAUGE AND COCK
⊘	DIGITAL TEMP SENSOR
⊘	THERMOMETER
A	PNEUMATIC ACTUATOR
⊘	FLOW CONTROL VALVE
⊘	COMBINATION SWITCH/RECEPTACLE
PPSC	AUTOMATIC PUMP SHUT-OFF DEVICE
V	VARIABLE FREQUENCY DRIVE
R	REMOTE START/STOP
E	EMERGENCY STOP
BYP	VARIABLE FREQUENCY DRIVE BYPASS
CMS	CONTACT MOTOR SELECTOR
⊘	15 MINUTE TIMER SWITCH
---	LOW VOLTAGE CONTROL
—	WATER LINE
- - -	1 PHASE POWER
· · ·	3 PHASE POWER
⋯	CO <sub>2</sub> LINE
— N	NETWORK LINE BY ELECTRICAL
— G	GAS LINE

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PROJECT DESCRIPTION  
**WILLISTON WATER WORLD**

CITY **WILLISTON**  
 STATE **NORTH DAKOTA**

ISSUE DATES

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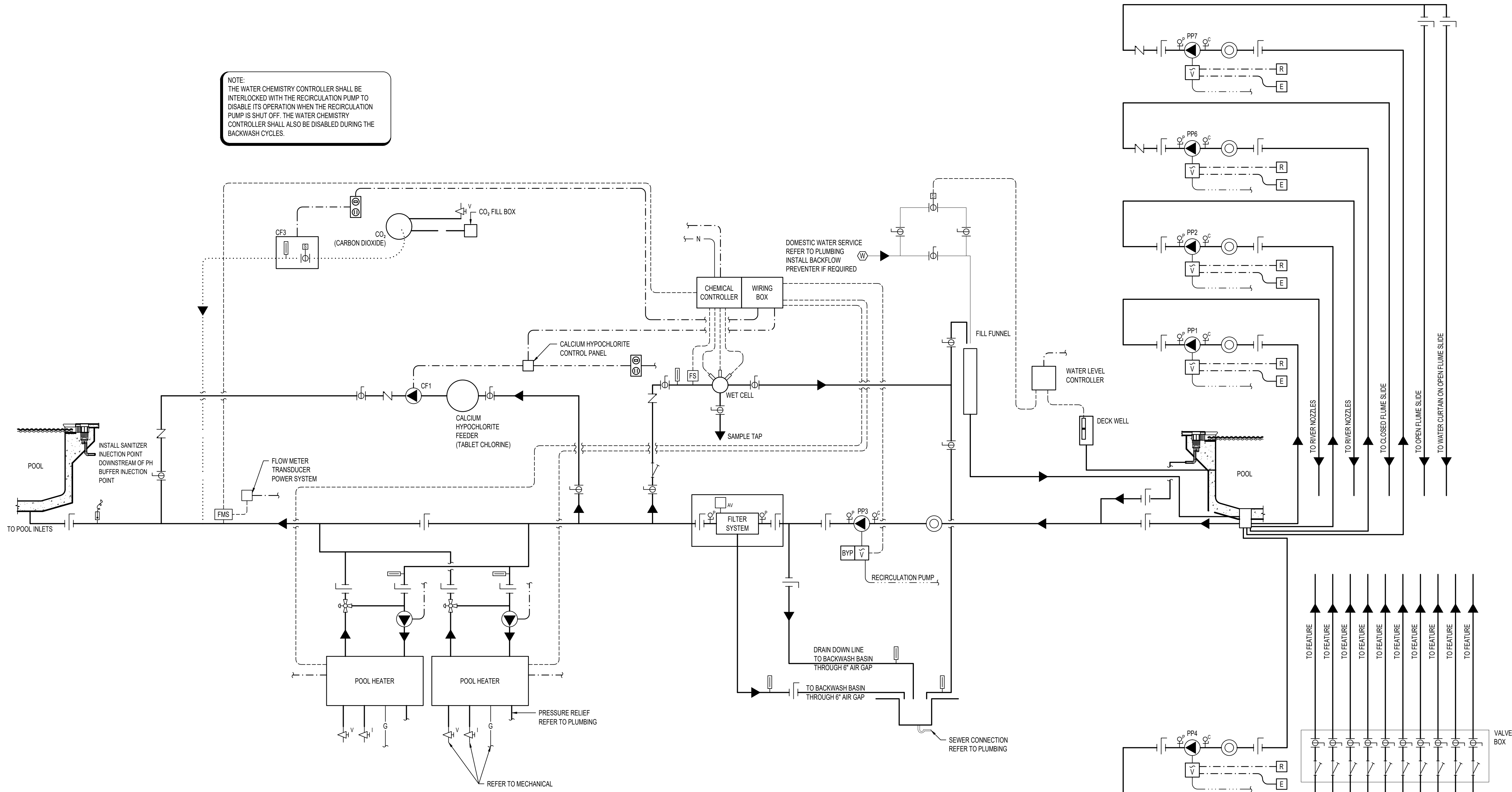
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DRAWING TITLE  
**FITNESS POOL SYSTEMS SCHEMATIC**

**AQ800**



NOTE:  
THE WATER CHEMISTRY CONTROLLER SHALL BE INTERLOCKED WITH THE RECIRCULATION PUMP TO DISABLE ITS OPERATION WHEN THE RECIRCULATION PUMP IS SHUT OFF. THE WATER CHEMISTRY CONTROLLER SHALL ALSO BE DISABLED DURING THE BACKWASH CYCLES.

SCHEMATIC LEGEND	
LEGEND	ITEM
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⌞	BUTTERFLY VALVE
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⊘/⊘	SOLENOID VALVE
⌞	CHECK VALVE
⊘/⊘	THREE WAY VALVE
⊘	PUMP
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PROJECT DESCRIPTION  
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CITY **WILLISTON**  
 STATE **NORTH DAKOTA**

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**LEISURE POOL SYSTEMS SCHEMATIC**

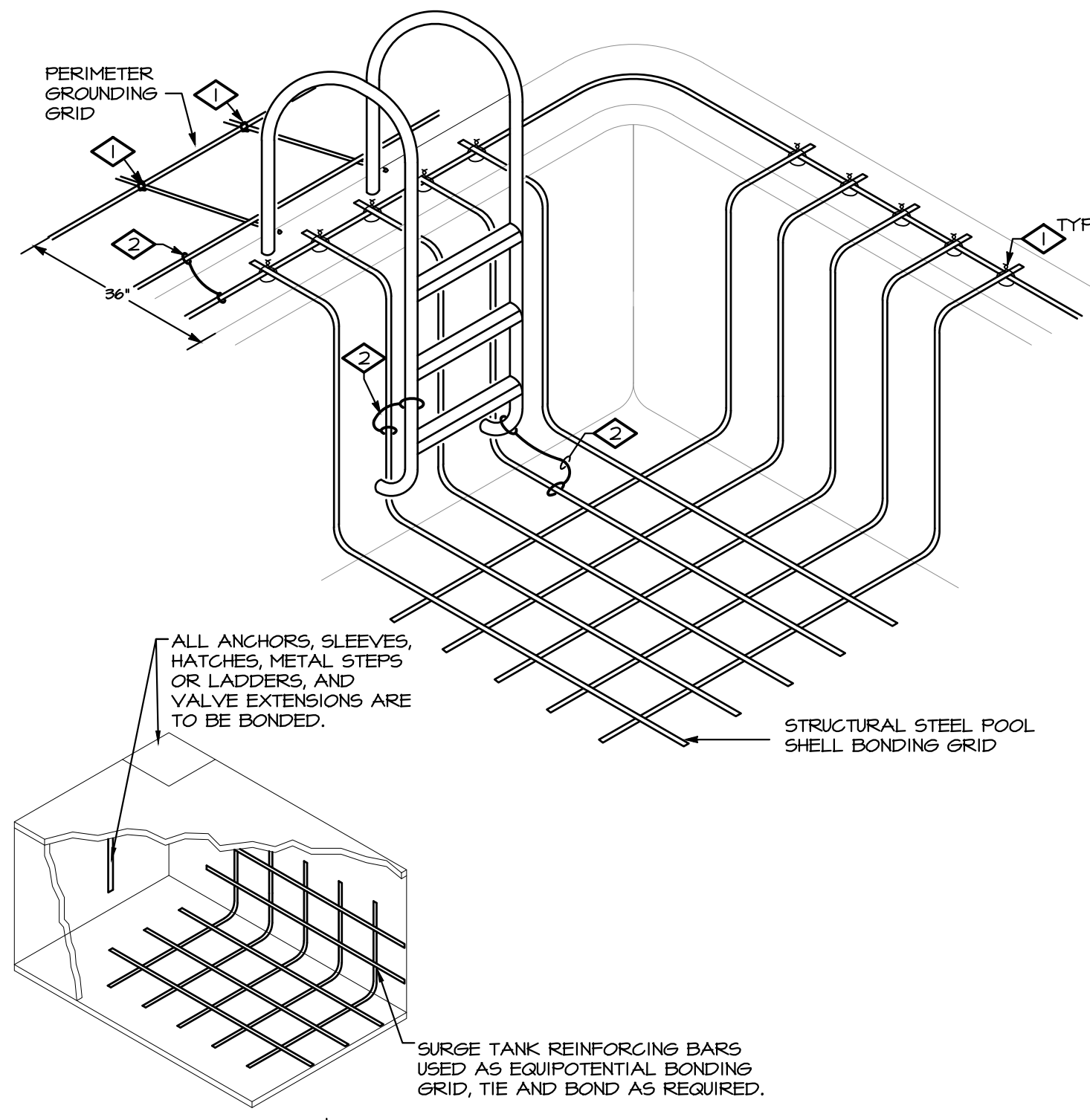
**AQ801**

ELECTRICAL REQUIREMENTS FOR POOL BONDING

- 1. ALL GROUNDING AND BONDING OF ALL METALLIC PARTS ASSOCIATED WITH THE POOL ARE TO BE IN COMPLIANCE WITH NEC SECTION 680.
2. STRUCTURAL REINFORCING STEEL TERMINOLOGY IN NOTES BELOW REFERS TO REBAR OR WIREMESH INSTALLATIONS.
3. BONDING TO CONDUCTIVE POOL SHELLS SHALL BE ACCOMPLISHED WITH REINFORCING STEEL BONDED WITH STEEL TIE WIRES, OR EQUAL, AND SHALL THEREBY SERVE AS A COMMON BONDING GRID FOR ALL PARTS REQUIRED TO BE BONDED TOGETHER. WHERE EPOXY-COATED REBAR IS UTILIZED, THEN A COPPER CONDUCTOR GRID SYSTEM SHALL BE INSTALLED, WITH MINIMUM #8 AWG BARE SOLID CONDUCTORS BONDED AT ALL CROSS POINT, CONFORM TO THE CONTOUR OF THE POOL, BE ARRANGED IN A 12" X 12" GRID PATTERN, AND BE SECURED WITHIN OR UNDER THE POOL NO MORE THAN 6" FROM THE OUTER CONTOUR OF THE POOL.
4. BONDING TO PERIMETER SURFACES SHALL BE ACCOMPLISHED WITH REINFORCING STEEL REBAR BONDED WITH STEEL TIE WIRES, OR EQUAL, WHERE EPOXY-COATED REBAR IS UTILIZED, THEN A SINGLE #8 AWG COPPER, BARE SOLID CONDUCTOR SHALL BE INSTALLED 18" TO 24" WITHIN THE INSIDE WALL OF THE POOL, AND WITHIN 4" TO 6" UNDER THE SURFACE.
5. THE FOLLOWING PARTS SHALL BE BONDED TOGETHER AND CONNECTED TO THE COMMON BONDING GRID. BONDING LUGS SHALL BE SUPPLIED BY POOL CONTRACTOR.
A. ALL METALLIC PARTS OF THE POOL STRUCTURE, INCLUDING COPYING STONES, DECK, STARTING BLOCK STRUCTURES AND/OR ATTACHMENT POINTS.
B. ALL METAL FITTINGS WITHIN OR ATTACHED TO THE POOL STRUCTURE.
C. METAL PARTS ASSOCIATED WITH THE POOL WATER CIRCULATING SYSTEM, INCLUDING PUMPS, FILTERS, AND HEATERS.
D. METAL PARTS ASSOCIATED WITH POOL COVERS.
E. METAL SHEATHED CABLES AND RACEWAYS, METAL PIPING, AND ALL FIXED METAL PARTS WITHIN 5 FEET HORIZONTALLY OF INSIDE WALLS OF POOL AND WITHIN 12 FEET ABOVE THE MAXIMUM WATER LEVEL OF THE POOL.
F. METAL PARTS ASSOCIATED WITH OBSERVATION STANDS, TOWERS, PLATFORMS, AND DIVING STRUCTURES.
6. ISOLATED PARTS THAT ARE NOT MORE THAN 4" IN ANY DIMENSION AND DO NOT PENETRATE INTO THE POOL STRUCTURE MORE THAN 1" SHALL NOT REQUIRE BONDING.
7. BONDING CONDUCTORS SHALL BE MINIMUM #8 SOLID COPPER, INSULATED, E.C. SHALL COORDINATE APPROVED CONNECTOR TYPE AND METHOD WITH LOCAL ELECTRICAL AND/OR POOL INSPECTOR.
8. SPECIFIC MANUFACTURER'S INSTRUCTIONS REGARDING BONDING OR GROUNDING OF POOL EQUIPMENT, WHETHER INDICATED HEREIN OR NOT, SHALL BE STRICTLY FOLLOWED.
9. THE COMMON BONDING GRID SHALL NOT BE CONNECTED TO ANY ELECTRICAL DISTRIBUTION EQUIPMENT.
10. ANY PARTS IN ADDITION TO THOSE DESCRIBED HEREIN THAT ARE INDICATED BY POOL CONTRACTOR OR LOCAL INSPECTION AUTHORITY SHALL BE BONDED TO THE COMMON BONDING GRID WITH NO ADDITIONAL COSTS INCURRED BY THE OWNER.
11. ROPE ANCHORS WHICH ARE ATTACHED TO A STAINLESS STEEL GUTTER ARE INTERNALLY BONDED TO GUTTER AND SO DO NOT REQUIRE ADDITIONAL BONDING.
12. THE ELECTRICAL CONTRACTOR SHALL COORDINATE BONDING WITH POOL CONTRACTOR AND GENERAL CONTRACTOR.

DETAIL NOTES

- 1. BOND ALL STRUCTURAL REINFORCING STEEL TOGETHER WITH STEEL TIE WIRES AT ALL STEEL CROSSING POINTS.
2. CONNECT STRUCTURAL REINFORCING STEEL GRID WITHIN POOL AND/OR PERIMETER POOL DECK TO METAL FITTINGS, ELECTRICAL EQUIPMENT, AND METAL WIRING METHODS AND EQUIPMENT IN ACCORDANCE WITH ARTICLE 680 OF THE NATIONAL ELECTRIC CODE. CONNECT WITH MINIMUM #8 SOLID AWG BARE COPPER. REFER TO GENERAL NOTE #3 ABOVE FOR CONNECTION REQUIREMENTS.



1 POOL BONDING DETAIL

AQ900 SCALE: N.T.S.

ABBREVIATIONS AND SYMBOLS

Table listing abbreviations and symbols for electrical components such as AMPERE(S), ABOVE COUNTER, ABOVE FINISHED FLOOR, etc.

SYSTEMS

Table listing symbols for systems like TTB, MDF OR IDF SYSTEM BACKBOARD, TELECOMMUNICATION OUTLET, etc.

LIGHTING FIXTURES

Table listing symbols for lighting fixtures such as LUMINAIRE TYPE, HALL MOUNTED LUMINAIRE, SURFACE MOUNTED LUMINAIRE, etc.

WIRING DEVICES

Table listing symbols for wiring devices including DUPLEX RECEPTACLE, SINGLE RECEPTACLE, SWITCHED DUPLEX RECEPTACLE, etc.

DISTRIBUTION AND RACEWAY

Table listing symbols for distribution and raceway components like MAIN DISTRIBUTION CENTER (MDC), SURFACE MTD PANELBOARD, TRANSFORMER, etc.

ELECTRICAL GENERAL NOTES

- 1. THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY FOR A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM.
2. MATERIALS AND INSTALLATION SHALL COMPLY WITH CODES, LAWS AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
3. MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY UL, ETL, CSA OR ANOTHER RECOGNIZED TESTING LAB.
4. ALL WORK REQUIRED FOR THE INSTALLATION AS SHOWN ON DRAWINGS INCLUDING LABOR, EQUIPMENT AND MATERIALS SHALL BE IN STRICT COMPLIANCE WITH THE BUILDING STANDARDS, EXCEPT AS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE ELECTRICAL WORK.
6. THE CONTRACTOR SHALL PREPARE AND SUBMIT TO GOVERNMENTAL AGENCIES SHOP DRAWINGS, WHICH ARE REQUIRED BY THESE AGENCIES, FOR THEIR APPROVAL.
7. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER/OWNER OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS OR ORDINANCES, RULES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
8. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, VISIT THE SITE AND THOROUGHLY BECOME FAMILIAR WITH THE BUILDING STANDARDS AND LOCAL CONDITIONS RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT.
9. ALL MATERIALS, AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED, AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
10. ALL CUTTING, DRILLING AND PATCHING OF MASONRY, STEEL OR IRON WORK BELONGING TO THE BUILDING MUST BE DONE BY THIS CONTRACTOR IN ORDER THAT HIS WORK MAY BE PROPERLY INSTALLED, BUT UNDER NO CONDITIONS MAY STRUCTURAL WORK BE CUT, EXCEPT AT THE DIRECTION OF THE ARCHITECT-DESIGNER OR THEIR REPRESENTATIVE.
11. E.C. IS TO REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ALL FIRE RATED PENETRATION INSTALLATION REQUIREMENTS. E.C. IS TO NOTIFY ENGINEER AND ARCHITECT PRIOR TO INSTALLING ANY FIXTURES WITHIN A FIRE RATED CEILING OR WALL. FIRE RATINGS MUST BE MAINTAINED FOR THIS TYPE OF INSTALLATION WITH DRYWALL TENTING.
12. SHOP DRAWINGS SHALL INCLUDE MANUFACTURER'S NAMES, CATALOG NUMBERS, AND OTHER SUCH DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT. SUBMITTALS SHALL BE IN LOGICAL GROUPS, FOR EXAMPLE, ALL LIGHTING FIXTURES, PARTIAL SUBMITTALS WILL NOT BE REVIEWED.
13. SUBMIT ELECTRONIC OF THE FOLLOWING SHOP DRAWINGS FOR REVIEW.
A. POOL PUMP EQUIPMENT
B. COMBINATION VFD/DISCONNECT/STARTERS
C. PROVIDE "AS-BUILT" DRAWINGS AND SUBMIT TO ARCHITECT/DESIGNER.
14. ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE NEW, UNLESS SPECIFICALLY INDICATED AS EXISTING TO BE REUSED.
15. ALL NEW CIRCUIT BREAKERS FOR NEW OR EXISTING PANELBOARDS SHALL MATCH EXISTING BUILDING PANELBOARD MANUFACTURER AND BREAKER TYPE. THE CONTRACTOR SHALL PROVIDE NEW TYPE WRITTEN PANEL DIRECTORIES FOR ALL NEW PANELS AND EXISTING PANELS WHICH HAVE CHANGED. PANELBOARD SHALL BE MARKED WHERE THE SOURCE OF POWER SUPPLY ORIGINATES, AND IF SERIES COMBINATION SYSTEMS ARE UTILIZED AND THEIR LISTED AMPERE RATINGS.
16. DO NOT SHARE NEUTRAL CONDUCTORS FOR MULTIWIRE BRANCH CIRCUITS. WHERE SHARED NEUTRAL CONDUCTORS ARE REQUIRED (SUCH AS POWERED FURNITURE SYSTEMS), HANDLE TIES SHALL BE PROVIDED ON THE CIRCUIT BREAKERS, WITH SHARED NEUTRAL, SUCH THAT IT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS. ALL HANDLE TIES ARE REQUIRED TO BE INDICATED ON THE PANELBOARD SHOP DRAWINGS.
17. SHOULD ACTUAL FIELD CONDITIONS REQUIRE INDICATED CIRCUIT DESIGNATIONS TO VARY, INDICATE THE CIRCUIT NUMBER USED ON THE "AS-BUILT" DRAWINGS.
18. ALL NEW CIRCUITS SHALL HAVE A GROUND WIRE INSTALLED.
19. ALL WIRING NOT INSTALLED IN CONDUIT AND INSTALLED IN THE CEILING SPACE SHALL BE PLENUM RATED. ALL WIRING WITHIN POOL EQUIPMENT ROOMS AND POOL SPACE SHALL BE WITHIN PVC CONDUIT.
20. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SPECIAL OUTLET BOXES THAT MAY BE REQUIRED TO ENCLOSE RECEPTACLES.
21. EACH SWITCH, LIGHT, RECEPTACLE AND OTHER MISCELLANEOUS DEVICE SHALL BE PROVIDED WITH A GALVANIZED OR PRESSED STEEL OUTLET BOX OF THE KNOCKOUT TYPE OF NOT LESS THAN NO. 14 U.S. GAUGE STEEL. CONDUITS SHALL BE FASTENED WITH LOCKNUTS AND BUSHINGS AND ALL UNUSED KNOCKOUTS MUST BE LEFT SEALED. THERE MUST BE SUFFICIENT ROOM FOR WIRES AND BUSHINGS AND DEEP BOXES SHALL BE INSTALLED WHERE REQUIRED. BOXES SHALL BE SECURELY AND ADEQUATELY SUPPORTED.
22. MINIMUM CONDUIT SIZE IS 3/4".
23. "MC" CABLE IS NOT ACCEPTABLE.
24. IN EXPOSED AND SUSPENDED CEILING APPLICATIONS, ROUTE CONDUIT AS CLOSE TO STRUCTURAL SLAB OR DECK AS POSSIBLE, AND SUPPORT CONDUIT AND JUNCTION BOXES DIRECTLY FROM THE STRUCTURAL SLAB, DECK OR FRAMING PROVIDED FOR THAT PURPOSE. LIGHTING BRANCH CIRCUIT CONDUITS SHALL NOT BE CLIPPED TO THE CEILING SYSTEM HAS BEEN SPECIFICALLY DESIGNED FOR THAT PURPOSE. ROUTING WITHIN POOL AREA SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO ROUGH-IN.
25. ALL EXPOSED CONDUIT SHALL BE CONCEALED TO THE GREATEST EXTENT POSSIBLE, AND SHALL BE INSTALLED PARALLEL AND CLOSE TO STRUCTURAL MEMBERS. GENERAL CONTRACTOR SHALL PAINT CONDUIT TO MATCH ADJACENT FINISHES.
26. ALL RECEPTACLES SHALL BE SPECIFICATION GRADE NEMA 5-20R, UNLESS OTHERWISE NOTED.
27. ALL LIGHT SWITCHES SHALL BE SPECIFICATION GRADE, QUIET OPERATION RATED (20/27) VOLT, 20 AMP, UNLESS OTHERWISE NOTED.
28. ALL FACE PLATE AND DEVICE COLORS SHALL BE APPROVED BY ARCHITECT OR OWNER.
29. ROUGH-IN FOR POOL EQUIPMENT SHALL ONLY OCCUR AFTER POOL EQUIPMENT SUBMITTALS ARE THOROUGHLY REVIEWED FOR CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
30. PROVIDE NEMA 3R AND CORROSION RESISTANT ELECTRICAL EQUIPMENT AND WIRING METHODS WITHIN POOL EQUIPMENT, POOL AND WHIRLPOOL AREAS. REFER TO DRAWINGS AND SPECIFICATION.
31. THE POWER AND CONTROL REQUIREMENTS FOR ALL EQUIPMENT CONNECTIONS SHALL BE CONFIRMED WITH APPROVED SHOP DRAWINGS PRIOR TO ELECTRICAL ROUGH-IN. FINAL POWER REQUIREMENTS, DIMENSIONED ROUGH-IN LOCATIONS, LOW VOLTAGE SYSTEM CONNECTIONS, ETC. SHALL BE CONFIRMED AND MODIFIED AS REQUIRED.
32. ALL EXISTING ELECTRICAL SERVICES NOT SPECIFICALLY INDICATED TO BE REMOVED OR ALTERED SHALL REMAIN AS THEY PRESENTLY EXIST.
33. IDENTIFY EACH RECEPTACLE WITH PANELBOARD IDENTIFICATION AND CIRCUIT NUMBER, USE HOT, STAMPED, OR ENGRAVED MACHINE PRINTING WITH BLACK-FILLED LETTERING ON FACE OF PLATE, AND DURABLE WIRE MARKERS OR TAGS INSIDE OUTLET BOXES.
34. UNLESS OTHERWISE NOTED, ALL GFCI RECEPTACLES SHALL HAVE TEST/RESET SWITCHES INTEGRAL TO RECEPTACLE DEVICE.



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WILLISTON
COMMUNITY
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PROJECT DESCRIPTION
WILLISTON WATER
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Table with columns: DD, DESIGN DEVELOPMENT, 01/20/2023; MARK, DESCRIPTION, DATE

PROJECT NO: 20224620

DRAWN BY: KAS

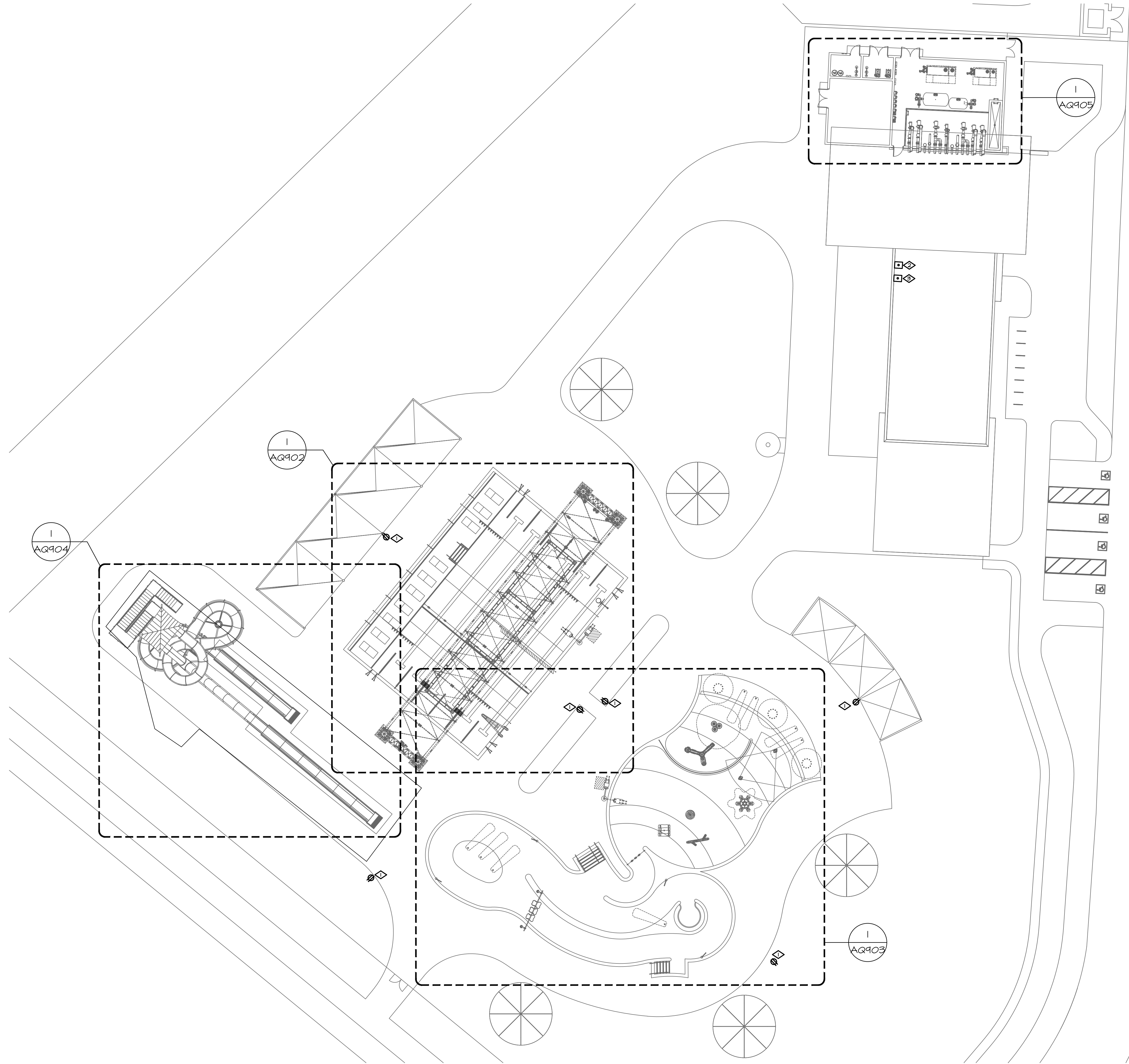
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AQ900



- GENERAL NOTES**
- A. REFER TO AQ-900 FOR ELECTRICAL SYMBOLS AND ABBREVIATIONS.
  - B. REFER TO ENLARGED PLANS FOR MORE INFORMATION.
  - C. REFER TO AQ905 FOR POOL EQUIPMENT SCHEDULES.
  - D. ALL DEVICES WITHIN POOL DECK AND POOL AREAS SHALL BE CORROSION RESISTANCE RECEPTACLES. REFER TO BUILDING ELECTRICAL ENGINEER'S SPECIFICATIONS FOR SPECIFIC REQUIREMENTS.

**KEYNOTE LEGEND**

KEY VALUE	DESCRIPTION
◇	1. PROVIDE NEMA 5-20R RECEPTACLE FOR CORD AND PLUG POWER CONNECTION TO OWNER PROVIDED PORTABLE VACUUM SYSTEM. RECEPTACLE SHALL BE PROTECTED WITH 30MA GFCI BREAKER. HINGED WATER TIGHT OUTLET BOX HOOD SHALL BE LISTED FOR "EXTRA DUTY" PER NEC 406.9 (B)(1). E.G. SHALL COORDINATE EXACT NEMA CONFIGURATION, LOCATION AND MOUNTING REQUIREMENTS WITH ARCHITECT PRIOR TO ROUGH-IN.
◇	2. PROPOSED LOCATION FOR LEISURE POOL FEATURE PUMP (PP4) REMOTE START/STOP CONTROL. COORDINATE FINAL LOCATION WITH ARCHITECT AND OWNER. REFER TO POOL EQUIPMENT SCHEDULE FOR ADDITIONAL DETAILS.
◇	3. PROPOSED LOCATION FOR EMERGENCY POWER OFF (EPO) SWITCHES FOR LEISURE POOL PUMPS (PPI, PP2 AND PP4). COORDINATE FINAL LOCATION WITH ARCHITECT AND OWNER. REFER TO POOL EQUIPMENT SCHEDULE FOR ADDITIONAL DETAILS.



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PROJECT DESCRIPTION  
WILLISTON WATER  
WORLD

CITY  
STATE

ISSUE DATES

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DD	DESIGN DEVELOPMENT	01/20/2023
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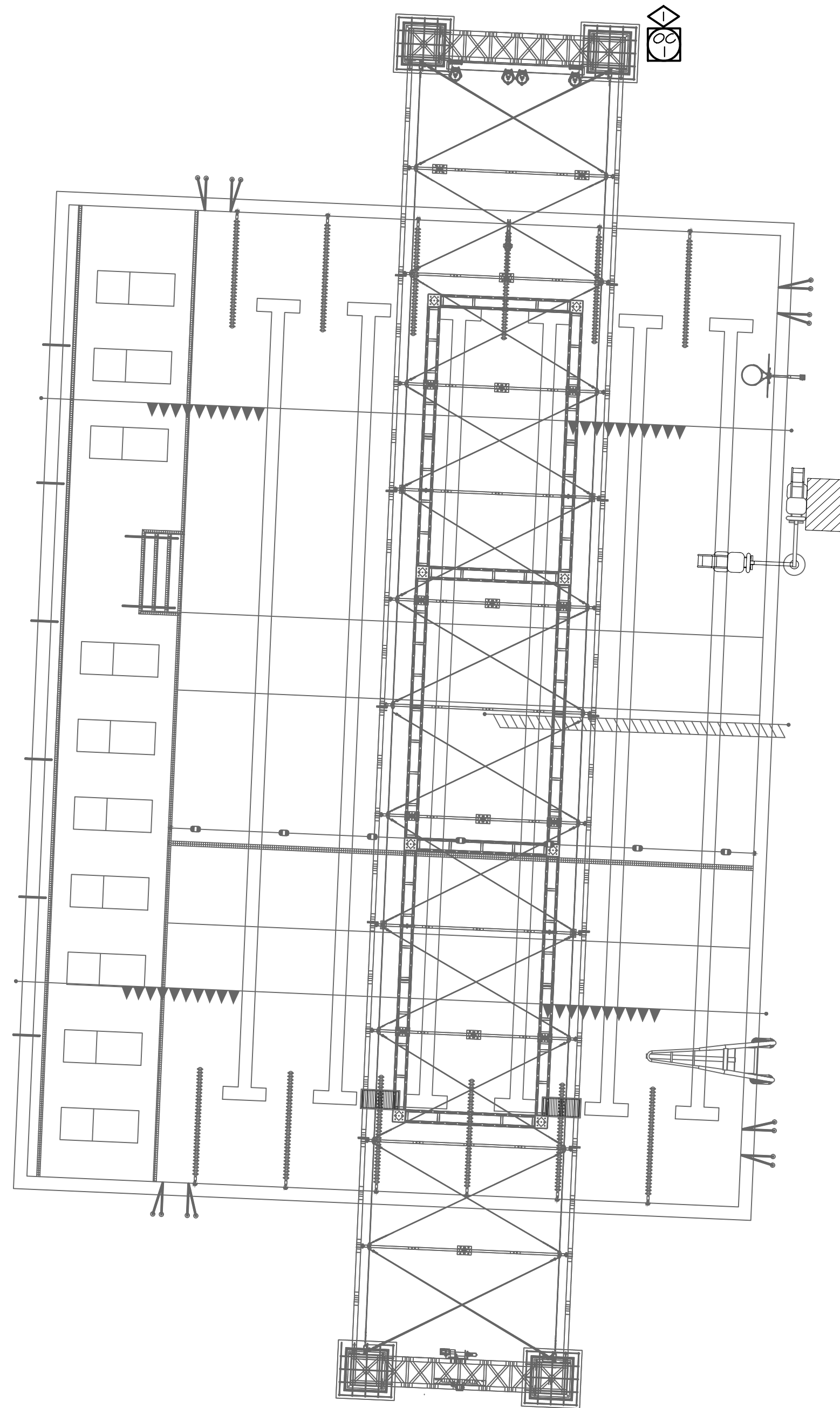
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ELECTRICAL OVERALL  
PLAN

**AQ901**

1 ELECTRICAL OVERALL PLAN  
AQ901 SCALE: 1/16" = 1'-0"



GENERAL NOTES	
A.	ALL DEVICES WITHIN POOL DECK AND POOL AREAS SHALL BE CORROSION RESISTANCE RECEPTACLES. REFER TO BUILDING ELECTRICAL ENGINEER'S SPECIFICATIONS FOR SPECIFIC REQUIREMENTS.
B.	EQUIPMENT AT THE POOL DECK AREAS SHALL BE BONDED AS REQUIRED BY NEC. REFER TO DETAIL #1 SHEET AQ900 FOR MORE INFORMATION AND SPECIFIC REQUIREMENTS. REFER TO E-SERIES SHEETS FOR ADDITIONAL EQUIPMENT.
C.	REFER TO AQ905 FOR ENLARGED POOL EQUIPMENT ROOM PLAN AND SCHEDULE.

KEYNOTE LEGEND	
KEY VALUE	
◇	
I.	PROVIDE DEDICATED 120V 20A CONNECTIONS FOR OBSTACLE COURSE STRUCTURE POWER CONNECTION AS REQUIRED BY MANUFACTURER SHOP DRAWINGS.



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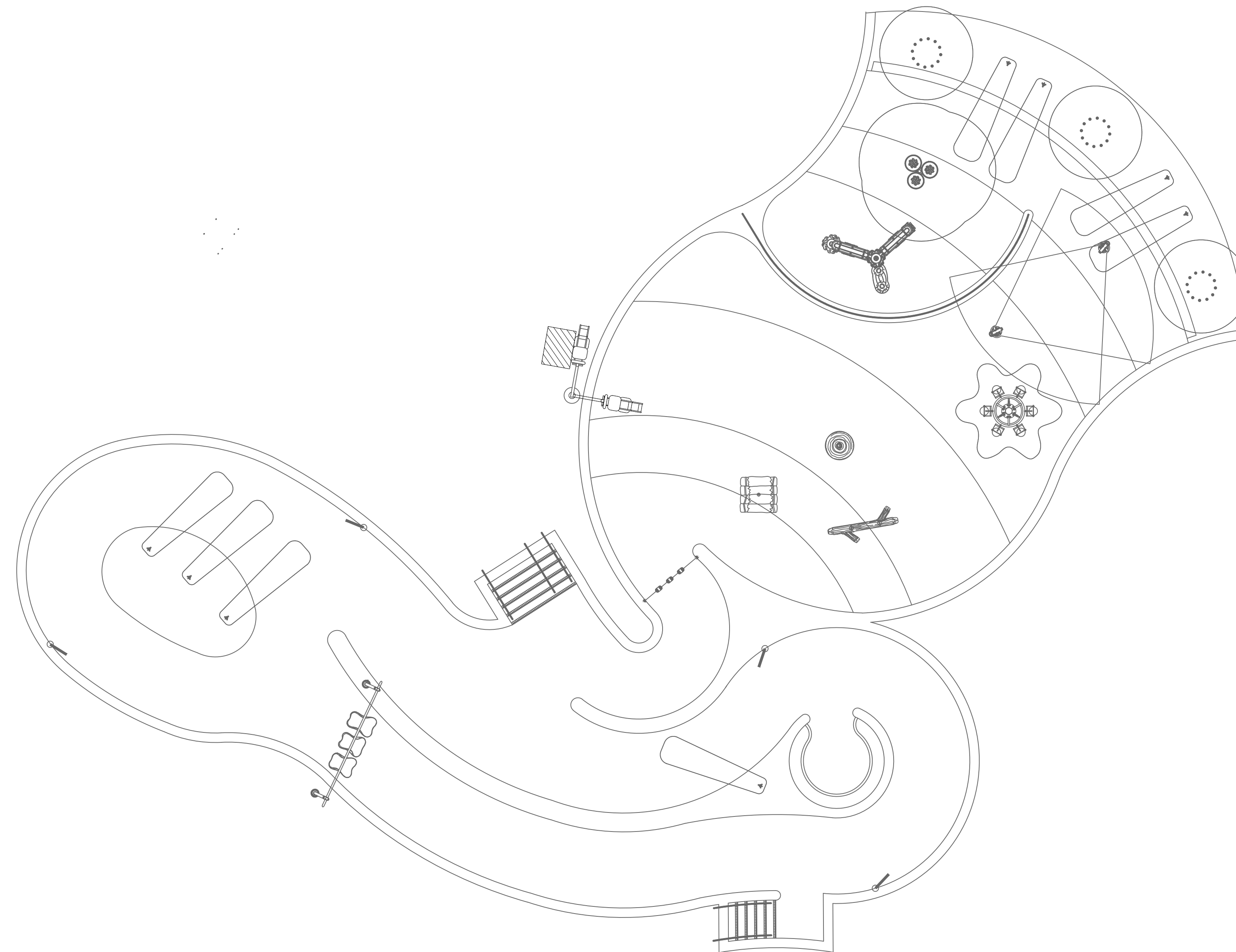
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DRAWING TITLE  
ENLARGED  
ELECTRICAL FITNESS  
POOL PLAN

AQ902



GENERAL NOTES	
A.	ALL DEVICES WITHIN POOL DECK AND POOL AREAS SHALL BE CORROSION RESISTANCE RECEPTACLES, REFER TO BUILDING ELECTRICAL ENGINEER'S SPECIFICATIONS FOR SPECIFIC REQUIREMENTS.
B.	EQUIPMENT AT THE POOL DECK AREAS SHALL BE BONDED AS REQUIRED BY NEC. REFER TO DETAIL #1 SHEET AQ900 FOR MORE INFORMATION AND SPECIFIC REQUIREMENTS, REFER TO E-SERIES SHEETS FOR ADDITIONAL EQUIPMENT.
C.	REFER TO AQ905 FOR ENLARGED POOL EQUIPMENT ROOM PLAN AND SCHEDULE.



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ENLARGED  
ELECTRICAL LEISURE  
POOL PLAN

AQ903

1 | ELECTRICAL LEISURE POOL PLAN  
AQ903 | SCALE: 1/8" = 1'-0"



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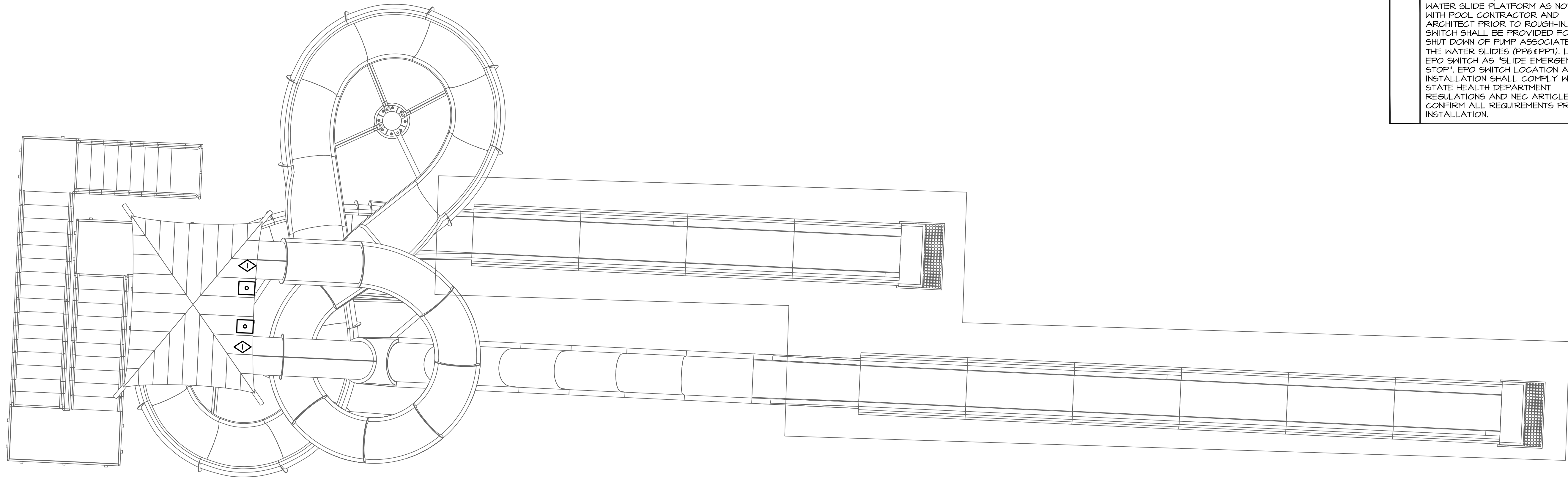
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DRAWING TITLE  
ENLARGED  
WATERSLIDE POOL  
PLAN

AQ904

GENERAL NOTES	
A.	ALL DEVICES WITHIN POOL DECK AND POOL AREAS SHALL BE CORROSION RESISTANCE RECEPTACLES. REFER TO BUILDING ELECTRICAL ENGINEER'S SPECIFICATIONS FOR SPECIFIC REQUIREMENTS.
B.	EQUIPMENT AT THE POOL DECK AREAS SHALL BE BONDED AS REQUIRED BY NEC. REFER TO DETAIL #1 SHEET AQ900 FOR MORE INFORMATION AND SPECIFIC REQUIREMENTS. REFER TO E-SERIES SHEETS FOR ADDITIONAL EQUIPMENT.
C.	REFER TO AQ905 FOR ENLARGED POOL EQUIPMENT ROOM PLAN AND SCHEDULE.

KEYNOTE LEGEND	
KEY	VALUE
◇	1. WATERSLIDE EPO SWITCH, E.O. SHALL FIELD COORDINATE EXACT LOCATION OF EPO SWITCH, AT THE TOP OF THE WATER SLIDE PLATFORM AS NOTED, WITH POOL CONTRACTOR AND ARCHITECT PRIOR TO ROUGH-IN. EPO SWITCH SHALL BE PROVIDED FOR THE SHUT DOWN OF PUMP ASSOCIATED WITH THE WATER SLIDES (PP64 PPT). LABEL EPO SWITCH AS "SLIDE EMERGENCY STOP". EPO SWITCH LOCATION AND INSTALLATION SHALL COMPLY WITH STATE HEALTH DEPARTMENT REGULATIONS AND NEC ARTICLE #680. CONFIRM ALL REQUIREMENTS PRIOR TO INSTALLATION.



1 | ELECTRICAL LEISURE POOL PLAN  
AQ904 | SCALE: 1/8" = 1'-0"

POOL EQUIPMENT SCHEDULE											
KEY	DESCRIPTION	VOLTS	PH	LOAD HP, KW, FLA	MOC/P MFS	FEEDER	DISCONNECT	STARTER		CIRCUIT	NOTES
								NEMA SIZE	AUX CONTACT		
<b>LEISURE POOL</b>											
H1	POOL HEATING SYSTEM	120	1	30 A	40 A	2#8, 1#10G, 3/4"C	40A/1P	-	-		2, 4
CF1	CHLORINATION BOOSTER PUMF	120	1	1.5 HP	20 A	2#12, 1#12G, 3/4"C	5-20R, GFI SWITCHED	-	-		2, 3
CF3	CO2 FEED PUMP	120	1	FRAC	20A	2#12, 1#12G, 3/4"C	5-20R, GFI SWITCHED	-	-		2, 3
PP1	POOL RIVER PUMP	480	3	20 HP	60 A	3#4, 1#10G, 1-1/4"C	60A/3P	"SEE 2F1"	-		1
2F1	VFD FOR PP1	480	3	"SEE PP1"	"SEE PP1"	"SEE PP1"	"SEE PP1"	-	24V N.C.		2
PP2	POOL RIVER PUMP	480	3	20 HP	60 A	3#4, 1#10G, 1-1/4"C	60A/3P	"SEE 2F2"	-		1
2F2	VFD FOR PP2	480	3	"SEE PP2"	"SEE PP2"	"SEE PP2"	"SEE PP2"	-	24V N.C.		2
PP3	RECIRCULATION PUMP	480	3	30 HP	80 A	3#1, 1#6G, 1-1/2"C	110A/3P	"SEE 1C"	-		3
1C	VFD FOR PP3 AND BYPASS PANEL	480	3	"SEE PP3"	"SEE PP3"	"SEE PP3"	"SEE PP3"	-	24V N.C.		2
PP4	POOL FEATURE PUMP	480	3	7.5 HP	11 A	3#12, 1#12G, 3/4"C	20A/3P	"SEE 2F4"	-		1
2F4	VFD FOR PP4	480	3	"SEE PP4"	"SEE PP4"	"SEE PP4"	"SEE PP4"	-	24V N.C.		2
1A	CHEMICAL CONTROLLER	120	1	15 FLA	20A	2#12, 1#12G, 3/4"C	5-20R, GFI	-	-		2
1B	WATER LEVEL CONTROLLER	120	1	15 FLA	20A	2#12, 1#12G, 3/4"C	5-20R, GFI	-	-		
<b>FITNESS POOL</b>											
H2	POOL HEATING SYSTEM	120	1	30 A	40 A	2#8, 1#10G, 3/4"C	40A/1P	-	-		2, 4
CF2	CHLORINATION BOOSTER PUMF	120	1	1.5 HP	20 A	2#12, 1#12G, 3/4"C	5-20R, GFI SWITCHED	-	-		2, 3
CF4	CO2 FEED PUMP	120	1	FRAC	20A	2#12, 1#12G, 3/4"C	5-20R, GFI SWITCHED	-	-		2, 3
PP5	RECIRCULATION PUMP	480	3	20 HP	60 A	3#4, 1#10G, 1-1/4"C	60A/3P	"SEE 2C"	-		3
2C	VFD FOR PP5	480	3	"SEE PP5"	"SEE PP5"	"SEE PP5"	"SEE PP5"	-	24V N.C.		2
2A	CHEMICAL CONTROLLER	120	1	15 FLA	20A	2#12, 1#12G, 3/4"C	5-20R, GFI	-	-		2
2B	WATER LEVEL CONTROLLER	120	1	15 FLA	20A	2#12, 1#12G, 3/4"C	5-20R, GFI	-	-		
<b>WATERSLIDE</b>											
PP6	CLOSED FLUME SLIDE PUMP	480	3	15 HP	19.1 A	3#1/0, 1#10G, /4"C	25A/3P	"SEE 2F6"	-		1
2F6	VFD FOR PP6	480	3	"SEE PP6"	"SEE PP6"	"SEE PP6"	"SEE PP6"	-	24V N.C.		2
PP7	OPEN FLUME SLIDE PUMP	480	3	20 HP	35 A	3#8, 1#10G, 1"C	60A/3P	"SEE 2F7"	-		1
2F7	VFD FOR PP7	480	3	"SEE PP7"	"SEE PP7"	"SEE PP7"	"SEE PP7"	-	24V N.C.		2

**GENERAL NOTES:**

- PROVIDE 120V CONTROL WIRING AS REQUIRED PER POOL EQUIPMENT SCHEDULE ON POOL DRAWINGS.
- REFER TO POOL DRAWINGS, A0-SERIES SHEETS, FOR EQUIPMENT LOCATIONS.
- FIELD VERIFY ALL EQUIPMENT LOADS, VOLTAGES, AND RECOMMENDED FUSE SIZING PRIOR TO ENERGIZING CIRCUIT.
- THE ELECTRICAL CONTRACTOR SHALL REVIEW ALL AQUATICS PLANS AND PROVIDE ALL WORK AS CALLED OUT TO BE COMPLETED BY THE ELECTRICAL CONTRACTOR. COORDINATE WITH POOL CONTRACTOR.
- ALL DISCONNECTS SHALL BE NEMA 4X RATED WITH NON-METALLIC ENCLOSURE AND STAINLESS STEEL HARDWARE FOR CORROSION RESISTANCE.
- MOTORS REQUIRING STARTERS SHALL UTILIZE COMBINATION START/DISCONNECT. STARTERS SHALL BE NON-REVERSING WITH NEMA SIZE AS LISTED. ALL STARTERS SHALL UTILIZE CIRCUIT BREAKERS FOR OVERCURRENT PROTECTION.
- PROVIDE FLEXIBLE CONDUIT CONNECTION AT ALL PUMP MOTORS. MINIMUM 18" IN LENGTH.
- WHERE MOTOR IS WITHIN SIGHT (PER THE DEFINITION OF THE NEC) OF AN ASSOCIATED MOTOR CONTROL CENTER, THE INDICATED DISCONNECT SWITCH IS NOT REQUIRED.
- ALL POOL PUMP MOTORS CONNECTED TO A SINGLE PHASE 120, 208, OR 240 BRANCH CIRCUIT SHALL BE PROVIDED WITH 5mA GROUND-FAULT CIRCUIT-INTERRUPTER.
- ALL MOTORS GREATER THAN 7.5 HORSEPOWER ARE TO BE PROVIDED WITH PHASE LOSS PROTECTION.
- PROVIDE CLEARLY LABELED EMERGENCY SHUTOFF BUTTONS FOR THE PURPOSE OF STOPPING THE MOTORS THAT PROVIDE POWER TO ALL NON-FILTRATION PUMPS PER POOL ENGINEER. EMERGENCY SHUTOFF BUTTON LOCATIONS SHALL BE COORDINATED WITH THE OWNER OR THE OWNER'S RISK MANAGEMENT CONSULTANT.
- PROVIDE CLEARLY LABELED EMERGENCY POWER OFF (EPO) SWITCHES FOR EMERGENCY SHUTDOWN OF ALL POOL WATER HEATER/BOILER SYSTEMS AS REQUIRED BY CODE. EPO SWITCH LOCATIONS SHALL BE AT EACH EGRESS DOOR LEADING FROM THE ROOM HOUSING THE POOL WATER HEATER SYSTEMS(S) AND SHALL BE COORDINATED WITH THE POOL ENGINEER AND OWNER'S RISK MANAGEMENT CONSULTANT.
- REFER TO MAIN BUILDING ELECTRICAL PLANS FOR CIRCUIT NUMBERS, PANELBOARD SCHEDULES, AND LOAD CALCULATIONS.
- ALL LOW VOLTAGE CONTROL WIRING AND CONNECTIONS BETWEEN POOL SYSTEMS SHALL BE PROVIDED BY POOL CONTRACTOR. ALL LINE VOLTAGE AND/OR HIGH VOLTAGE CONNECTIONS AND INTERLOCKS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.

**VFD SPECIFICATION REQUIREMENTS:**

- VFD UNIT SHALL BE RATED FOR THE SAME VOLTAGE AS THE DRIVE MOTOR AND THE ENCLOSURE SHALL BE NEMA 12 RATED.
- PROVIDE MANUAL SPEED ADJUSTMENT VIA KEY PAD OR DIAL MOUNTED ON THE ENCLOSURE'S EXTERIOR.
- VFD UNIT SHALL BE SUITABLE FOR OPERATING IN ENVIRONMENTS BETWEEN 15 TO 110 DEGREES FAHRENHEIT (STORAGE TEMPERATURE -40 TO 150 DEGREES FAHRENHEIT) AND HUMIDITY UP TO 90% NON-CONDENSING.
- PROVIDE VFD WITH CAPABILITY OF 30 SECOND RAMP UP TO FULL SPEED AND 5 SECOND RAMP DOWN FROM FULL SPEED TO ZERO FOR ALL APPLICATIONS USING FILTRATION SYSTEM WITH REGENERATIVE MEDIA FILTER. COORDINATE LOCATIONS WITH POOL CONTRACTOR.
- PROVIDE THE VFD WITH REQUIRED NUMBER OF OUTPUTS FOR CONNECTION TO ALL EXTERNAL RELAY(S) AND EQUIPMENT AS REQUIRED BY THE POOL CONTRACTORS DRAWINGS.
- VFD SHALL OPERATE AS CONTROLLED BY THE POOL CHEMICAL CONTROLLER TO ALLOW THE VFD TO MODULATE THE PUMP MOTOR TO MAINTAIN A CONSTANT FLOW RATE. VFD SHALL ACCEPT DIGITAL INPUT INTERLOCK SIGNAL FROM CONTROL SYSTEMS AS DETAILED IN POOL DRAWINGS. ALL LOW VOLTAGE CONNECTIONS TO THE RESPECTIVE POOL SYSTEM WILL BE BY THE POOL CONTRACTOR. ALL LINE VOLTAGE CONNECTIONS WILL BE BY THE ELECTRICAL CONTRACTOR.
- WHEN INDICATED, VFDs SHALL INCLUDE A BYPASS FUNCTION TO ALLOW FOR PUMP MOTOR OPERATION IN BYPASS OPERATION. BYPASS MAY BE INTERNAL TO VFD OR IN SEPARATE NEMA 4X ENCLOSURE.
- APPROVED VFD MANUFACTURERS: H2FLOW #ECO-FLOW-C SERIES, PENTAIR #ACUDRIVE SERIES, OR APPROVED EQUAL.
- MANUFACTURER OR DESIGNATED REPRESENTATIVE SHALL PERFORM FIELD TEST OF EACH DRIVE, AND PROVIDE OWNER WITH OPERATIONAL AND MAINTENANCE TRAINING.
- FOR PARALLEL OPERATION OF RECIRCULATION PUMPS (WHEN REQUIRED):
  - THE VFD MUST BE RATED TO SIMULTANEOUSLY OPERATE ALL PUMPS IN PARALLEL AT FULL LOAD.
  - AN OVERLOAD RELAY FOR EACH MOTOR MUST BE PROVIDED AND CONFIGURED IN SUCH A WAY TO PROTECT THEIR RESPECTIVE MOTORS WHEN IN EITHER VFD

**SPECIFIC NOTES:**

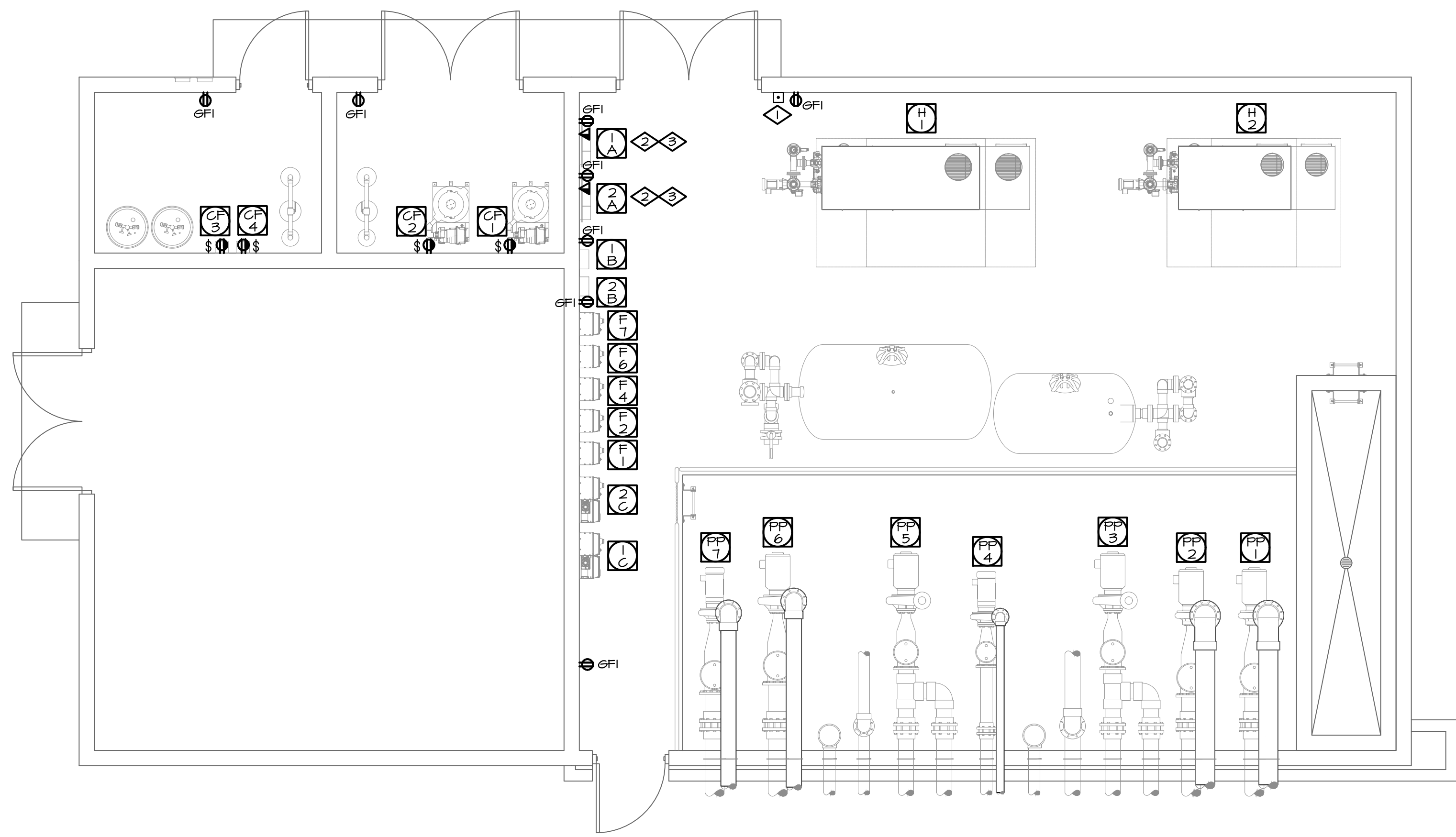
- PUMP SHALL BE SHUT-DOWN WITH REMOTE EMERGENCY STOP BUTTON. REFER TO POOL PLANS FOR MORE INFORMATION. BUTTON LOCATION AND INSTALLATION SHALL COMPLY WITH STATE HEALTH DEPARTMENT REGULATIONS AND NEC ARTICLE 680.
- LOW VOLTAGE CONTROL WIRING CONNECTIONS ARE REQUIRED BETWEEN THE POOL PUMP VFDs, THE WATER CHEMISTRY CONTROLLER, CHLORINE SYSTEM, CO2 FEED SYSTEM, FLOW METER, AND HEATING SYSTEM, FOR AUTOMATION AMONG POOL EQUIPMENT. CONDUIT SHALL BE PROVIDED BY EC. ALL LOW VOLTAGE CONTROL WIRING SHALL BE PROVIDED BY PC.
- CIRCUIT SHALL BE INTERLOCKED WITH POOL PUMPS TO SUSPEND CHEMICAL FEEDING IN THE EVENT THE MAIN RECIRCULATION PUMPS ARE SHUT DOWN. INTERLOCK FUNCTION SHALL BE PROVIDED VIA CONNECTION BETWEEN DEVICE/CIRCUIT AND CHEMICAL CONTROLLER.
- ALL WIRING SHALL BE MADE WITH TYPE T WIRE. LINE VOLTAGE WIRE EXTERIOR TO APPLIANCE MUST BE ENCLOSED IN APPROVED CONDUIT. PROVIDE INTERCONNECTION LOW VOLTAGE CONTROL WIRING TO WATER CHEMISTRY CONTROLLER.
- PROVIDE CARBON DIOXIDE MONITORING SYSTEM FOR THE PH BUFFER ROOM COMPLETE WITH A HEAD-END DISPLAY WITH DETECTION PROBE, DUAL WALL MOUNTED STROBES, SOLENOID SHUT-OFF VALVE, AND EF & DDC RELAY. THE UNIT WILL ACTIVATE A DEDICATED EXHAUST FAN, ALARM BUILDING DDC SYSTEM, ACTIVE LOCAL STROBES, AND SHUT THE SOLENOID VALVE. UNIT SHALL BE "CO2METER.COM" MODEL RAD-0102-6 CO2 STORAGE SAFETY 3 ALARM WITH CM-1028 DUAL STROBE KIT. INSTALL DETECTION PROBE IN PH BUFFER ROOM PER MANUFACTURER'S APPROVED SHOP DRAWINGS. INSTALL ONE STROBE INSIDE PH BUFFER ROOM NEAR DOOR AT 7'-0" A.F.F. AND ONE STROBE OUTSIDE OF PH BUFFER ROOM AT 7'-0" A.F.F. INSTALL HEAD-END PANEL ON WALL OUTSIDE OF PH BUFFER ROOM AT 5'-0" A.F.F. TO CENTER. PROVIDE LOW VOLTAGE INTERCONNECTION WIRING TO BUILDING DDC SYSTEM.

**GENERAL NOTES**

- ALL WIRING Routed WITHIN WITHIN THIS ROOM SHALL BE WITHIN NON-METALLIC CONDUIT.
- ALL RECEPTACLE DEVICES LOCATED WITHIN POOL MECHANICAL ROOM SHALL BE GFI, PROVIDED WITH WEATHERPROOF WHILE-IN-USE COVERS, UNLESS OTHERWISE NOTED.
- ALL DEVICES WITHIN POOL DECK AND POOL AREAS SHALL BE CORROSION RESISTANCE RECEPTACLES. REFER TO BUILDING ENGINEER SPECIFICATIONS FOR SPECIFIC REQUIREMENTS.
- EQUIPMENT AT THE POOL DECK AREAS SHALL BE BONDED AS REQUIRED BY NEC. REFER TO DETAIL FOR MORE INFORMATION AND SPECIFIC REQUIREMENTS. REFER TO E-SERIES SHEETS FOR ADDITIONAL INFORMATION.
- REFER TO MAIN BUILDING ELECTRICAL PLANS FOR CIRCUIT NUMBERS, PANELBOARD SCHEDULES, AND LOAD CALCULATIONS.

**KEYNOTE LEGEND**

KEY VALUE	DESCRIPTION
1.	EC SHALL PROVIDE EPO PUSH BUTTON ADJACENT TO DOOR FOR SHUT DOWN OF ALL POOL OF ALL POOL HEATING EQUIPMENT. PROVIDE ALL CONTROL WIRING PER EQUIPMENT MANUFACTURERS REQUIREMENTS.
2.	WIRE BOXES SUPPLIED WITH THE WATER CHEMISTRY CONTROLS SHALL RECEIVE 4-20mA OR LINE VOLTAGE CONTROL WIRING (BY POOL CONTRACTOR) CONNECTIONS FROM THE FOLLOWING POOL SYSTEMS FOR ADDITIONAL CONTROLS FUNCTION; CONFIRM EXACT REQUIREMENTS WITH APPROVED SHOP DRAWINGS AND POOL CONTRACTOR; EC SHALL PROVIDE 3/4" CONDUIT AS REQUIRED. <ol style="list-style-type: none"> <li>POOL RECIRCULATION PUMP VFDs</li> <li>POOL CHLORINE FEED SYSTEM</li> <li>CO2 FEED SYSTEM</li> <li>POOL RECIRCULATION FLOW METER POOL HEATING SYSTEM</li> </ol>
3.	PROVIDE 2-INCH DEEP, 2-GANG OUTLET BOX WITH SINGLE-GANG PLASTER RING AND FOUR POSITION FACEPLATE FOR CHEMICAL CONTROLLER LAN CONNECTION AND TIE INTO BUILDING AUTOMATION SYSTEM AND REMOTE MONITORING AS REQUIRED. PROVIDE MINIMUM OF 1-INCH EMT FROM OUTLET BOX TO STUB OUT ABOVE CEILING POINT WITH ROUTING ACCESS FROM MDF/IDF LOCATION. STRUCTURED CABLING, JACKS, AND CABLE TERMINATIONS SHALL BE BY MV CONTRACTOR/INTEGRATOR. PROVIDE SPARE PULL WIRE IN ALL CONDUIT RACEWAYS. COORDINATE EXACT REQUIREMENTS WITH OWNER/ARCHITECT.



1 | ELECTRICAL MECHANICAL ROOM PLAN  
AQ905 | SCALE: 1/4" = 1'-0"



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MECHANICAL ROOM  
PLAN

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